



Re-Roofing Policy

Residential and Commercial

Roof Deck and Nailing Inspections

A roof deck and nailing inspection is always required as soon as the old roofing material is stripped and before the new roofing material is installed, however this inspections will not be conducted during and/or immediately following a rainstorm or high winds. This however does not mean that we do not require this inspection, it only means that it will be delayed until the roof is dry and safe to walk on it for a proper inspection. We want to prevent the potential of injury to our inspectors by slipping and falling from a roof. *****A current, valid, and approved copy of the I.C.B.O. Evaluation Report is required to be on site for inspection of roofing material or system that is other than composition shingles, wood shakes or shingles.**

Older roofs with a spaced or skipped sheathing may be overlaid with 3/8" (3-ply exterior glue) plywood after the roof covering has been removed. When sheathing is overlaid with either 3/8" or 1/2" plywood, **ALL HORIZONTAL** plywood edges (long edge) must be backed with solid material when overlaying over skip sheathing. The minimum nail required is 8d (eight penny) or 2 1/2" inch staples with staples being installed parallel to framing members. Both staples and nails shall be driven into solid roof framing with spacing of 6" edges and 12" in the field.

Roof Sheathing Inspection

- ❖ Inspectors will check for proper materials used for overlay. (i.e. size and spacing of fasteners used)
- ❖ Older roofs with 3/8" plywood sheathing may require an overlaid or complete replacement depending on the condition of the original roof deck material.
- ❖ Inspectors will also check all "Hot" vents for clearances to framing and other combustibles. (Clearance to combustibles is one inch on Type B double wall vents, and six inches for single wall vents).
- ❖ All "Hot" vents shall be strapped with metal straps or plumbers tape in two directions to maintain proper alignment and clearances to combustibles.
- ❖ All damaged or deteriorated vents found during the Roof Sheathing Inspection will be required to be changed or extended when found to be short and not through the roof a minimum of 12".
- ❖ On flat roofs, the same requirements as stated above apply as well as roof drains and overflows. A check for ponding or improper drainage of water off of the roof surface will be conducted. If the field inspector determines that ponding may occur or improper drainage is visible, he/she may require this deficiency to be remedied.

Existing Vents

Existing gas appliance vents shall be inspected to check for alignment with the appliance and shall be secured with three sheet metal screws at each joint below the ceiling line and at the appliance connection (except wall heater vents). On the roof two metal straps shall be used to keep them centered to provide a minimum of one-inch clearance from all combustibles. Contractors, please check for connection of flue pipe to all gas appliances as soon as the deck has been stripped and clean all rubble from upper combustion openings. The flue vents must extend 12" above the roof surface, shall be securely strapped in position, and shall not be damaged (Any damaged flue shall be replaced).

Single Family Attached Condition (Other than units attached at the roof ridge)

For a single family attached condition the following must be performed: Provide a single 2x4 or stacked double 2x4 when flat, and flash properly to separate the roofs of the two dwelling units (See page 4 for typical details).

Final Roof Inspections

Note: Final inspections will not be made in the hot afternoons during the summer months, if, in the opinion of the Chief Building Official, there is potential for damage to the new roof by the inspector walking on the hot, soft roofing material.

- ❖ Access to the interior of the home or apartment may be required for FINAL inspection if a Gas Furnace or Hot Water Heater is located inside the home or apartment. The inspection performed is to insure that all Hot vents are properly seated and attached to their respective appliance.
- ❖ Inspectors will check for the proper use of materials. The manufacturer's installation instructions are typically printed on the bundle wrappers. Be sure to leave a bundle wrapper at the job site. **Note: The failure to have a bundle wrapper or ICBO Report will result in the inspection being postponed until such materials are made available to the inspector.**
- ❖ Inspectors will check for proper flashing and counter flashing of all vents, skylights, roof-to-wall flashing, fireplace chimney flashing, and drip edge flashing (These are required even if not done originally).
- ❖ Inspectors will check for re-installation of any roof mounted equipment such as furnaces, swamp coolers, solar panels, gas lines, electrical conduit etc. This includes checking for blocking supports on the exterior piping, electrical conduits, and equipment platforms.
- ❖ On commercial and apartment projects, the inspector will check for the proper location(s) and sizing for roof drains and overflows.
- ❖ On commercial and apartment projects the main roof drain downspouts shall not be located such that the water spills onto any sidewalk per Section 1506.5 of the Uniform Building Code. They must run under sidewalks or be tied directly into the storm drain system. If a planter area is used, it must be capable of handling the volume of water being discharged upon that area.

