

3.0 PROJECT DESCRIPTION

INTRODUCTION

This chapter describes the location and setting of the Mishka's Café Project (Proposed Project) site, and provides a detailed description of the Proposed Project's characteristics and objectives.

BACKGROUND

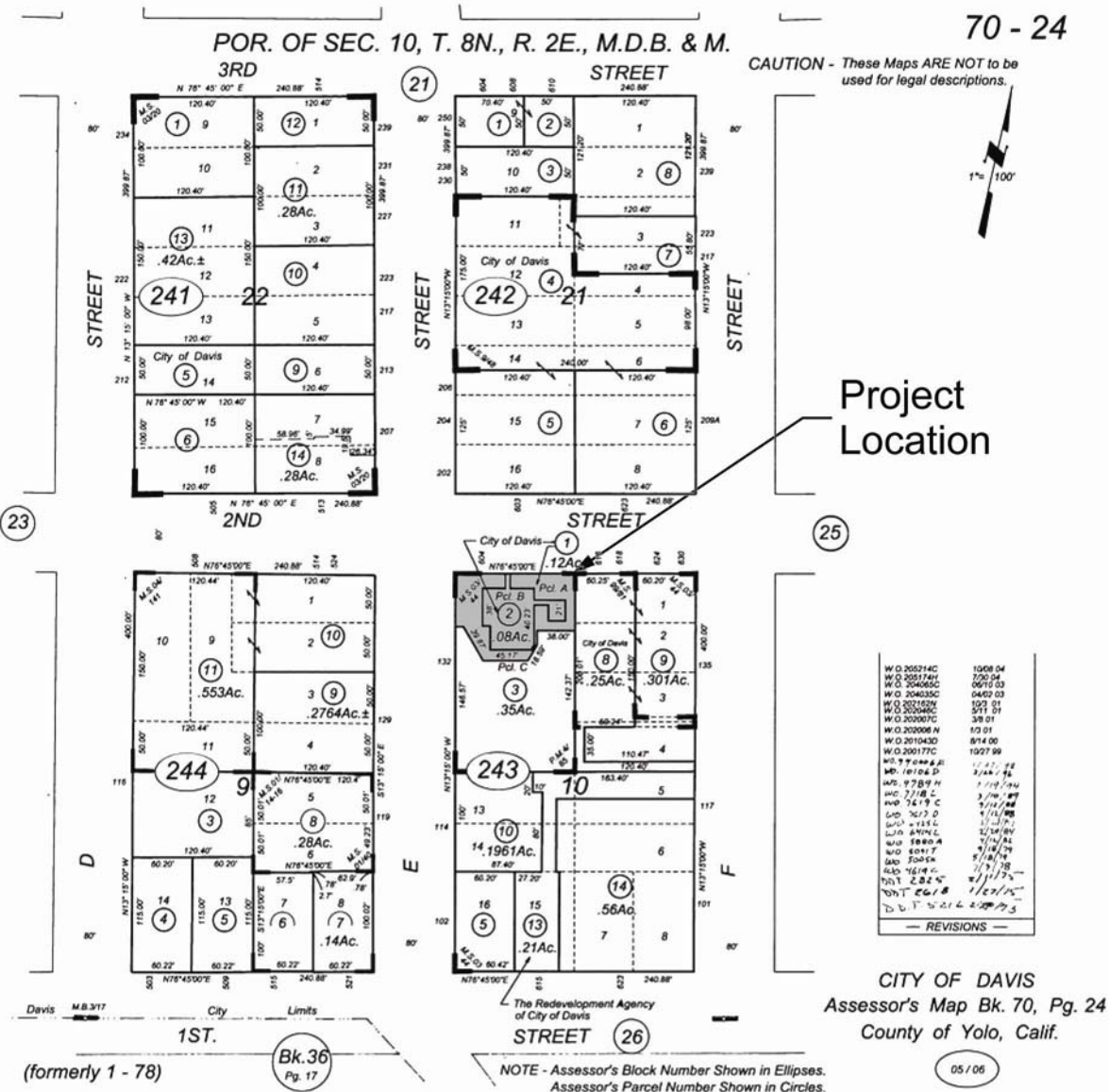
The Proposed Project is located on two parcels that contain the Dresbach-Hunt-Boyer Mansion (Mansion) and Tank House, and residual historic orange grove and grounds (**Figure 3.0-1**, Parcel Map). The Mansion is a Stick-Italianate Victorian listed on the National Register of Historic Places and the California Register of Historic Resources, and the Tank House is a contributing structure to the Mansion.

