

8.1

Initial Study

COMMUNITY DEVELOPMENT DEPARTMENT

23 Russell Boulevard – Davis, California 95616
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Environmental Checklist / Initial Study

Project Title: Anderson Bank Building Window Project

Lead Agency Name and Address: City of Davis,
Community Development Department
23 Russell Blvd., Davis, California 95616

Contact Person and Phone Number: Ike Njoku, Planner -- (530)757-5610

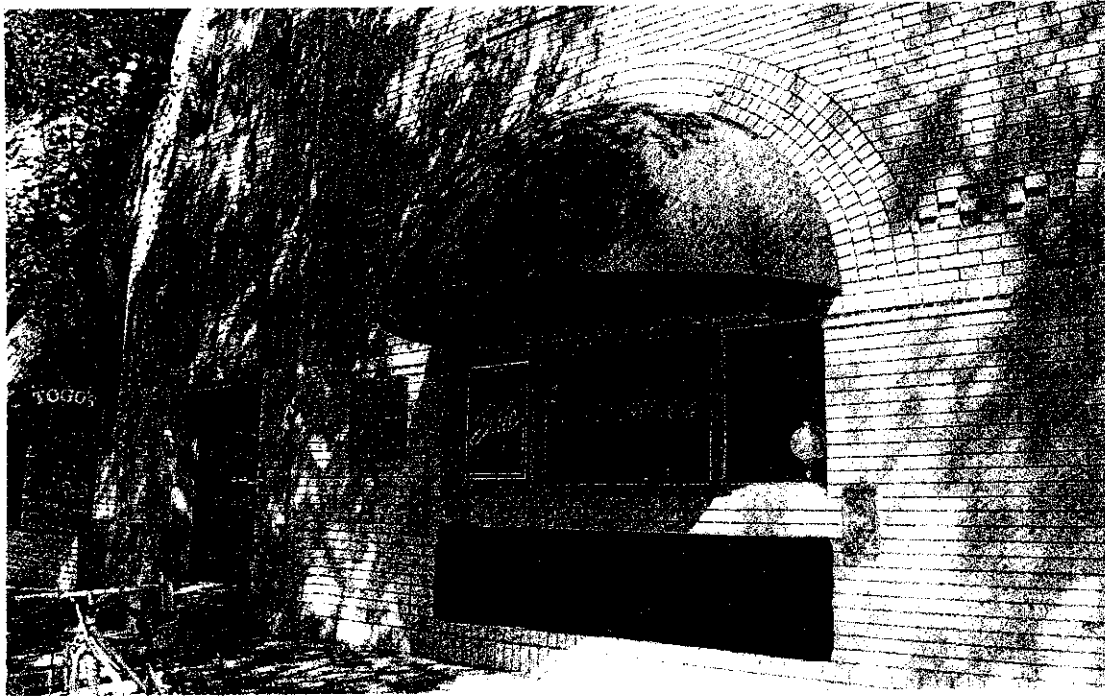
Project Location: 203 G Street/719 Second Street/ (APN 070-251-81), approximately 0.13 acres (northwest corner of the intersection of Second Street and G Street, City of Davis, Yolo County, California)

Project Sponsor's Name and Address: James A. Kidd, 200 B Street, Suite D, Davis, CA

Policy, Plan, and Zoning Consistency: The applicant proposes to cut new window openings below the existing windows along the Second and G Street facades of the Anderson Bank Building, a City Landmark. A Certificate of Appropriateness (COA) approval is required because the property is on the Davis Register of Historical Resources pursuant to city's Zoning Ordinance. If the Certificate of Appropriateness is approved, the project would be consistent with the General Plan and the Zoning Ordinance.

Previous Relevant Environmental Analysis: There are previous Environmental Impact Reports prepared for prior actions on the building.