Please keep in mind, access to the roof for any inspection is the responsibility of the owner or permit holder (contractor, agent or owner). A CALOSHA 300 lbs rated approved extension ladder shall be provided for the purpose of making all inspections the ladder shall be able to extend a minimum of 3ft above the roof.

A copy of the city attorney's interpretation on the requirement for providing ladder access is available upon request at the Planning and Building Counter.

Roofing overlay Policy

Residential and commercial

On Overlays:

The pre inspection is required prior to starting the job. To determine compliance for all the general requirements for “built-up roof” or “other roof” coverings, roof core samples or roof cuts may be required by the inspector at the time of the pre inspection. The inspector will specify the sample locations.

The roof assembly shall not have less than a Class C fire rating for R Occupancies and U-1 Occupancies (private garages, carports, patio covers, and sheds). R Occupancies are defined as being one of the following: hotels, motels, apartment houses, congregate residences, dwellings, and lodging houses.

Built-up Roofs:

A. General.

Built-up roof covering may be applied over one existing roof covering when all the conditions listed below are satisfied:

1. The roof structure is sufficient to sustain the weight of an additional roof. This can be verified through inspection by an engineer, architect, or special inspection agency.
2. There is no more than one existing roof on the structure.
3. The existing roof is securely attached to the deck
4. The roof deck is not rotted and is structurally sound.
5. Existing insulation is not water soaked.

Shingles and Shakes:

The Chief Building Official may permit a recover in accordance with the following provisions:

1. Asphalt/Composition Shingle Application

Not more than two overlays of asphalt/composition shingles shall be applied over an existing composition or asphalt/composition shingle roof.

Not more than two overlays of asphalt/composition shingle roofing shall be applied over wood shingles.

2. Wood Shake application.

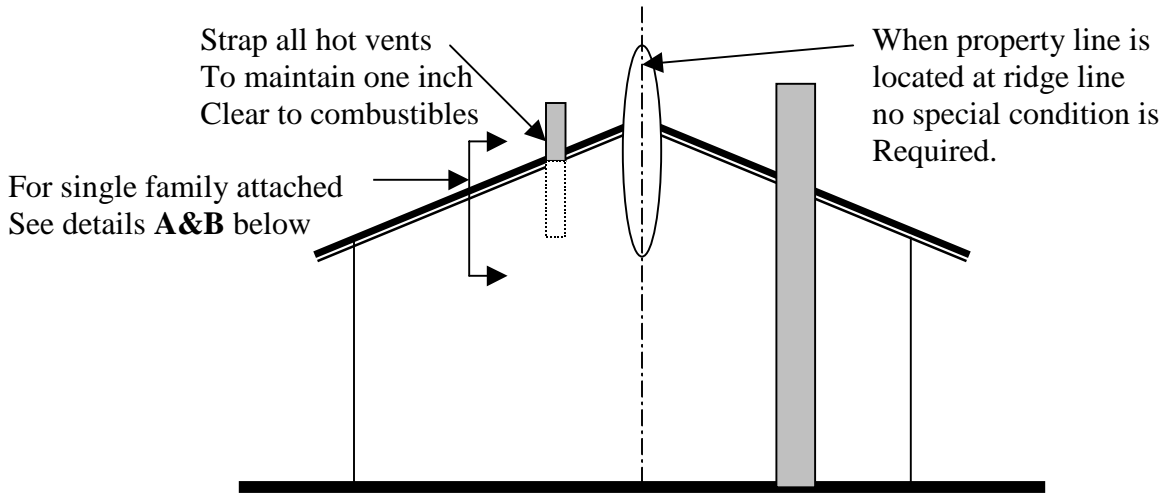
Not more than one overlay of Class C minimum wood shakes shall be applied over an existing composition or asphalt shingle or wood shingle roof (with one layer of 18 inch, 30 pound felt interlaced between each layer of shakes).