The Dresbach property occupied nearly a quarter of the block in 1888. The Tank House was constructed between 1874, when the Mansion was built, and 1888, when it appeared on the City's first Sanborn map. Built to provide water to the Mansion and grounds, it was originally located at the rear of the Dresbach-Hunt-Boyer lot behind the house and at some distance from the outhouse (**Figure 3.0-2**, Original Site Plan). The Tank House remained in this location until 1979 when it was moved to its present location to accommodate the construction of the Mansion Square commercial development directly south.

The Mansion Square project at that time included a proposal for rehabilitating the Mansion and reconstructing the Tank House. The 1978 staff report for Mansion Square noted that the "historical use and character of the site as a whole, will be substantially altered" but moving the tank house and restoring the Mansion was "a good compromise between removal of the building (and all historical significance) and preservation of the entire site as is" (Mansion Square Project Background Documents, Appendix F). The revised details for rehabilitation of the relocated pump house, including preservation of the north door and west window, adding a stairway to the south side, and constructing the patio and perimeter fencing, were approved in June 1979. Yellow awnings were added in 1979, and numerous other changes to serve commercial users were added over time.

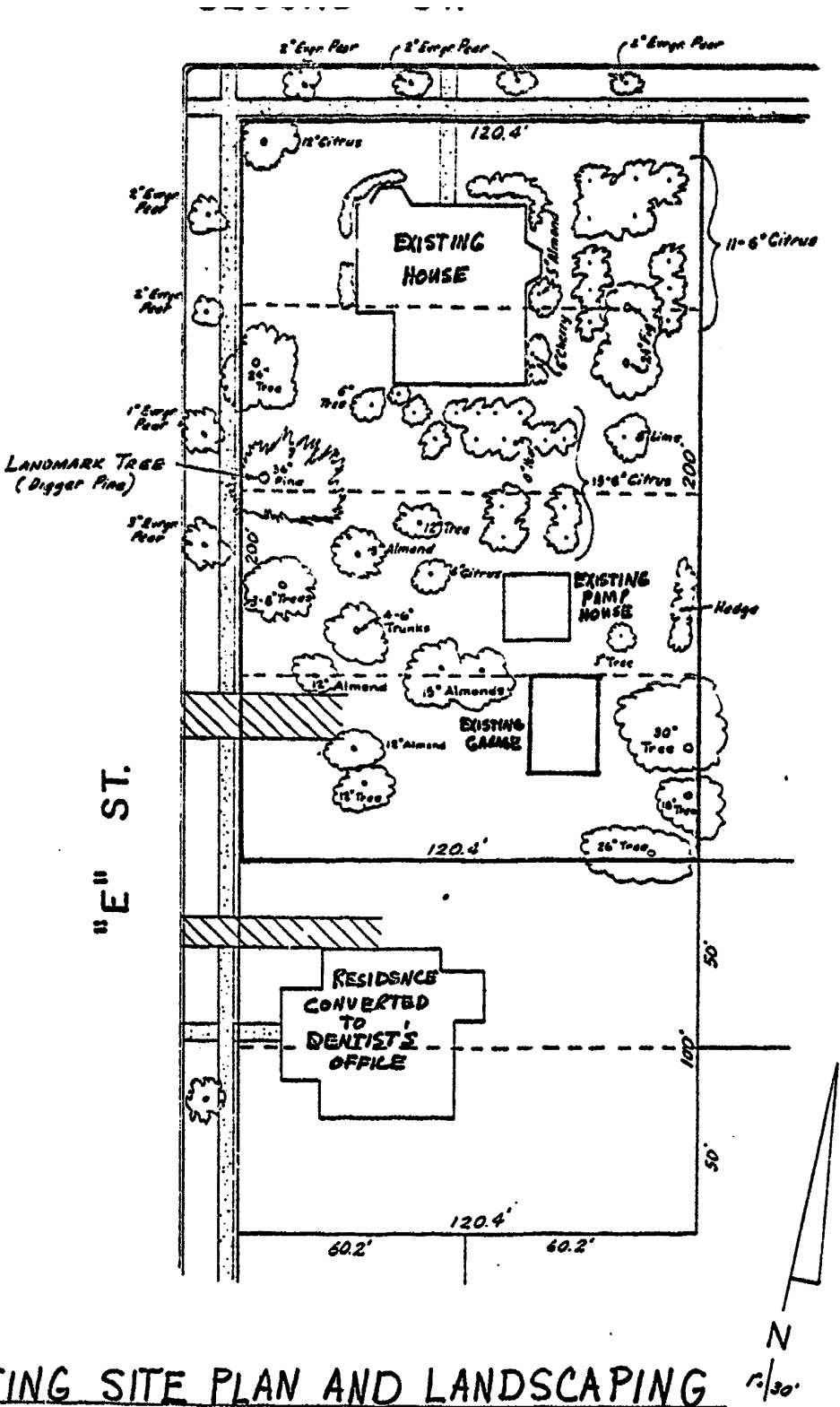
At the time it was moved, approximately 18 inches were cut off the bottom of the structure to remove dry rot. Modifications were later made, in order to use the building as an office, to add a second floor with an external stairway (which has since been removed), windows, electricity, and air conditioning; it was leased for various commercial purposes until the mid-1990s. The City's Chief Building Official "condemned the Tank House in pump house structure based on an investigation conducted on May 5, 1998 that showed that it was not structurally sound due to extensive rotting of the support timbers and that the stairs to the second floor were in extreme disrepair" (Memorandum from Lorin Gardner, Chief Building Inspector, June 4, 1998, Appendix G). due to structural concerns, and it The Tank House has remained vacant since that time. A structural investigation was conducted in 2000 by Marr Shaffer Miyamoto, Structural Engineers, Inc. This report identified severe dry rot, particularly below the second floor. A *Condition Assessment and Alternative Location Study* documenting additional deterioration was subsequently prepared by S2Architects in September 2006, and is attached as Appendix C.

