



Part 3: Traditional Residential Neighborhoods



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Part 3: Traditional Residential Neighborhoods

Introduction



Bordering Davis' downtown commercial and mixed-use areas are three traditional residential neighborhoods: Old East, Old North and University Avenue/Rice Lane. While these neighborhoods differ from each somewhat by variations in lot layout, streetscape design and architecture, they all have in common a traditional residential character for which general residential guidelines can be applied in context.

Identifying a neighborhood as part of a conservation district recognizes that there is an identifiable visual and emotional character to an area that should be respected. These guidelines attempt to identify the basic fundamental characteristics of the traditional residential neighborhoods and provide guidance with respect to neighborhood context and basic design elements. Characteristics upon which to draw include the way in which a building is located on its site, the manner in which it relates to the street, and its basic mass, form and materials. When these design variables are arranged in a new building to be complementary to those seen traditionally in the area, visual compatibility results.

The last section in Part 3, includes specific neighborhood descriptions, as well as points to consider when applying the guidelines and case studies that illustrate how the guidelines can be used to develop new, compatible projects.



Site Design: Streetscape

STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

1 Maintain the traditional landscape character and sidewalk design of the existing streetscape pattern.

The existing streetscape pattern, including detached sidewalks which are separated from the street by planting strip and mature large-canopy trees that line the street, is one of the most character defining aspects of the residential neighborhoods in traditional Davis and contributes to the area's inviting atmosphere.

A Separate sidewalks from the curb with a planting strip.

- Existing detached sidewalks and planting strips shall be retained.
- New sidewalks shall be detached from the curb, similar to existing, with planter strips provided to accommodate street tree planting.

B Continue the use of traditional paving patterns and materials when repairing or replacing a sidewalk or curb.

- Concrete used for new sidewalks should be dyed, textured or scored to match that of original sidewalks in the neighborhood.
- The sidewalk pattern originally installed by WPA programs in several residential neighborhoods should be continued to the extent possible.

C Protect and maintain vegetation in the planting strips.

- Avoid replacing planted areas with hard and/or impervious surfaces. Consider using stepping stones placed in the grass if a walking surface is needed.
- Protect established vegetation during construction to avoid damage.

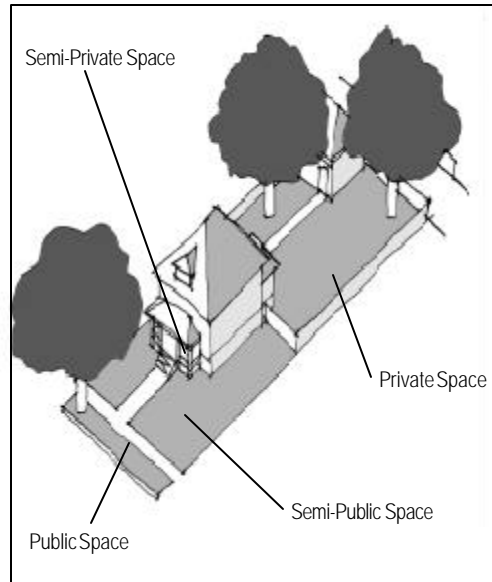
D Continue the pattern of street trees in a block.

- Existing street trees shall be preserved whenever possible. See the City's Tree Preservation regulations for specific requirements.
- Replace damaged or diseased trees with a species that is similar in character or form to those used historically.
- Street trees shall be required with new development.



A gap in the rhythm of street trees should be filled, when feasible.

Site Design: Open Space



Respect the established hierarchy of public and private spaces.



A sequence of spaces leads from the street to the porch of a traditional house. This feature should be continued.

1 Maintain the established progression of public to private spaces.
The hierarchy of public and private spaces is a progression that begins at the street, which is the most “public” space; proceeds through the front yard, which appears “semi-public”; continues to a porch which is “semi-private”; and ends at the front door, which leads to the “private” space. This sequence enhances the pedestrian environment and contributes to the character of the neighborhoods; it should be maintained.

A Provide a front yard that is similar in character to neighboring properties.

- A pathway should be provided leading from the sidewalk to the entry. Perpendicular walkways are encouraged in order to maintain the historic pattern.
- The front yard shall be predominantly landscaped with plants. Hard surface paving for patios, terraces or drives shall be minimized.
- Multi-unit housing (where allowed by zoning) shall be oriented to the street in a manner similar to that of traditional single family residences.

B Fences or hedges may be used to help define the yard.

- A front yard fence should be short and/or transparent. A maximum height of 42 inches is appropriate in the area between the street and the house.
- Masonry and solid fences are discouraged.
- Chain link fences are prohibited in front yards.
- Contemporary interpretations of traditional fences should be compatible within the neighborhood context.
- Landscaping along side and rear fences can soften edges as well as protect privacy.

STREETScape

OPEN SPACE

BUILDING LOCATION

DRIVEWAYS & PARKING

LANDSCAPE

ALLEYS & SERVICE AREAS



STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

2 Preserve a sense of open space in front, side and rear yards.

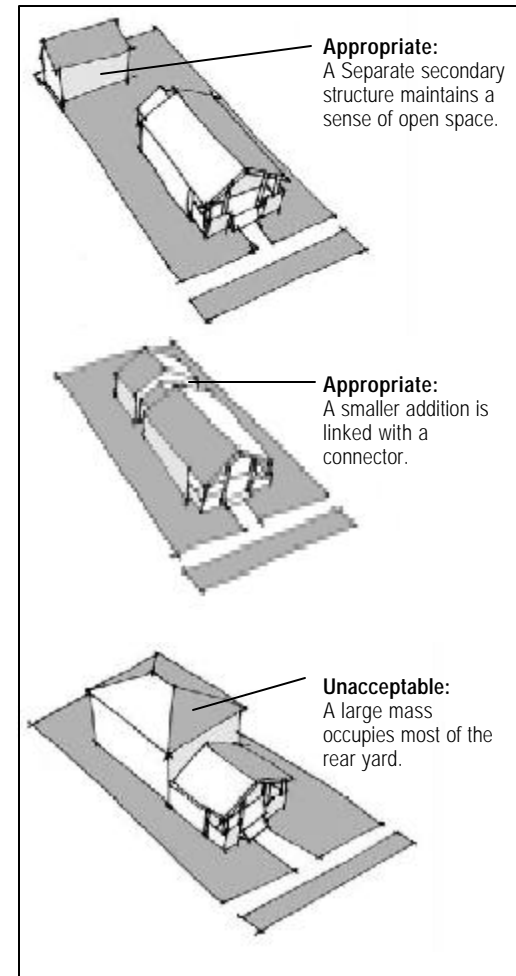
Traditional Davis houses were typically small and centered on a lot with generous front and side yards, resulting in the visual impression of a sense of openness. Application of these guidelines may result in a smaller footprint than zoning allows to ensure a sense of openness on the lot within the context of the neighborhood.

A Preserve the sense of public and private open space through the sensitive placement of building additions and new structures.

- Site the mass of the structure to the rear of the lot to preserve a sense of openness between it and a neighboring property.
- Secondary structures should be placed on the rear portion of a lot along an alley to maximize visible open space on a lot.
- Arrange building forms on a lot to preserve and define private open space.



Traditional Davis houses were typically small and centered on a lot.



Alternative massing approaches.