3. Wood Shingle Application.

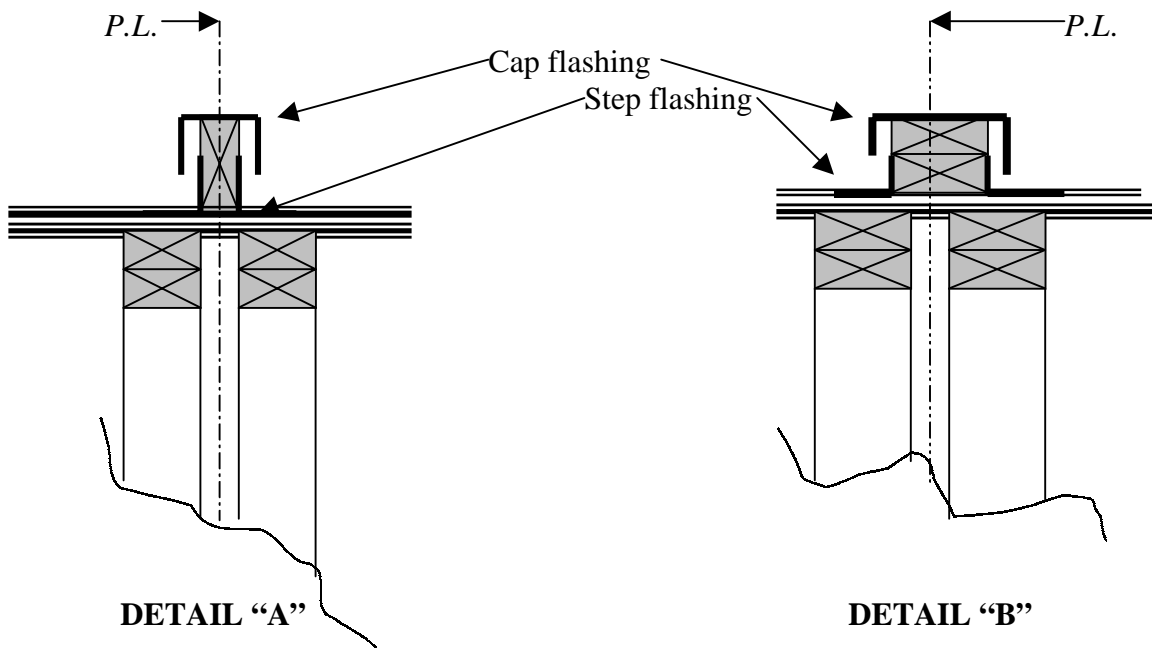
Not more than one overlay of wood shingles shall be applied over existing wood shingles.

4. Application over Shakes

New roof covering shall not be applied over an existing shake roof unless approved by the Chief Building Official.