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Source: City of Davis, 2007

**FIGURE 3.0-1
PARCEL MAP**



EXISTING SITE PLAN AND LANDSCAPING

Source: City of Davis, 2007

FIGURE 3.0-2
ORIGINAL SITE PLAN

The City issued several requests for proposals (RFP) for use of the Tank House between 1998 and 2004, but no projects were built due to the limitations in reusing the building and unfavorable market conditions. In 2005, the City issued a Request for Proposals/Qualifications (RFP/Q) for the development and management of the Varsity Theater. The RFP/Q included the City's interest in seeing proposals that included the commercial space connected to the Theater (Clarence Cooper Insurance) as well as the Mansion and Tank House properties to work in conjunction with the theater and provide viable income to support the operation of the theater. The City's stated goal and objective within the RFP/Q was:

To improve and expand the use of the Varsity Theater in a manner that will enhance Davis' reputation as a destination for the arts and entertainment in the region. The primary objective is to market the Theater to a Developer/Operator who will develop and implement an effective adaptive reuse of the facility for cultural and entertainment events. Uses desired include the screening of films, performing arts, and community events. The commercial space connected to the Theater, as well as the city owned properties immediately adjacent, can also be developed to work in conjunction with the theater and provide a viable income to support the operation of the theater.

The proposal for the development of the Tank House site from the selected development team and identified alternatives are the subject of this environmental impact report (EIR).

PROJECT LOCATION AND SITE CHARACTERISTICS

The Mansion complex, which includes the project site, is located at 604 Second Street in Downtown Davis; the site is currently owned by the City of Davis and the Mansion is used as city offices (**Figure 3.0-3**, Project Location). The project site is located within an existing built urban environment. The property is located in the center of the City's Downtown, an active pedestrian-friendly district that serves as the City's commercial and cultural center.

The existing complex includes the Mansion, Tank House, and surrounding landscape including the remaining orange trees from a former orchard (**Figure 3.0-4**, Existing Site Plan). There are ten orange trees in front, on the sides, and rear of the Tank House and at the rear of the Mansion, planted near the turn of the century by John Hunt, the ~~second~~ eighth owner of the house.