Site Design: Building Location



STREETScape

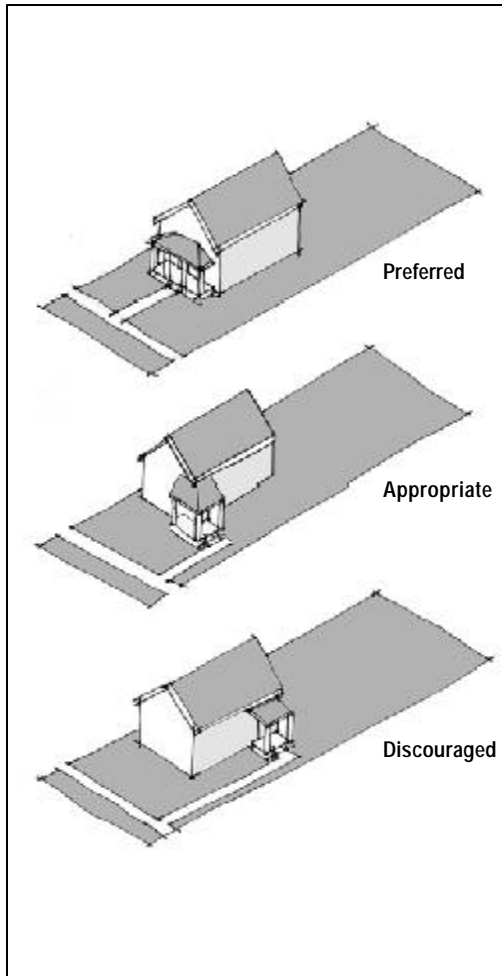
OPEN SPACE

**BUILDING
LOCATION**

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS



Alternative approaches for primary entrances.

1 Orient the front of a primary structure to the street.
Traditionally the front entry of a building faced the street and was sheltered by a one-story porch. This helped establish a sense of scale and “animate” the street. In some neighborhoods, entry ways are fairly evenly spaced along a block, creating a rhythm that contributes to the sense of visual continuity. The front porch serves as a transition area from the street to house and is an essential element of the streetscape; it provides human scale to the house; it offers interest to pedestrians; it is a catalyst for personal interaction.

A Orient the primary entry of a primary building to the street.

- All structures should have one primary entry that faces the street.
- Additional entrances may be located to the side or rear.
- Multi-unit structures (where allowed by zoning) should be street oriented.

B Clearly define the primary entrance by using a raised front porch or stoop.

- Orient the front porch to the street.
- The front porch should be functional, used as a means of access to the entry.
- The minimum depth for a usable front porch is typically 6 to 8 feet.
- Stoops should be covered and generously sized to provide a transition area.



Clearly define front entrance by use of raised front porch.



STREETSCAPE

OPEN SPACE

**BUILDING
LOCATION**

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

2 Provide a sense of visual continuity by aligning the front and sides of a new building with other structures in the neighborhood.

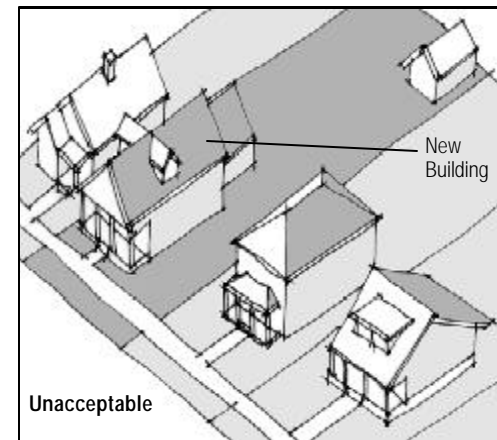
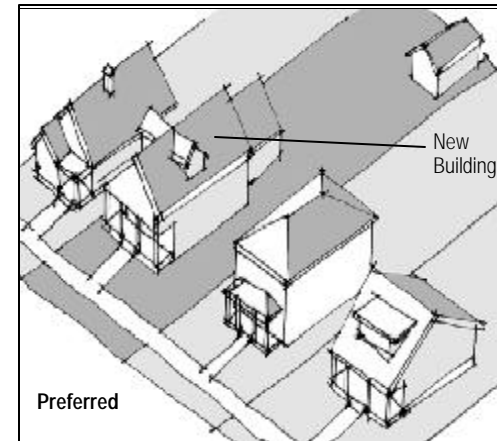
A front yard serves as a transitional space between the “public” sidewalk and the “private” building entry. In many blocks front yards are similar in depth, resulting in a relatively uniform alignment of building fronts, which contributes to a sense of visual continuity. Setback patterns may vary with in each neighborhood and these distinctions should be respected. In the Old East neighborhood, for example, setbacks are more varied. Therefore, maintaining the established range of setbacks that is characteristic of each neighborhood is an objective.

A When constructing a new building or addition, locate it to fit with the predominant pattern of yard dimensions seen on the block.

- These include front, side and rear setbacks.
- In some areas setbacks vary, such as in Old East, but generally fall within an established range.
- Structures shall be located within an average range of setbacks along the street.

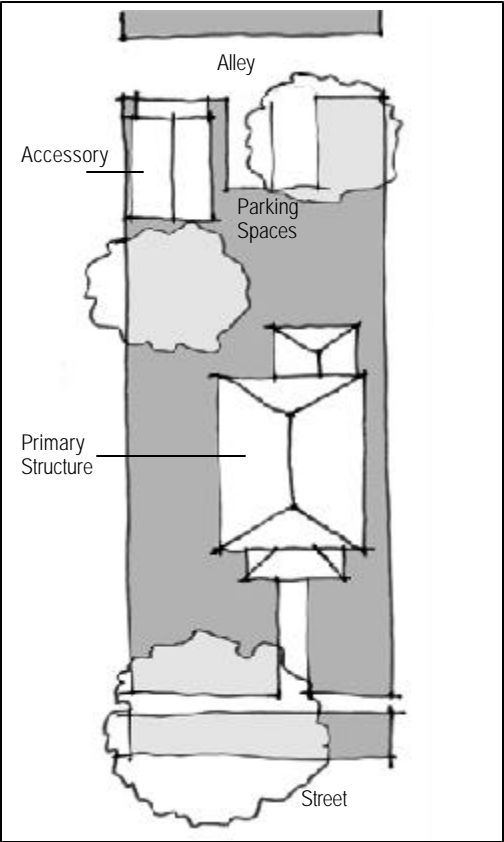


In many blocks building fronts are relatively uniformly aligned.



The house in the bottom drawing is set too far forward on its lot, outside of typical range of setbacks in the neighborhood.

Site Design: Driveways & Parking



For a lot located on an alley, locate parking in a detached garage or carport located near the alley edge and accessed from the alley.

1 Driveways and parking areas shall be subordinate to adjacent residential buildings and shall be accessed from an alley whenever feasible.

In many parts of the traditional residential neighborhoods, parking is a concern. Traditionally, automobile storage and parking areas were subordinate to residential character and accessed from the rear of a lot. Parking patterns in the rear of lots should be maintained whenever feasible.

A Access parking from an alley where feasible, and maintain traditional parking patterns. Three types of on-site parking locations are permitted.

- For a lot on an alley, locate parking in a detached garage or carport near the alley edge and accessed from the alley, or
- For a lot on an alley, locate parking adjacent to a secondary structure and accessed from an alley. A trellis may be used to cover the parking area.
- For a lot not accessible from an alley, locate parking to the rear of the lot with a driveway accessed from the street. A detached garage is preferred. Tandem (front to back) parking in a driveway is acceptable.

B Required parking in a front yard is inappropriate.

- Required parking spaces should be located in the rear half of a building lot.
- Parking should not be located in the front setback. Required parking spaces should not extend beyond the front plane of the primary building.

C An exception in the required number of parking spaces may be considered in order to preserve a feature of public significance.

- Parking for the primary residence shall comply with existing code requirements.
- Consideration may be given toward allowing an exception to parking requirements for second units in order to preserve a feature of public significance, such as a Landmark Tree or Tree of Significance, a historic structure or a substantial mature hedge.

STREETScape

OPEN SPACE

BUILDING LOCATION

DRIVEWAYS & PARKING

LANDSCAPE

ALLEYS & SERVICE AREAS



STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

2 Design new driveways and parking areas in a way that minimizes their visual impact.

Large expanses of parking erode open space, alter the character of front and rear yards and diminish the “pedestrian friendly” character of sidewalks and alleys.