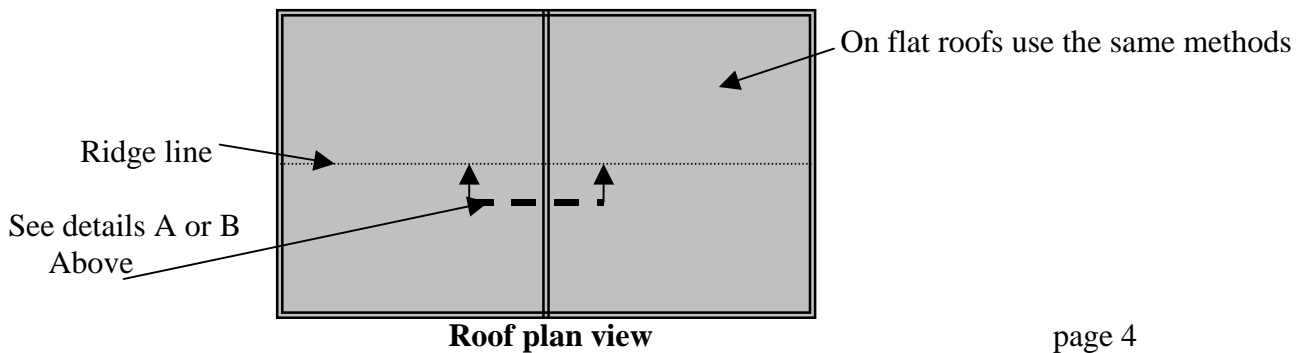


END VIEW

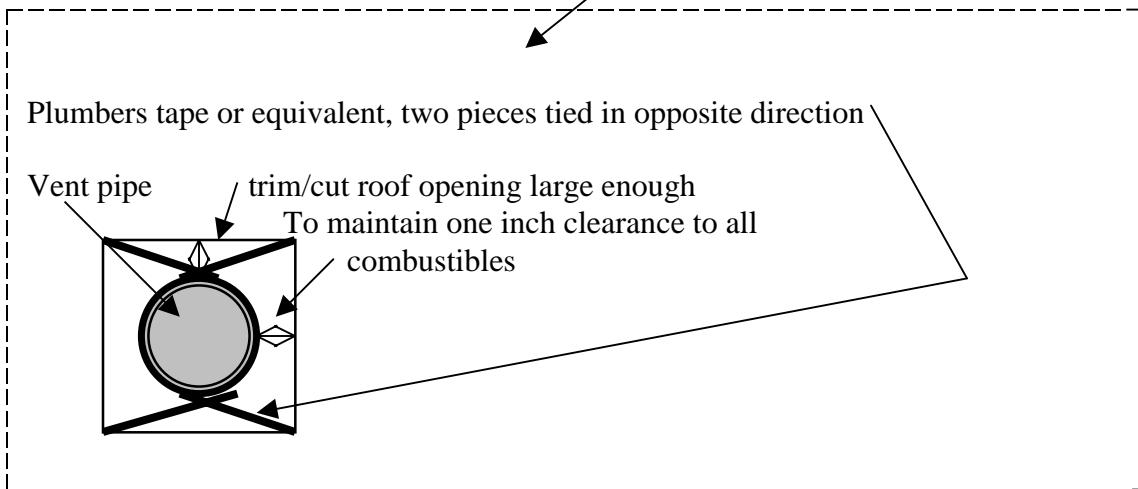
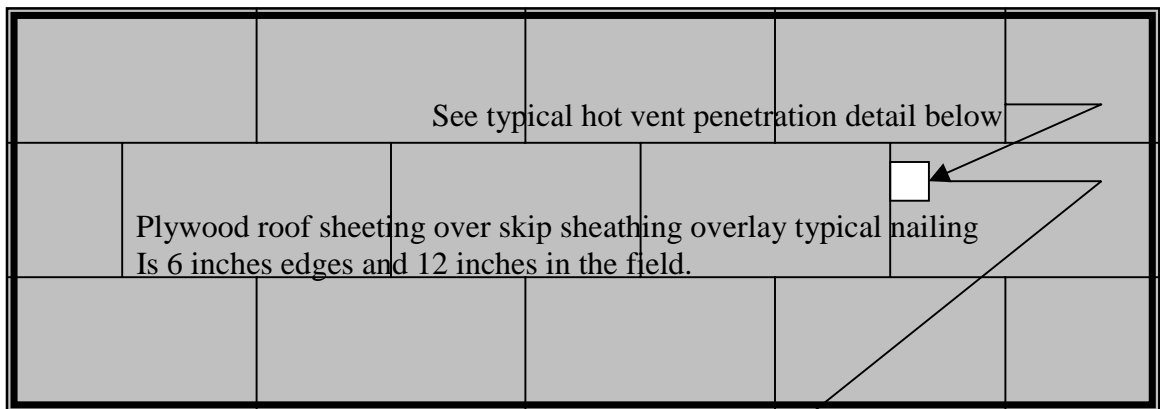
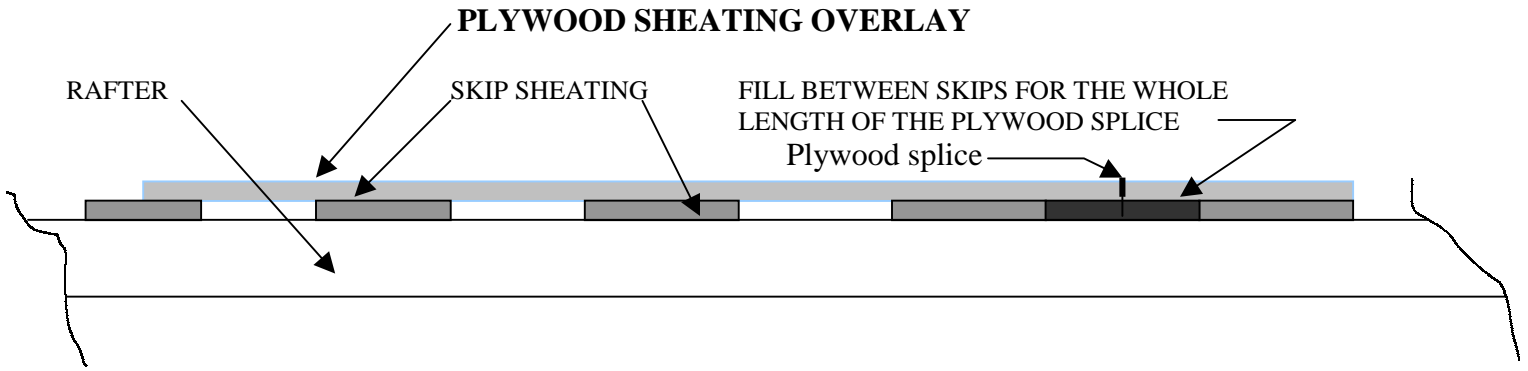


DETAIL "A"

DETAIL "B"



Roof plan view



Any Questions? Call the Building Department at (530)757-5610 and ask
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