SURROUNDING LAND USES

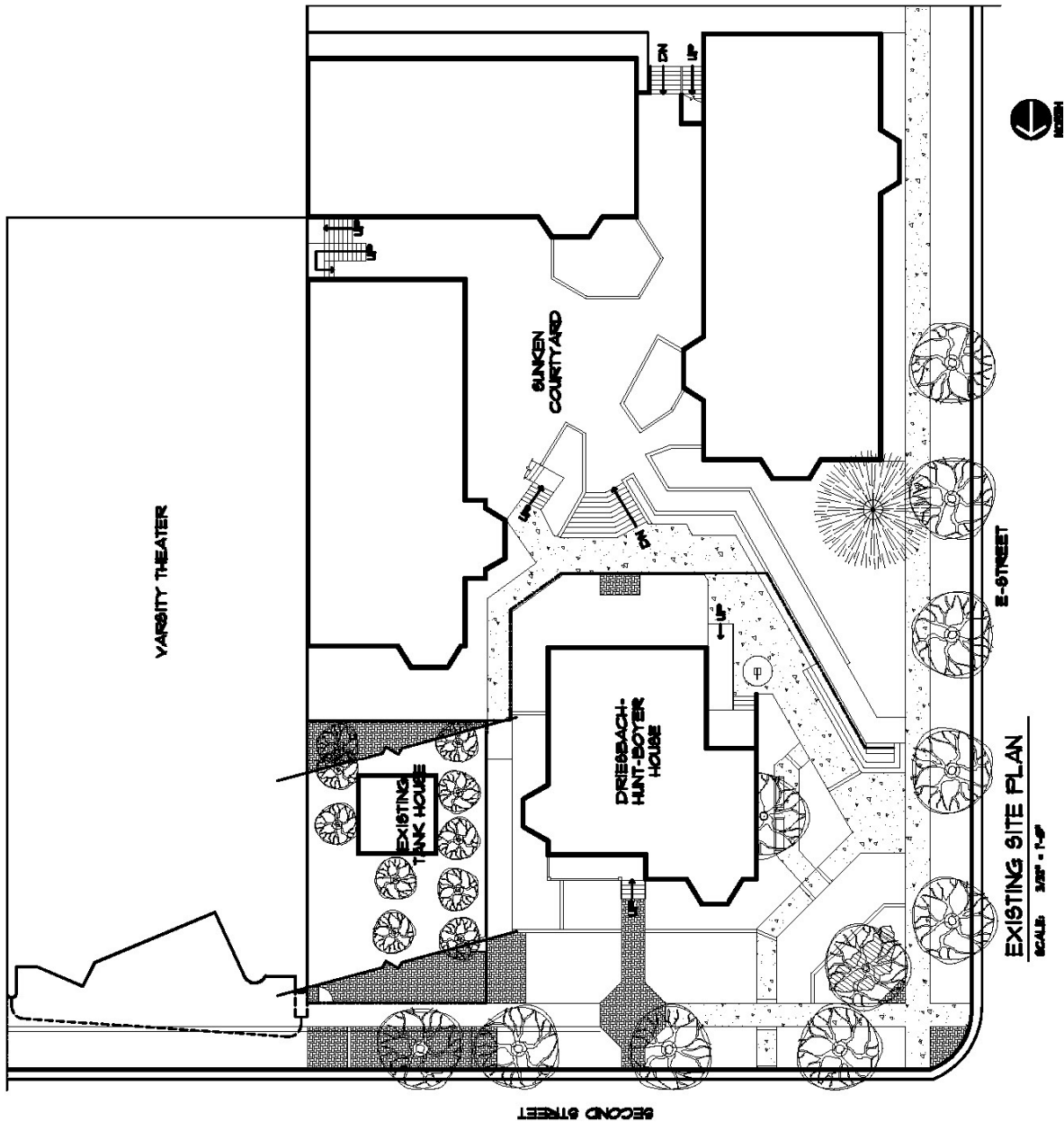
Properties surrounding the Proposed Project site include the adjacent Varsity Theater and two-story retail/commercial buildings. The Varsity Theater is located immediately east of the project site, and was constructed in 1950. This building is a City-designated Landmark Building and is eligible for the California Register. The Varsity Theater is a late Streamline Modern design that has had minor alterations to the exterior. The interior has been remodeled several times including the recent conversion back to a cinema. The theater currently shows independent films and houses a small gelato shop in the former Clarence Cooper Insurance space.

To the north and west of the property are two-story buildings with ground floor retail and offices on the second floor. Immediately south, the Mansion Square shopping center is two-stories at street level, with another open level below grade. Access to Mansion Square is from Second and E streets along walkways on the west and east sides of the Mansion, which both lead to a stairway into the shopping center directly south of the Mansion.