A Garages should not dominate the street scene.

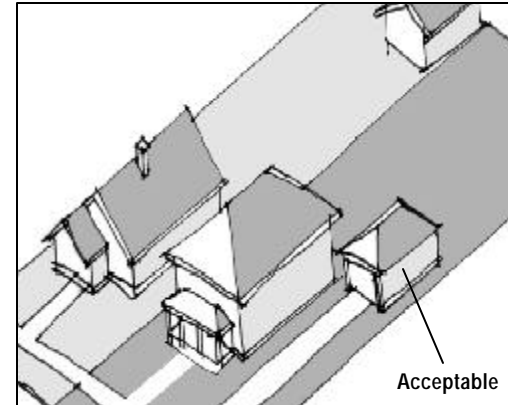
- Minimize the visual impact of a garage by locating it to the rear of a building lot, or along an alley. Traditionally, a garage was sited as a separate structure at the rear of the lot.
- Detached garages are preferred.
- If a garage must be accessed from the street, set it back behind the primary building such that parking will not extend beyond the front plane of the primary building.

B Plan parking areas and driveways in a manner that minimizes the number of curb cuts on the block.

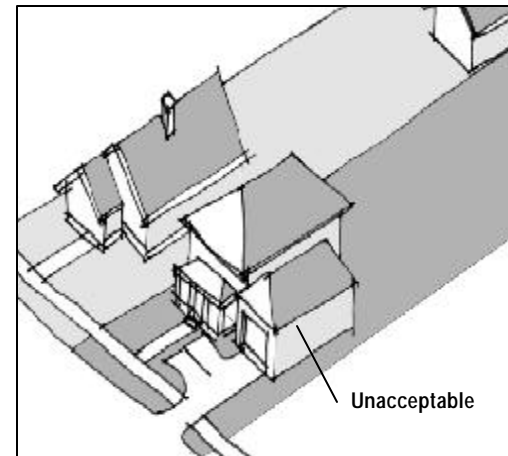
- Avoid new curb cuts whenever possible.
- Shared driveways and curb cuts are encouraged, both with adjacent properties and for multi-unit housing.
- Circular driveways are not appropriate.
- For multi-unit structures (where allowed by zoning) parking in a interior courtyard with a single access point is preferred to multiple driveways.

C Minimize the visual impact of a driveway.

- Minimize the width of a driveway and related curb cuts when it is necessary to access parking from the street.
- Curb cuts should accommodate single-car access.
- Maintain single-car width (10 ft. maximum) until the driveway extends beyond the rear of the primary structure.
- Turf blocks or parking strips are encouraged to minimize the amount of paved surface.

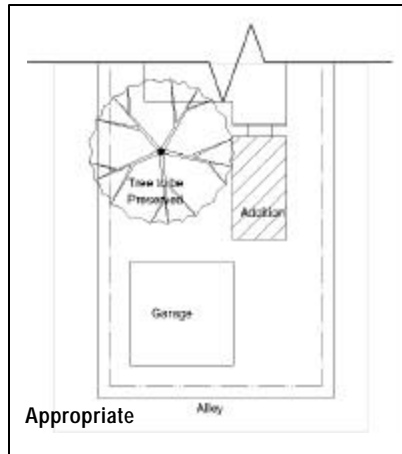


Parking locations for lots without alley access are recommended to the rear of a building, in a driveway or detached garage accessed from the street. The preferred location for parking on these lots is at the rear, close to the rear lot line.

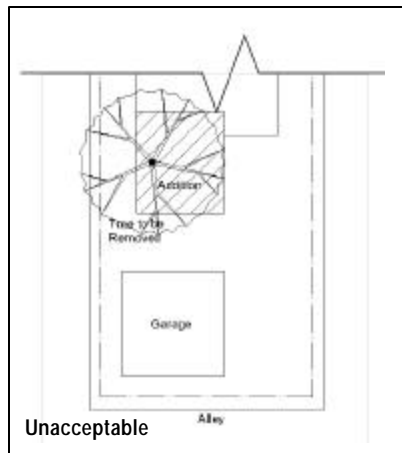


The driveway location and front yard parking spaces inappropriately alters the character of this residence

Site Design: Landscaping



A significant tree is preserved by positioning an addition along one side of the yard.



A significant tree is lost by positioning an addition in the center of the yard.

1 Preserve, to the extent feasible, existing mature trees and in some cases shrubs.

One of the most character defining features of the traditional Davis residential neighborhoods is the presence of significant, mature trees and lush landscaping. Effort should be made to the extent possible to preserve existing significant vegetation.

A The design and siting of a building, impervious surfacing, and related construction activity should take into consideration all existing trees.

- Property owners shall comply with the City's Tree Preservation Ordinance with regard to Landmark Trees or Trees of Significance. A City permit is required for removal or substantial trimming.
- Protect root systems of existing trees by fencing prior to construction and avoiding trenching or soil compaction within the drip line.
- When feasible, locate a new structure outside the drip line of an existing tree.
- Preserve existing mature trees to the extent feasible when considering a lot merger, construction of a secondary structure or major addition.

STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS



Site Design: Alleys and Service Areas

STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

1 Maintain the traditional character of the alleys.
Alleys accommodate service functions (mechanical equipment, trash containers, and utility boxes) and provide pedestrian connection and secondary vehicle access. In traditional Davis, and particularly Old North, existing alleys function as narrow secondary pathways that have a rural charm, evocative of a country lane. This is due in large part to the typically unpaved surfacing, the mix of small, older style buildings and variety of fencing types located along the alley edges. The character of the alleys is further enhanced as a result of the extensive landscaping at the edges, as well as visible glimpses of open space on lot interiors.

A Maintain the traditional scale and width of an alley.

- Locate buildings and fences near the alley edges to define the narrow width.
- Use plantings, decorative paving and fences to provide visual interest.
- Where possible, adaptive reuse of existing accessory structures is encouraged.

B Screen parking from public view.

- Use a fence, hedge or other landscape device to screen parking whenever possible.
- Trellises may be used to cover parking areas.
- Use landscaping to provide visual relief to the "alley-scape".

C Accommodate service areas and minimize their visual impacts.

- Provide areas for the placement and storage of trash containers.
- Areas for mechanical equipment and services should not be visually obtrusive. Decorative fencing, fence cutouts, and/or landscaping can be used to screen service areas.



Locating buildings and fences along an alley edge will help to maintain its narrow scale, and plantings will help convey a "rural" character.



Alleys accommodate service functions and provide pedestrian connections and secondary vehicle access. Provide for their appropriate placement and screening.

Primary Building Scale and Form: Mass and Scale



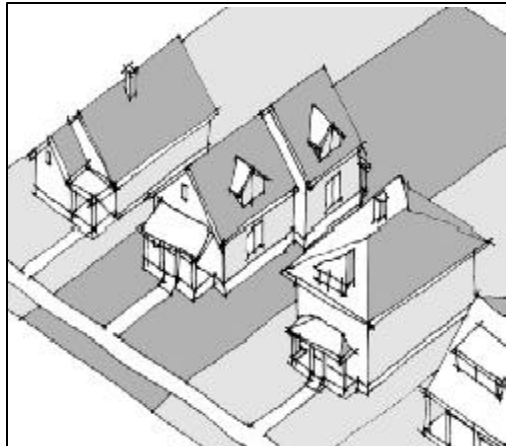
MASS & SCALE

BUILDING
FORMS

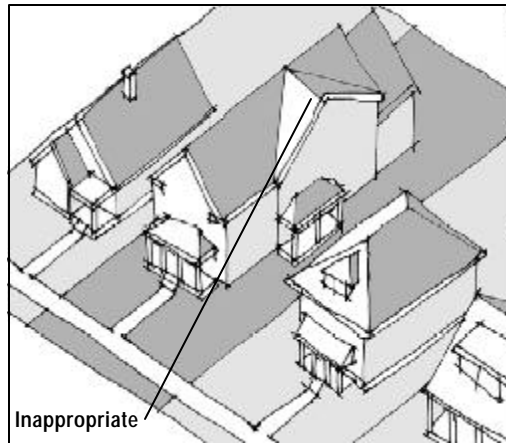
BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE



A new building should be within the range of heights seen traditionally in the neighborhood. The bottom sketch illustrates a structure too massive for its neighbors.