Source: Ervin Consulting, 2007

**FIGURE 3.0-3
PROJECT LOCATION**



Source: S2Architects, 2007

FIGURE 3.0-4
EXISTING SITE PLAN

PROJECT OBJECTIVES

The objectives of the Proposed Project are to:

- Create new retail/commercial development that complements existing entertainment uses in the Core Area
- Increase the vitality on the block and surrounding area by adding a ground floor café/restaurant that will in turn help support the vitality of the Varsity Theater
- Develop a project that is compatible with the adjacent historic resources
- Create a project that is economically viable and generates direct and indirect fiscal benefit to the City
- Remedy an unsafe public building for the protection of public health and safety

PROJECT ELEMENTS

The Proposed Project would demolish the existing tank house structure and residual orange grove at 604 Second Street to accommodate the construction of a new three-story, approximately 5,000 square foot (sf) commercial building between the Varsity Theater and the Mansion (**Figure 3.0-5**, Proposed Site Plan). The mixed-use commercial building would include a 1,776 sf ground floor café with outdoor seating, and 3,224 sf of office space on the second and third floors.

The building would be adjacent to ~~directly abut~~ the Varsity Theater and would be flush with the Second Street sidewalk. The building has been intentionally setback from the Varsity Theater wall to avoid "physically impinging" on the fin wall neon and to provide adequate access to the neon for maintenance. Specifically, the neon extends approximately 18 feet south from the Second Street property line on the west facing side of the fin wall. The upper stories of the proposed building are setback above the ground floor stairway entrance such that the third story is set back 18'6" (6" beyond the fin wall neon) and 4'-0" off of the Varsity Theater west wall.

A small patio space enclosed with wrought iron fencing would be located on the west side, providing an 11 foot setback from the existing brick pathway for approximately 27 feet until the proposed building widens, reducing the setback from the Mansion to seven feet at its narrowest point (**Figure 3.0-6**, Proposed Project Floor Plans). The building would be 31 feet 6 inches in height for the length of the property. The second and third floors would be developed for office, with an approximately 10 foot by 25-foot deck on the third floor (**Figure 3.0-7**, Proposed Project Elevations).

The building would be constructed with exterior brick cavity walls over a slab on grade foundation. Doors would be all wood mahogany commercial doors with tempered glass, clear, double pane, with a height of 7 to 8 feet. The exterior walls would be faced with bricks in a Sierra Slate color with a running bond pattern. Dimensions of the visible portion of the brick face would be 2.5 inches x 8 inches; dimensions of the traditional brick would be 2.5 inches x 3.75 inches x 8 inches. Grout would be concave and tinted to a lighter brown color than the brick brown. Windows would be aluminum-clad wood, bronze color, with a Columbus cladding profile. The original brick already present at the site would be reused for any patio areas. Tiles decorated with orange tree motifs would be used on the walls of the building, and two new orange trees would be planted on the patio. **Figure 3.0-8** provides an artist's rendition of the Proposed Project.

MARIA OGRYDZIAK
ARCHITECTURE
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**MISHKA'S
CAFÉ
BUILDING**



Source: Maria Ogrydziak Architecture, 2006

**FIGURE 3.0-5
PROPOSED SITE PLAN**

MARIA OGRYDZIAK
ARCHITECTURE
www.oarch.com

**MISHKA'S
CAFÉ
BUILDING**

MISHKA'S CAFÉ BUILDING
3 floors (ground floor cafe with second and third floor office space)

Building Area:
First floor (cafe) 1,718 SF
Second floor (office) 1,718 SF
Third floor (office) 1,448 SF
Total 5,000 SF

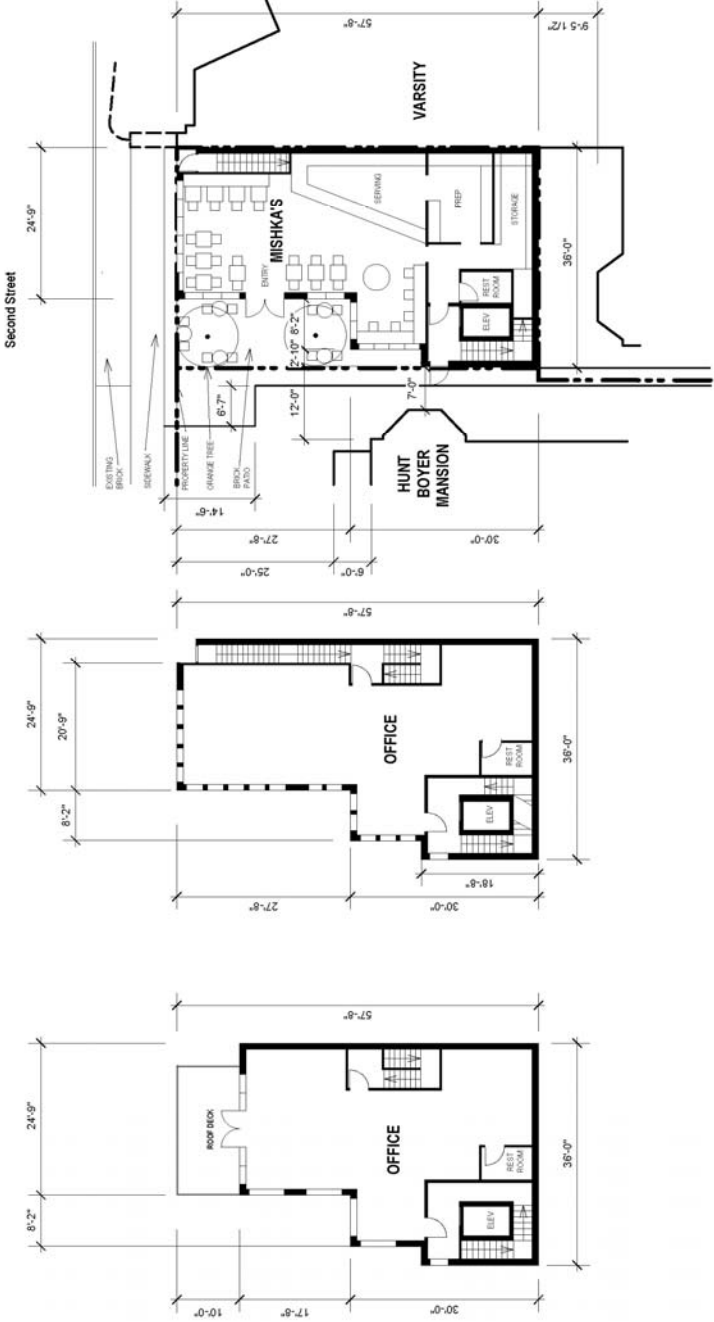
Hunt-Boyer Mansion 3,000 SF
Total Building Area (Mansion and Mishka's Café = 8,000 SF)

Site Area:
Mishka's Café: 2,076 SF (0.05 acres)
Mansion Complex: 8,712 SF (0.2 acres)
Total Site Area (Mansion Complex): 8,712 SF (0.2 acres)

Mishka's Building Heights:
Front facade: 25'-6"
Top of 3rd story: 32'-0"

Building Construction Materials:
Exterior Walls: brick cavity walls
Ground Floor: slab-on-grade
Windows: wood frame, metal clad

Exterior Features:
Existing brick path retained (widened)
Brick patio at entry to cafe
Outdoor seating (re-use site brick)
Two orange trees at patio
Wrought iron fence at patio