Use roof forms and roof pitches that are compatible with other established structures.

1 The mass and scale of a new primary building should appear similar to that of single family structures in the neighborhood.

The mass and scale of a new building is an important design issue in the neighborhoods of traditional Davis. The traditional scale of single family houses enhances the “pedestrian-friendly” character of the streets. To the greatest extent possible, new construction should maintain this smaller more intimate (human) scale and minimize negative impacts on abutting properties. While new buildings may be larger than many of the early houses, the new construction should not be so large that the visual continuity of the neighborhood is compromised. It should be noted that in some circumstances in order for a project to comply with the full intent and provisions of these guidelines it may not be possible to build to the maximum setbacks and footprint coverage allowed in the base zoning.

A Design a front elevation to be similar in scale to those seen traditionally on the block.

- The primary plane of the front should not appear taller than those of typical residential structures in the neighborhood.
- The back side of a building may be taller than the front and still appear in scale if appropriately designed and compatible with the primary structure.
- A new multi-unit structure (where allowed) should not overwhelm existing single family structures.

B Minimize the perceived scale of a building by stepping down its height toward the street and neighboring smaller structures.

- The front wall of a building should not exceed two stories in height.
- Wall heights of 1 to 1 ½ stories are preferred along a street.
- Provide a one story porch or similar element, which will define a front door or entrance and be oriented to the street.
- Livable basements are encouraged provided that they are consistent with other areas of the guidelines and they do not undermine the traditional character of the neighborhood.



MASS & SCALE

BUILDING FORMS

BUILDING MATERIALS

ADDITIONS: CHARACTER ELEMENTS

ADDITIONS: MASS & SCALE

C The primary building face should not exceed the width of a typical single family building in a similar context.

- A single wall plane should not exceed the maximum façade width of a typical residence. If a building is wider overall than those seen typically, divide the large façade into subordinate wall planes that have dimensions similar to those of traditional single family buildings in the neighborhood.

D Break up the perceived mass of a building by dividing the building front into “modules” or into separate structures that are similar in size to buildings seen traditionally in the neighborhood.

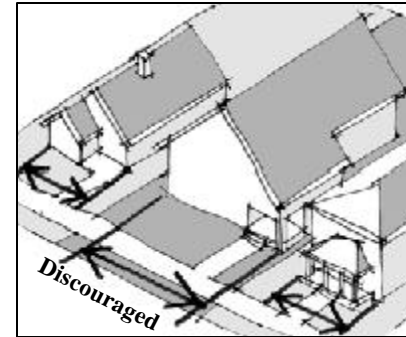
- Use a ratio of solid to void (wall to window) as seen from the public way that is similar to that found on traditional single family structures.
- Dividing the total building mass into separate structures is encouraged.
- Include landscape elements, such as fences and walkways, similar in scale to those seen traditionally.

E If a garage door is to be incorporated, design it to minimize its visual impacts.

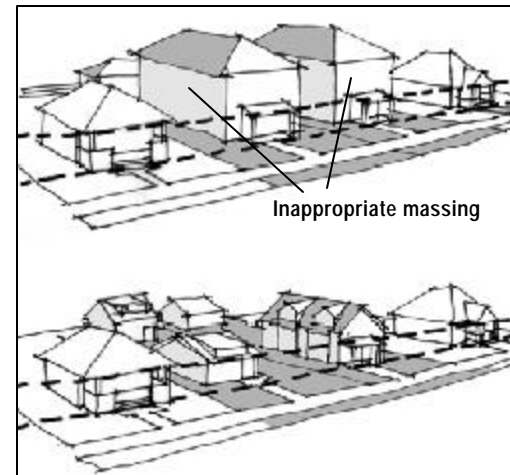
- In general, the door pattern should blend with the façade and architectural elements.
- Consider using patterns (horizontal bands) or windows that are compatible with those used on the primary structure.

F Locate doors and windows to respect the privacy of neighboring properties to the extent possible.

- Windows and doors should not be located on elevations that are directly adjacent to a neighboring property when possible.
- Where windows may overlook a neighbors property means to preserve privacy should be utilized such as locating windows above typical eye level, or utilizing an opaque or glazed type of coating (glass).
- Care should be taken that location of an exterior landing and entry door does not significantly impact the privacy of neighboring properties.



The primary face of a structure should not exceed the width of a typical residence.



Dividing total building mass into separate structures is encouraged. The top illustration shows inappropriate massing while the bottom shows how building mass can be broken into separate elements.

Primary Building Scale and Form: Building Forms



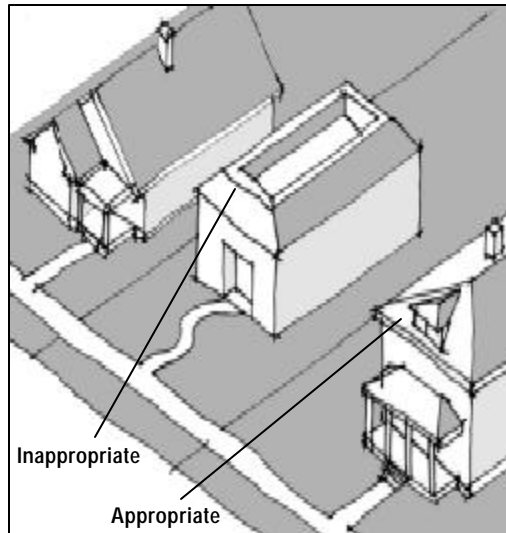
MASS & SCALE

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE



The repetition of similar building and roof forms contributes to a sense of visual continuity. Exotic roof shapes that would disrupt this feature are inappropriate.

1 Use building and roof forms that are similar to those seen traditionally.

A similarity of building and roof forms contributes to a sense of visual continuity along a block. In order to maintain this feature, a new building should have a basic roof and building forms that are similar to those seen in the neighborhood. “Exotic” building and roof forms that would disrupt this pattern are inappropriate.

A Use building forms that are similar to those seen traditionally.

- Simple rectangular solids are typically appropriate.
- Raised foundations are preferred. Finished floor heights should be within the range typically seen in the neighborhood.
- “Exotic” building and roof forms that would detract from the visual continuity of the streetscape are discouraged. Examples include geodesic domes and A-frames.

B Use roof forms that are similar to those seen in the neighborhood.

- Sloping roofs such as gabled and hipped are preferred for primary roof forms.
- Shed roofs are appropriate for some additions.



Sloping roofs such as gable, hipped and shed roofs are preferred.





Primary Building Scale and Form: **Building Materials**

MASS & SCALE

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

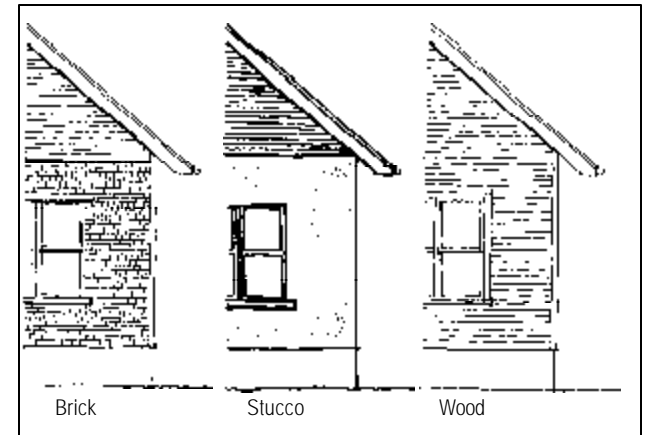
1 The main building material should appear similar to that used traditionally on single family houses.
Building materials of new structures and additions should contribute to the visual continuity of the neighborhood. While new materials may be considered, they should not vary extensively from those seen traditionally so as to create a jarring juxtaposition.