FIRST FLOOR PLAN

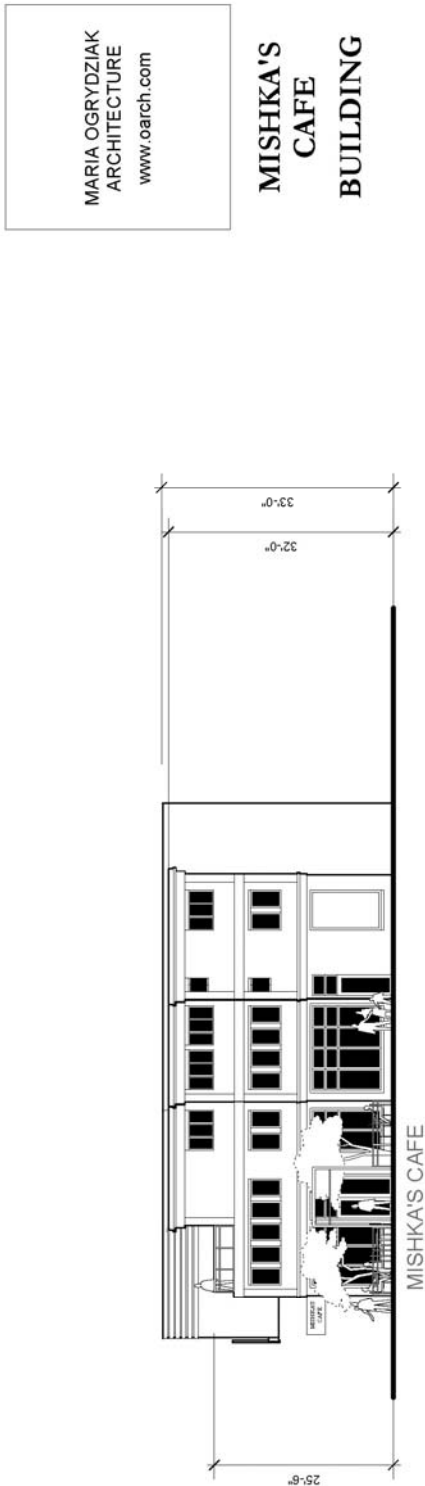
SECOND FLOOR PLAN

THIRD FLOOR PLAN

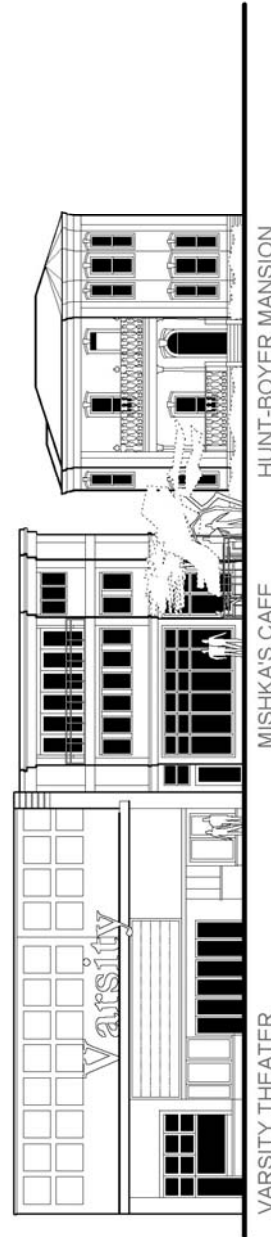
Source: Maria Ogrzyziak Architecture, 2006

**FIGURE 3.0-6
PROPOSED PROJECT FLOOR PLANS**

3.0 PROJECT DESCRIPTION



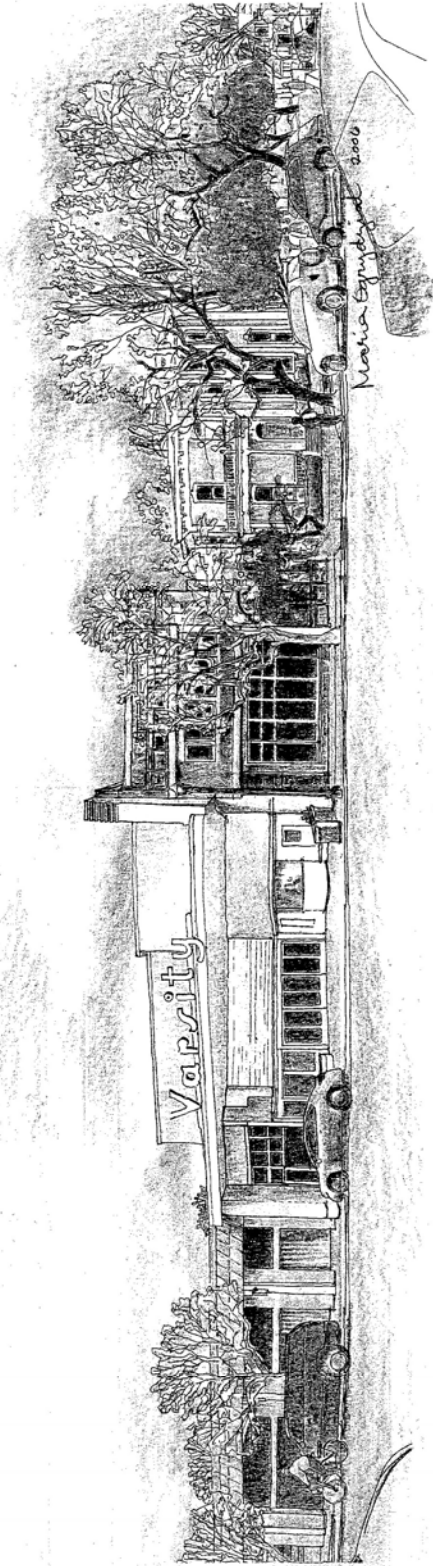
WEST ELEVATION



NORTH ELEVATION

Source: Maria Ogrydziak Architecture, 2006

FIGURE 3.0-7
PROPOSED PROJECT ELEVATIONS



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Source: Maria Ogrydziak Architecture, 2006