A Brick, stucco and painted wood are suggested primary building materials.

- Painted wood lap siding and shingles are appropriate.
- Stucco may be considered when it is detailed, such as wood trim around windows and doors.
- A much wider range of secondary and trim materials can occur (wood, glass, metal, synthetics, etc.)
- Innovative or "green" materials are encouraged provided that they contribute to the visual continuity of the neighborhood.

B Roof materials should appear similar in scale and texture to those found traditionally.

- Wood, high-quality composition shakes and tile are appropriate roofing materials.
- Metal roofs are not appropriate on primary structures.

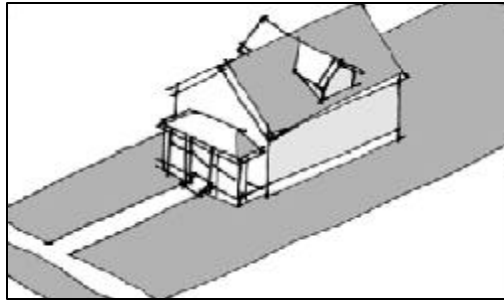


Brick, stucco and painted wood are appropriate primary building materials.



Painted wood lap siding and wood shingles are appropriate materials.

Primary Building Scale and Form: Additions: Character Elements



In some cases, adding vertically, through construction of dormers, will help to minimize the impacts of additions and preserve rear yards.



1 Design an addition to complement the existing character of a building.

Additions to existing houses are anticipated. When they occur, they should be designed to respect the character of the main building and to minimize impacts on abutting properties. When constructing an addition, use materials, windows and doors that are compatible with those of the original building. All guidelines under "Mass & Scale" and "Building Forms" apply for additions. Special guidelines in the two sub-sections on "Additions" are intended to highlight the specific issues that must also be considered when adding onto an existing building.

A Adaptive reuse of existing buildings is strongly encouraged.

B An addition should not strongly alter the perceived character of the original building.

- Use materials, windows and doors, that are compatible with those of the original building, capable of existing together without conflict or detrimental effects.
- Use a roof form on an addition that is compatible with the primary structure.

C The roof form of the new addition should be in character with that of the original building.

- In some cases, adding vertically through the construction of dormers will help to minimize the impacts of addition and preserve rear yards.
- When adding a dormer to an existing roof, it should be subordinate to the overall roof mass and in scale with those that may have been used originally in the neighborhood.

MASS & SCALE

BUILDING FORMS

BUILDING MATERIALS

**ADDITIONS:
CHARACTER
ELEMENTS**

ADDITIONS:
MASS & SCALE



MASS & SCALE

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

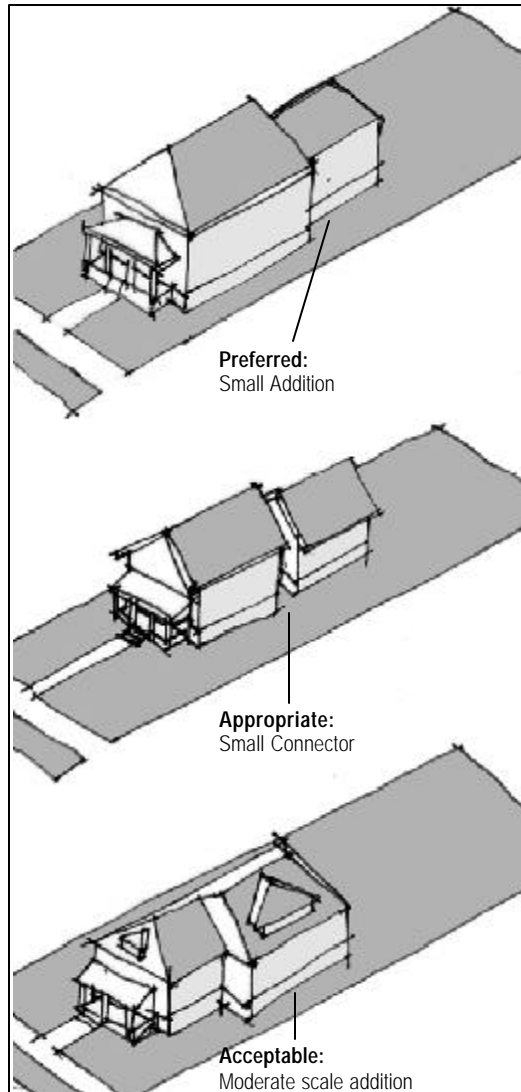
D For an existing structure that is listed as a historically significant property, design a new addition such that the evolution of the building can be interpreted.

- An existing structure that is listed as a historic property should be preserved.
- An addition should be made distinguishable from the historic building in subtle ways, such that the character of the original can be interpreted. A change in setbacks from the historic building, a subtle differentiation in styles, or the application of a new trim board at the connection point are all techniques that may be considered.
- Creating a jog in the foundation between the original and the new may also establish a more sound structural design while helping to define the later addition.



Alternative approaches to building additions.

Primary Building Scale and Form: Additions: Mass and Scale



Alternative approaches to building additions.

1 A new addition should be compatible in size and scale with the main building and of the neighborhood. Existing structures in the three residential neighborhoods are typically small in size and scale as compared to homes that have recently been built in newer neighborhoods. This smaller scale and the resulting sense of open space are significant parts of the charm and appeal of these neighborhoods. Therefore, additions should be designed to preserve the perceived scale and proportion of existing structures to the extent possible. Also, effect of the new addition on the character and rhythm of the street as seen from the public right-of-way should similarly be considered.

A A new addition should respect the mass and scale of the main building.

- Keep the mass visually subordinate to the original building.
- If it is necessary to design an addition that is taller than the original structure, set it apart from significant facades and use a “connector” to link it.
- In some cases, adding a combination of spaces vertically and horizontally will minimize the visual impacts and preserve more of the rear yard. An example would be to add dormers to the rear, providing additional floor area while maintaining the original scale at the front.

B Site the addition to minimize visual impacts on the street and on adjacent properties.

- Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.
- Locate a rooftop addition back from the building front when feasible.
- Consideration of the existing rhythm of setbacks and spaces (front, side, rear) should be evaluated with any new addition.

MASS & SCALE

BUILDING FORMS

BUILDING MATERIALS

ADDITIONS: CHARACTER ELEMENTS

ADDITIONS: MASS & SCALE



Secondary Structures: Site Design

SITE DESIGN

BUILDING FORMS

BUILDING MATERIALS

ADDITIONS: CHARACTER ELEMENTS

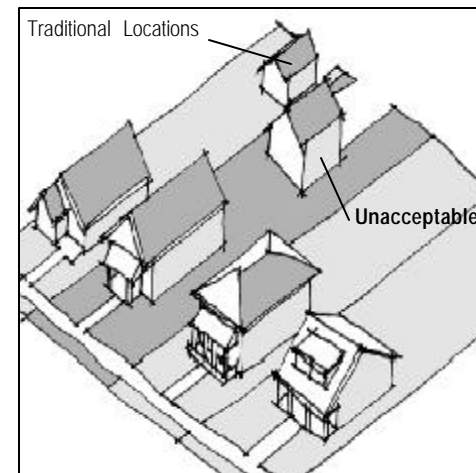
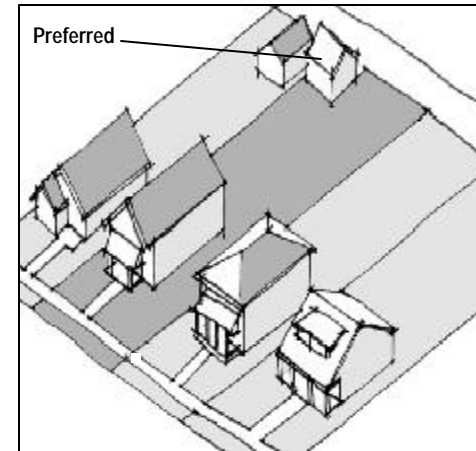
ADDITIONS: MASS & SCALE

1 Locate a secondary structure to the rear of the lot, and along an alley when feasible.

Secondary structures include a range of accessory buildings such as garages and sheds, as well as accessory units as permitted by zoning. Traditionally, secondary structures were subordinate in scale and character to the primary structure and were located to the rear of the lot. The use of detached secondary structures to provide additional living space can be appropriate as a way to reduce the overall perceived building mass on a site. For the same reason, detached garages are preferred.

A Locate a secondary structure at the edges of the building lot in a traditional manner while providing adequate setbacks to minimize impacts on abutting properties.

- On lots accessible from an alley, a one-story residential structure may be located at the alley edge, although a 5-foot setback is preferred to allow for landscaping.
- On lots accessible from an alley, garages should be set back 5 feet from the alley edge to provide adequate turning and backing-out area. A turning radius diagram may be necessary in some cases.
- On lots not located on an alley, one-story residential structures and garages should be set back a minimum of 5 feet from the rear lot line.
- Whenever possible, new secondary structures should be located next to an adjacent secondary structure in order to provide a sense of openness on the remaining portion of a lot and adjacent lots. In these cases, the minimum setbacks possible between structures would be encouraged.
- When considering two-story secondary structures through the Conditional Use Permit review process, the second story should be set back a minimum of 10 feet from the rear property line. Evaluation of the minimum side setback will be considered in context of the existing situation.



Locating a secondary structure in the center of the rear yard will reduce the amount of outdoor livable space and is therefore discouraged



Small second unit with door oriented to interior site.

B Locate doors and windows on a secondary structure in such a way as to respect the privacy of neighboring properties to the extent possible.

- Windows and doors should not be located on elevations that are directly adjacent to a neighboring property when possible.
- Where windows may overlook a neighbors property, measures to preserve privacy should be utilized such as locating windows above typical eye level, or utilizing an opaque or glazed type of coating (glass). Window to window orientations shall be avoided.
- Care should be taken that the location of an exterior landing and entry door does not significantly impact the privacy of neighboring properties.

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE



Locate doors and windows to the interior of a property rather than on elevations that are directly adjacent to a neighboring property.





Secondary Structures: Mass and Scale

MASS & SCALE

MASS & SCALE

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

1 A secondary structure should be similar in mass, scale and height to those seen traditionally in the neighborhood. *In general, an accessory structure should be unobtrusive and not compete visually with the main house.*

A Adaptive reuse of existing secondary structures is encouraged, when feasible.

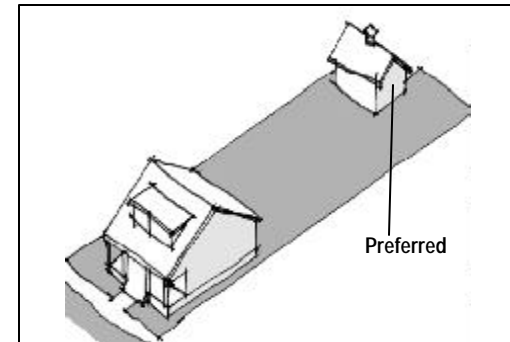
- A historic accessory structure should be retained to the extent possible.

B A new secondary structure should respect the mass and scale of the primary structure.

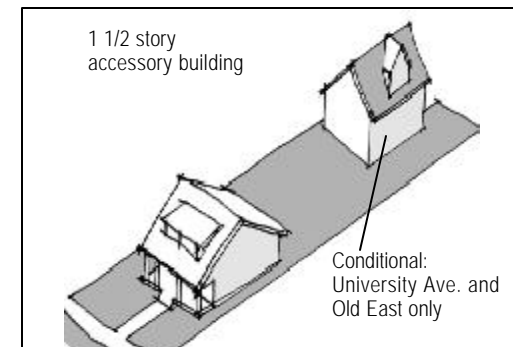
- Secondary structures no more than 15 feet in height are preferred in Old East. In the Old North and University Ave/Rice Lane neighborhoods, secondary structures are limited to a maximum of 15 feet in height and 480 sq. in in total area.
- Secondary structures taller than 15 feet require special discretionary approval in Old East. Impact to alley character and/or to adjacent properties will be considered.
- Divide the mass of a larger alley structure into modules to reduce its perceived scale.
- A secondary structure should have a one-story element where visible to public view.

C A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material.

- Basic rectangular forms with hip, gable or shed roofs are generally appropriate.
- Contemporary interpretations of traditional accessory structures are appropriate when they are compatible within the general context of the area.
- While the roofline does not have to match that of the main house, it is best that it not vary significantly.



Locating a one-story secondary structure near the rear of the lot is encouraged.



New secondary structures should be subordinate to the primary structure and should be located at the rear property line. Structures over 15' in height may be considered in Old East and University Avenue neighborhoods.



Many alleys have a rural 'country lane' character.

D A secondary structure in the Old North should reflect the small scale of the neighborhood and rural country lane character of the alley.

- A secondary structure in the Old North neighborhood is limited to a maximum height of 15 feet.
- Low eave heights parallel to the rear lot line and alley is preferred.
- Buildings with open gable ends facing the rear and front lot lines are also acceptable.
- Secondary buildings should not exceed 480 square feet of gross floor area.
- Fences along the alley should not exceed 6-feet in total height. The top 24" is encouraged to be a "see-through" element that provides partial screening while adding interest.
- See the Old North case study.



Low eave heights parallel to the rear lot line and alley is preferred.



MASS & SCALE

MASS & SCALE

BUILDING MATERIALS

ADDITIONS: CHARACTER ELEMENTS

ADDITIONS: MASS & SCALE



Secondary Structures: Building Materials

OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE

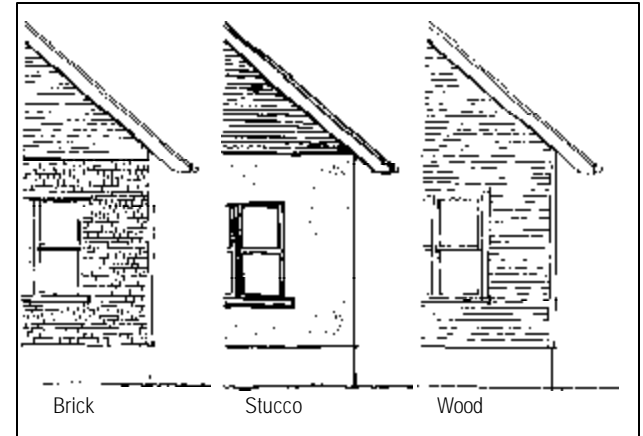
1 The main building materials should appear similar to that used traditionally on single-family houses.
Building materials of new structures and additions should contribute to the visual continuity of the neighborhood. While new materials may be considered, they should not vary extensively from those seen traditionally so as to create a jarring juxtaposition.

A. Brick, stucco and painted wood are suggested primary building materials.

- Painted wood lap siding and shingles are appropriate.
- Stucco may be considered when it is detailed, such as with wood trim around windows and doors.
- A much wider range of secondary and trim materials can occur (wood, glass, metal, synthetics, etc.)
- Innovative or "green" materials are encouraged, provided that they contribute to the visual continuity of the neighborhood.

B. Roof materials should appear similar in scale and texture to those found traditionally.

- Wood, high-quality composition shakes and tile are appropriate roofing materials.



Brick, stucco and painted wood are appropriate primary building materials.