**FIGURE 3.0-8
PROPOSED PROJECT ARTIST'S RENDITION**

The Dresbach-Hunt-Boyer Mansion property is currently owned by the City of Davis and is comprised of two existing assessor's parcels (070-243-01 and 02) totaling approximately 8,834 square feet in area. The City has indicated interest in selling or ground-leasing a portion of the property. The proposed project assumes the existing parcels would be reconfigured to create a parcel of land on the east side of the property where the existing enclosed patio is. The developable parcel would be approximately 36 feet wide by approximately 58 feet deep, totaling approximately 2,088 square feet in area. The remaining approximately 6,746 square feet would comprise a single parcel incorporating the Mansion. The adjustment of the parcel lines would be made through a lot line adjustment or certificate of compliance process to facilitate sale of this portion of the property or to clarify the necessary legal descriptions under a ground lease scenario.

UTILITIES AND INFRASTRUCTURE

Wastewater and Storm Drainage

The Proposed Project is located in an area of Davis served by the City for both wastewater and stormwater disposal. Infrastructure is provided for the Core Area Specific Plan area through the City's Major Projects Financing Plan. Engineering studies to determine if the connections and sewer lines need to be upgraded to meet sanitary and stormwater flows will be completed prior to issuance of building permits.

Water Supply

Water supply would be provided to the Proposed Project via the existing infrastructure for the Core Area. Engineering studies to determine if the connections and water lines need to be upgraded to meet fire flows will be completed prior to issuance of building permits.

Parking

On-street parking is available in front of the subject site on both sides of Second and E streets. On-site parking is not required within the Central Commercial zoning district. The project will be subject to payment of any applicable parking in-lieu fees (Section 40.25.060) to satisfy any additional parking requirement for the project.

NOISE ATTENUATION

The Proposed Project would use standard construction practices, which includes noise attenuation techniques that can achieve exterior-to-interior noise reduction by 30 dBA or more. In addition, the Proposed Project would be required to comply with the City's noise ordinance.

ENERGY FEATURES

The Proposed Project would include energy-saving equipment, lighting, windows, and other energy conservation measures. Although specific features have not been determined at this time, lighting conservation would include installation of such features as occupancy sensors that automatically turn off lights when not in use, lighting reflectors, electronic ballasts, and energy efficient lamps. Window glazing for the project would include low-E glass. Conservation efforts are also expected to involve improved Heating, Ventilation, and Air Conditioning (HVAC) systems with microprocessor-controlled energy management systems.

PROJECT SCHEDULE

The Proposed Project would initiate demolition upon approval of the project; a hearing on the project is anticipated in fall 2007. Building construction would begin approximately 3 months after site clearance begins, with a construction period of approximately 10 months. Project occupancy is anticipated in 2009.

DISPOSITION AND DEVELOPMENT AGREEMENT

The project proponent and the Agency intend to enter into a Disposition and Development Agreement (DDA) or Disposition and Lease Agreement (DLA) that would identify the legal and financial requirements of all parties participating in property transfer, planning, design, permitting, entitlement, construction, and financing of the Proposed Project. The Draft DDA identifies certain city entitlements to be obtained by the project proponent and can include mitigation measures as conditions of the DDA. The approval of a DDA is a discretionary action and constitutes approval of a project under CEQA requiring environmental review (this EIR).

PROJECT APPROVALS

As a public agency principally responsible for approving the Proposed Project, the Redevelopment Agency is considered the Lead Agency under the California Environmental Quality Act (CEQA). The Agency has the authority to either approve or reject the project. In addition to certification of the Environmental Impact Report (EIR), additional entitlements have been requested for the Proposed Project. The Proposed Project would require the following:

Redevelopment Agency of the City of Davis

- Certification of the EIR and Adoption of Findings and a Mitigation Monitoring Plan (MMP)
- Approval of a Disposition and Development Agreement (DDA) or Disposition and Lease Agreement (DLA)

City of Davis as Responsible Agency

- Lot Line Adjustment or Certificate of Compliance
- Design Review
- Certificate of Appropriateness (COA)
- Review and approval of demolition permit for a designated City Landmark