Applying the Guidelines: Old East Neighborhood



OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE

Key Features

Streetscape character:

- street trees and planting strips
- wide streets with WPA-style sidewalks

Traditional architecture:

- sloped gable roofs
- porches and front doors facing the street
- a central mass broken by horizontal and vertical elements
- low-scale front yard fences, natural materials
- raised foundations
- house predominant, garage secondary

Site patterns:

- mix of lot sizes with open feeling
- houses in proportion with lot sizes
- large postwar apartment buildings intermingled with traditional homes

Architectural diversity:

- bungalows and cottages
- period farmhouses and homes
- postwar apartments

The residential area east of the downtown Commercial Core and the railroad tracks has most of the city's oldest existing residential structures. Here, representatives of both simple vernacular cottages and bungalows and Victorian period homes lend a distinctive character to the neighborhood. Old East has traditionally possessed a mix of lot sizes. The neighborhood's old farmhouses, several of which still exist, were once surrounded by open land. It is on those large open parcels that new small ranch houses and large postwar apartment houses apartment complexes were built in a manner characteristic of urbanization in rural California. Old East is currently zoned R-2, one- and two-family residential.

Design Objectives

To maintain the traditional scale and character of the Old East neighborhood and reflect its traditional "farmhouse" heritage, while accommodating new, compatible infill development.

Applying the General Residential Guidelines:

- Building setbacks in this area should be varied to reflect traditional setback patterns. The front set back for a new building should be within the range of traditional structures on the block. Typical setbacks range from 15 to 30 feet.
- On blocks where non-traditional structures exist, projects should be planned to be compatible with the traditional neighborhood building style. Proposals to remodel non-traditional structures should include plans to utilize as many guidelines as possible to improve compatibility with the traditional building stock.



These three infill duplex developments are out of scale for the traditional Old East Davis neighborhood.



Case Study: Old East Neighborhood

OLD EAST

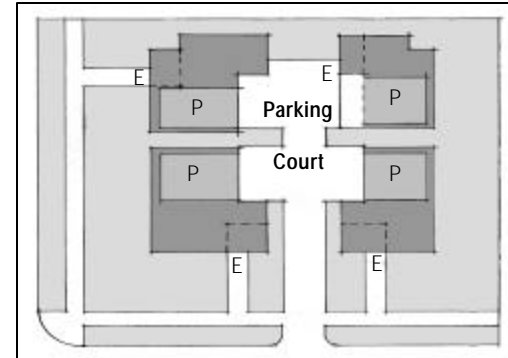
How might the design guidelines affect the outcome of an improvement project in the neighborhood? A theoretical case study presented on this and the following page illustrates the application of the guidelines for the Old East neighborhood in combination with the general guidelines for residential neighborhoods.

OLD NORTH

Characteristics:

- The mass of the development is divided into four distinct modules.
- Roof forms help reduce the perceived mass of the buildings.
- Four units are arranged in a cluster.
- Parking is located in the interior, in a parking court, which minimizes visual impacts and helps create an open feeling typical to the neighborhood.

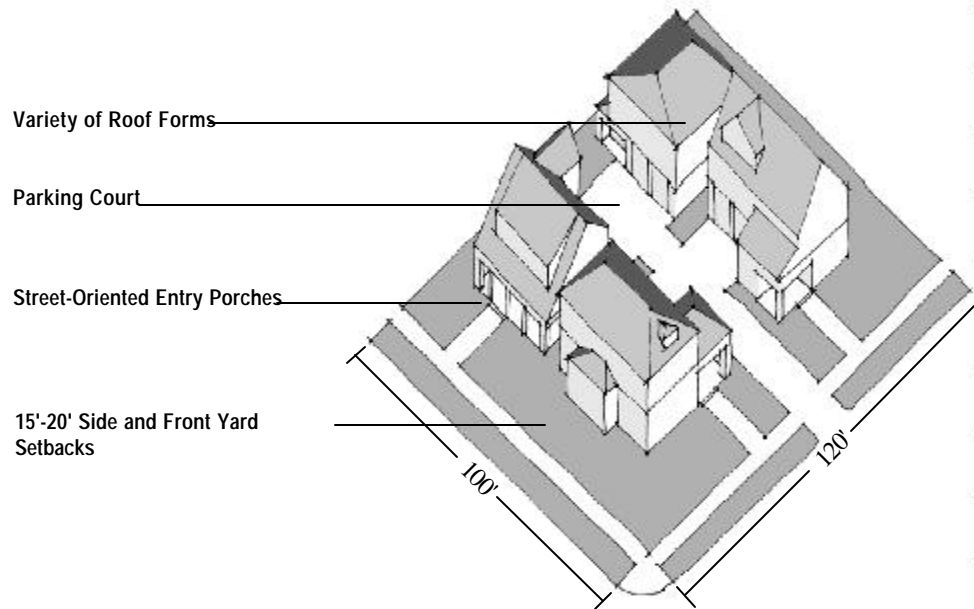
UNIV. AVE/
RICE LANE



P Parking
E Porch Entry

Features:

- Four units (approx. 1,000 square feet each)
- Double Lot
- R-2 setbacks (20' front and rear)
- Individual street-facing porches
- Massing expressed as four houses
- Two covered parking spaces per unit
- Building mass similar to the traditional neighborhood





OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE

- Building mass broken-up to reflect traditional neighborhood scale
- Traditional building heights, roof and forms (with attics)
- Street-oriented entry porches
- Parking Court
- 15'-20' side and front yard setbacks



Conceptual sketch illustrating the potential character of the Old East neighborhood case study.



Case Study: Old East J Street R-2 Site



OLD EAST

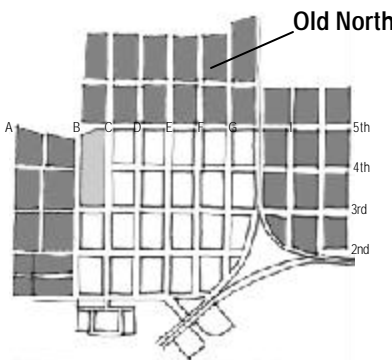
OLD NORTH

UNIV. AVE/
RICE LANE



Applying the Guidelines: Old North Neighborhood





Key Features

Streetscape character:

- large canopy street trees
- open front yards
- informal landscaped alleys
- wide streets with parkways
- sidewalks
- on-street parking

Architecture:

- predominantly small one-story houses on raised foundations
- decorative variety
- pitched roofs
- few front yard fences
- front doors face the street
- mix of materials (brick, wood and stucco)
- consistency with diversity

Site patterns:

- consistent lot sizes and front yard setbacks
- houses in proportion with lot sizes
- unpaved, rustic alleys north of Sixth Street
- curb cuts with parking in rear yard on blocks south of Sixth Street, few curb cuts north of Sixth Street
- alley cottages and granny flats
- few garages in front of houses

Architectural diversity:

- bungalows and cottages

This 12-square-block, mostly residential neighborhood north of the Core consists of a well-preserved neighborhood of cottages and bungalows, built between 1913 and 1940. While individual structures are not of great architectural significance, the neighborhood is a fine example of its type. The older houses in the neighborhood have retained a considerable amount of integrity and form a cohesive link to the city's past development. Five of the six original alleys are unpaved and evocative of early 20th century life.

From a physical character perspective, the Old North neighborhood has three areas with distinctive features. These areas are influenced by adjacent commercial, institutional and park development. They include the G Street commercial area, residential blocks and school buildings in the southwest corner of the neighborhood. With the exception of G Street, Old North is residential, zoned R-2, one- and two-family residential.

Design Objectives

The Old North neighborhood should continue to reflect the scale and character of a single-family neighborhood. The character of the streetscape, with uniformly spaced trees, should be maintained. Alleys should retain a small scale, rustic image.

Traditional parking patterns should be maintained.

Applying the General Residential Guidelines:

- Because Old North homes are traditionally small one story bungalows and cottages, great care should be taken to ensure that new construction is in scale with its neighbors. Illustrations on the following pages show how to plan an appropriately scaled addition or new building.
- Secondary structures are limited to a maximum of 15 ft. in height in order to respect the mass and scale of the neighborhood's primary structures. (*Special guidelines for Old North Secondary Structures appear in the Secondary Structures Guidelines, page 89*). A Case Study in this section also shows how to apply these special guidelines.
- Traditional parking patterns should be retained. South of Sixth Street, narrow driveways lead to rear yard parking. North of Sixth alley parking is preferred and new curb cuts should be avoided if possible.

OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE



Case Study: Old North Neighborhood

OLD EAST

OLD NORTH

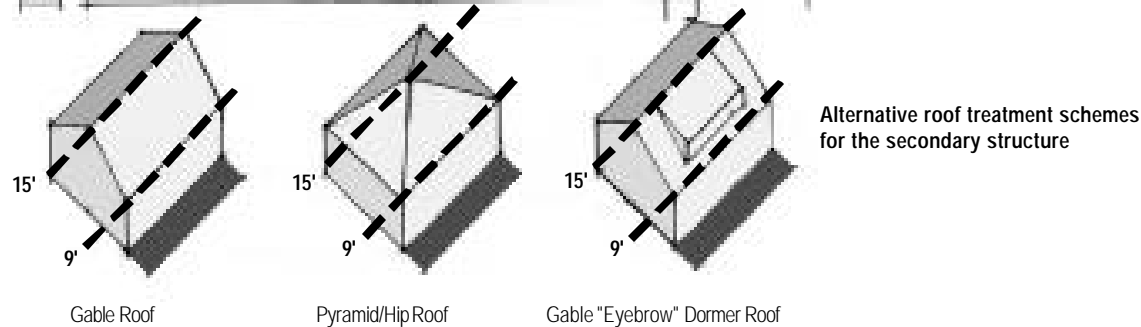
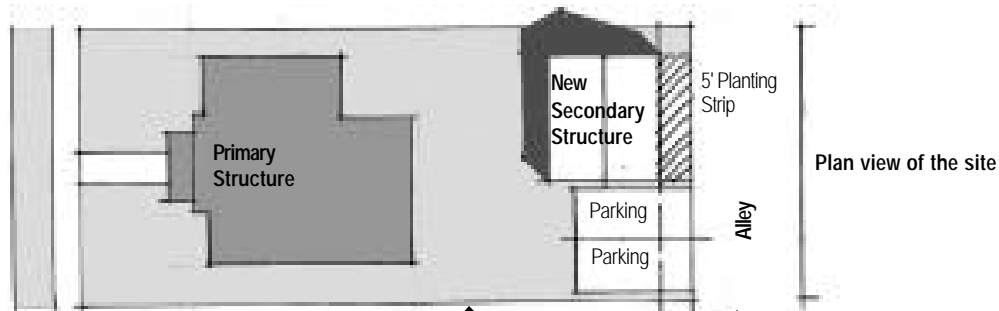
UNIV. AVE/
RICE LANE

How might the design guidelines affect the outcome of an improvement project in the neighborhood? A theoretical case study presented on this and the following page illustrates the application of the guidelines for Old North in combination with the general guidelines for residential neighborhoods. In this case, a new secondary structure is designed to be compatible with the alley context.

Characteristics:

- The mass of the alley building is set back 5 feet from the property line, which reduces its impact on the alley.
- Parking is located beside the building and is accessed from the alley.
- Building heights remain in scale with those seen traditionally.

Development Standards for Secondary Structures on Alleys	
Site Coverage	480 sq. ft. max.
Setbacks/Side	5'
Setbacks/Alley	0'-5'
Landscaping	40% alley frontage
Max. Height	15'
Eve Height	9' (along alley)
Max. Fence Height	6' total height (top 2' encouraged to be "open")
Parking	2 spaces along alley (additional parking, if required, located curbside)

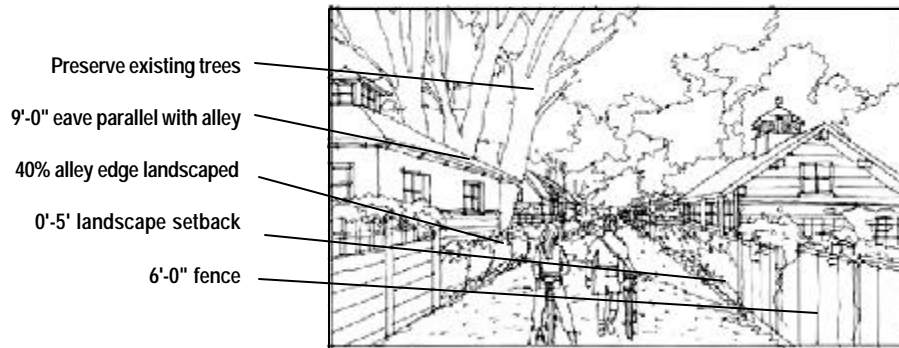




OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE



The sketch at left illustrates the potential character of new secondary structures along a typical alley in the Old North neighborhood:

- Fences are encouraged to include "see-through" elements that provide partial screening while adding interest to the scene;
- Foundation plantings buffer the alley edge as well; and
- Low scale buildings with sloping roofs permit views through properties.



Case Study: Secondary Structures on Alleys, Old North Neighborhood



OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE



Applying the Guidelines: University Avenue/Rice Lane Neighborhood



**University/
Rice Lane**

A B C D E F G 5th
4th
3rd
2nd

Key Features

Streetscape character:

- street trees
- vital, vibrant street life
- informal landscaped alleys
- narrow streets with parkways
- landscaped setbacks
- narrow sidewalks
- narrow curb cuts

Architecture:

- pitched, hip and gable roofs
- predominantly one and one and one-half stories
- porches and front doors facing the street
- few front yard fences
- mix of materials (brick, wood and stucco)
- raised foundations

Site patterns:

- narrow, deep lots
- a variety of building types
- small- to medium-scale residential
- balance of uses while maintaining residential character
- garages in rear half of lots
- yards in back
- small alley houses

Architectural diversity:

- bungalows and cottages
- some period architecture, particularly 1910-1940

University Avenue/Rice Lane is located between downtown and the University of California, Davis. It includes a number of traditional houses, post-war apartment buildings, hotels in its southeast corner and a commercial corridor on Third Street that links the downtown with the campus. Some residences have been adapted for institutional, fraternal and commercial uses. The neighborhood possesses a distinctive visual character that evokes the important town/gown interface.

The University Avenue Neighborhood Association, which has been proactive in retaining the neighborhood's character, was directly responsible for the city's adopting specially tailored Planned Development zoning in 1986, which is credited with helping revitalize the neighborhood. University Avenue/Rice Lane is the one residential neighborhood included in the Core Area Specific Plan.

Design Objectives

To encourage the continued health and vitality of the single-family residential character and to stabilize the existing mix of uses within the neighborhood by encouraging compatible reuse, maintenance and renovation.

Applying the General Residential Guidelines:

- On blocks where non-traditional structures exist, projects should be planned to be compatible with the traditional neighborhood building style. Proposals to remodel non-traditional structures should include plans to utilize as many guidelines as possible to improve compatibility with the traditional building stock.
- Due to the variety of land uses allowed in this neighborhood, applicants should first consult with Planning staff for information on density and uses allowed for their specific parcel.
- Encourage the maintenance of the existing mix of uses within the neighborhood. However, when conversion or change in use would enhance the neighborhood or would result in an upgrade to a non-contributing structure, as example, a non-contributing residential structure in disrepair located on a larger arterial that is converted to office use, adaptive re-use is encouraged.
- Secondary structures are limited to a maximum of 15 ft. in height and 480 square feet in total area in order to respect the mass and scale of the neighborhood, and to minimize further intensification along the alleyways.

OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE



OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE