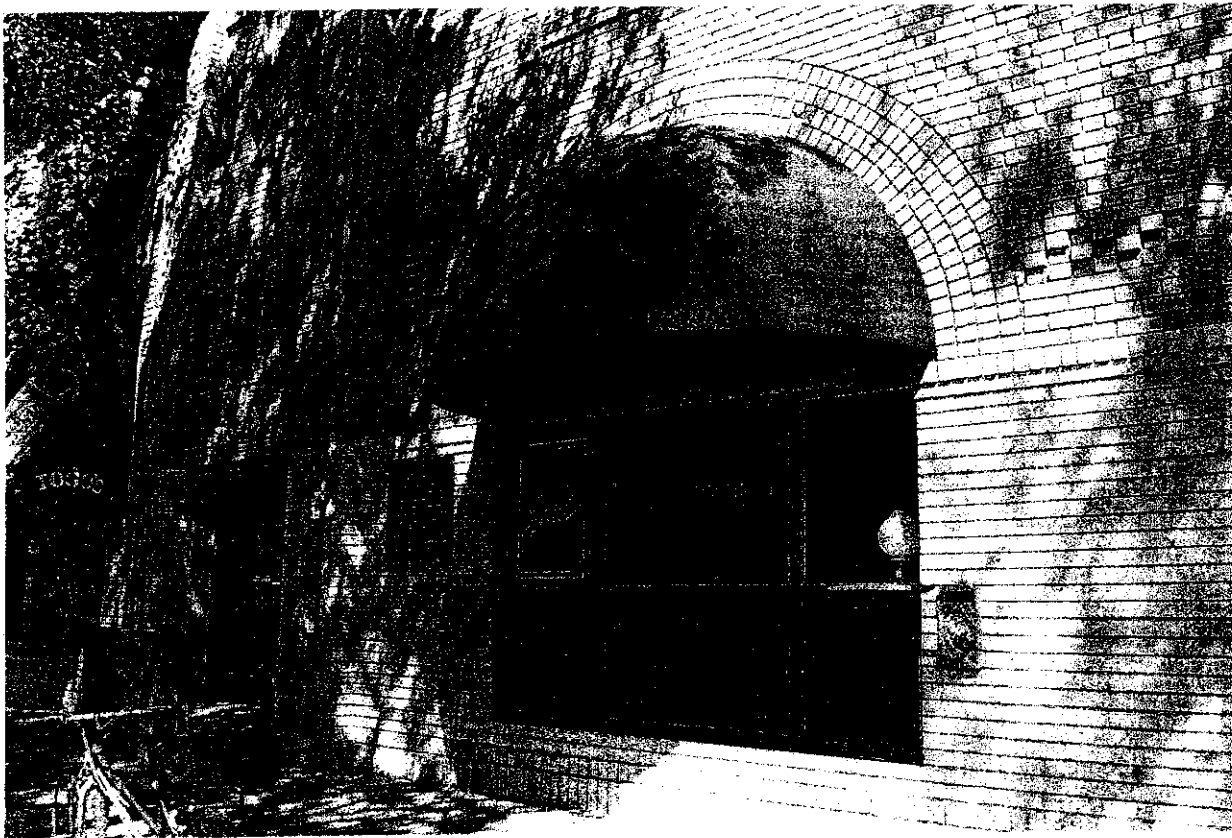
Description of Project: The applicant proposes to cut new window openings below the four existing windows along the Second and G Street facades of the Anderson Bank Building. The applicant has proposed two design options, both of which would insert custom cut panes of glass into the new window openings located under the existing windows. The first option would retain the three raised tiers of the brick window sills, while the second option would remove all of the brick window sills located directly under the existing window. Each new window opening under the first option would be approximately 5' x 2', and under the second option they would be approximately 5' x 2'. The two design options are labeled A and B. Design Option A would involve the installation of four new windows in the bulkhead beneath the existing brick sills that anchor the four arched windows sited along the east and south building elevations. Each new window would measure approximately 5' x 2', and would comprise the wall section between the soldier-and-rowlock brick base and the brick window sill. No other changes are proposed as part of Design Option A. Design Option B would result in the removal of the existing brick sill, ornamental end panels, and the installation of a new window with a tri-partite sash that is similar to the sash pattern currently incorporated in the building windows. A squared bracket/cap is proposed for installation on the wall in place of the existing historic end panels. No other changes are proposed as part of Design Option B. Below are pictures of Design Option A.



Design Option A Pictures Showing 5' x 2' Potential Cuts for the Windows

Below is a picture depicting Design Option B, which would remove existing brick sill and the ornamental end panels.

DESIGN OPTION B



Surrounding Land Uses and Setting: The subject building is located on the northwest corner of the intersection of Second Street and G Street. The subject building was constructed in 1914, and is a two-story brick commercial building with brick and terra cotta detailing. Wrapping around the block, it is an excellent example of corner commercial building form which played an important role in defining business districts in small towns and neighborhood commercial centers from the 1870's through the 1940's. In a clear architectural reference to the arcaded urban business block, the building's two major street level elevations are punctured by four large arched windows that are divided by wooden mullions. Breaking up the planar surface of the walls, these massive openings are significant features of the building's otherwise restrained and subtle interpretation of the Prairie School architectural vocabulary. The main entrance, located at the angled corner of the building is a prominent feature; its importance highlighted by a decorative terra cotta plaque placed over the opening. Together with the arched windows, the entry, enhanced by patterned brick pilasters and originally flanked by sconces, are the major features of the building which visually establish its commercial identity.

The subject site is located in the Central Commercial district. Adjacent structures are also located within the Central Commercial district, and have uses permitted in the district. Some of the surrounding properties are designed City Landmarks and Merit Resources, such as Dresbach/Hunt/Boyer building at 604 Second Street, Varsity Theater on 616 Second Street, Brinley Block at 716 etal Second Street, and Eggleston Home on 232 Third Street.

Other Agencies Whose Approval is Required: (e.g., permits, financing approval, or participation agreement): None.

Environmental Factors Potentially Affected:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or as indicated by the checklist on the following pages.

- | | | |
|------------------------------------------------------------------------|-------------------------------------------------------|--------------------------------------------------------|
| <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Transportation/Circulation | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Utilities and Service Systems |
| <input type="checkbox"/> Geophysical | <input type="checkbox"/> Energy and Mineral Resources | <input checked="" type="checkbox"/> Aesthetics |
| <input type="checkbox"/> Water | <input type="checkbox"/> Hazards | <input checked="" type="checkbox"/> Cultural Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Noise | <input type="checkbox"/> Recreation |
| <input checked="" type="checkbox"/> Mandatory Findings of Significance | | |

The proposed project could have potential significant impacts to the environment relative to Aesthetic and Cultural Resources. The Historical Resource Analysis conducted for the project by Urbana Preservation & Planning reveals that the proposed alteration to the City Landmark building's exterior for the purposes of accommodating new windows could result in:

1. Under Design Option A:
 - a. the diminished integrity of the Anderson Bank Building as its historic appearance would be changed given the proposed altering of the elevated ground floor window pattern that is typical of bank buildings constructed in the early part of 19th Century, and
 - b. the preclusion of this historic resource from future listing on or a future determination of eligibility for the National Register of Historic Places; and

2. Under Design Option B:
 - a. the diminished integrity of the Anderson Bank Building as its historic appearance would be changed given the proposed altering of the elevated ground floor window pattern that is typical of bank buildings constructed in the early part of 19th Century, and
 - b. the Anderson Building would no longer appear eligible as a City of Davis Landmark, or for inclusion/eligibility on the California Register of Historical Resources as well as future listing on or a future determination of eligibility for the National Register of Historic Places.

The proposed addition of window space below each of the existing windows is not considered compatible with the building's historic appearance. The proposed alterations, therefore, have potential to cause significant adverse impacts to the historical resource by impairing its integrity and continued listing in the local, or state Register of Historic Places. This potential loss of integrity could affect its future listing or a future determination of eligibility for National Register of Historic Places. Therefore, a focused environmental impact report should be prepared for the proposed project to evaluate its aesthetics and cultural resources impacts.

Determination:

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described herein have been added to the project. A NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

I find that the proposed project MAY have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

Signature : _____

Date: July 11, 2006

Name: Ike Njoku

Agency: City of Davis, Community Development Department

Evaluation of Environmental Impacts:

Issues (and Supporting Information Sources):

Potentially Significant Impact

Potentially Significant Unless Mitigation Incorporated

Less Than Significant Impact

No Impact

I. LAND USE AND PLANNING. Would the proposal:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Conflict with general plan designation or zoning? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Be incompatible with existing land use in the vicinity? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Affect agricultural resources or operations (e.g. impacts to soils or farmlands, or impacts from incompatible land uses)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed project does not involve any changes in use, or performance standards. It would be consistent with the General Plan, Core Area Specific Plan and Zoning Ordinance, if approved. No Land Use and Planning impacts can be identified.

Issues (and Supporting Information Sources):

Potentially Significant Impact

Potentially Significant Unless Mitigation Incorporated

Less Than Significant Impact

No Impact

II. POPULATION AND HOUSING. Would the proposal:

- | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Cumulatively exceed official regional or local population projections? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Induce substantial growth in an area either directly or indirectly (e.g. through projects in an undeveloped area or extension of major infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Displace existing housing, especially affordable housing? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed project would result in the alteration of the exterior of the historic building to provide windows that could provide opportunities for increased retail businesses locating on the site. No housing units are anticipated to result from the project that could impact the City's

population. However, the subject site is located in the Central Commercial district, which principally permits residential uses. No impacts are anticipated.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
III. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:				
a) Fault rupture?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Seismic ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Seiche, Tsunami, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Landslides or mudflows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Erosion, changes in topography or unstable soil conditions from excavation, grading, or fill?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Subsidence of the land?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expansive soils?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Unique geologic or physical features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The nature of the proposed alteration is such that it is not anticipated that it would result in the exposure of people to any of the identified geologic problems. Earthquake hazards are no greater a risk to this site as any other site in the city. The project will be designed to meet all earthquake standards for rehabilitation of a historic building pursuant to Building Code standards. No impacts are identified.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
IV. WATER. Would the proposal result in:				
a) Changes in absorption rates, drainage patterns, or the rate and amount of surface	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
runoff?				
b) Exposure of people or property to water related hazards such as flooding?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Discharge into surface waters or other alteration of surface water quality (e.g. temperature, dissolved oxygen or turbidity)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Changes in currents, or the course or direction of water movements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Altered direction or rate of flow of groundwater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Impacts to groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Substantial reduction in the amount of groundwater otherwise available for public water supplies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Implementation of the proposed project would not result in any significant impacts to water quality or quantity. No impacts are identified.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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V. AIR QUALITY. Would the proposal:

a) Violate any air quality standard or contribute to an existing or projected air quality	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
violation?				
b) Expose sensitive receptors to pollutants?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Alter air movement, moisture, or temperature, or cause any change in climate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create objectionable odors?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

It is not anticipated that installation of the proposed four new windows, should it be approved, would result in any known long term air adverse environmental impacts. However, it is possible that during installation there could be temporary dust impacts within the area of the construction activities. City standard conditions of approval and mitigation measures would reduce such an impact to less than significant levels. Standard mitigation measure/conditions of approval that would apply for the removal of the existing brick, which could temporarily generate dust, are as follows:

Applicable Standard Conditions of Approval:

1. An effective dust control program should be implemented whenever earthmoving activities occur on the project site. In addition, all dirt loads exiting a construction site within the project area should be well watered after loading.
2. Apply water or dust palliatives on exposed earth surfaces as necessary to control dust emissions. Construction contracts shall include dust control treatment in late morning and at the end of the day, of all earth surfaces during clearing, grading, earthmoving, and other site preparation activities. Non-potable water shall be used, where feasible. Existing wells shall be used for all construction purposes where feasible.
3. Haul trucks shall be equipped with tarpaulins and other effective covers. Public streets shall be swept at the end of the day and cleared of any deposits caused by construction activities.
4. Throughout the construction period, streets adjacent to the project shall be swept at the end of the day and cleared of any deposits caused by construction activities.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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VI. TRANSPORTATION/CIRCULATION. Would the proposal result in:

a) Increased vehicle trips or traffic congestion?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Hazards to safety from design features (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Insufficient parking capacity on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Hazards or barriers for pedestrians or bicyclists?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Rail, waterborne or air traffic impacts?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project is anticipated to have no impact on transportation and circulation in the project area. However, it is anticipated that, should the project be approved, foot traffic within the area of the subject site could increase. This is a beneficial impact relative to traffic and circulation.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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VII. BIOLOGICAL RESOURCES. Would the proposal result in impacts to:

a) Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals, and birds)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Locally designated species (e.g. heritage trees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Locally designated natural communities (e.g. oak forest, coastal habitat, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Wetland habitat (e.g. marsh, riparian and vernal pool)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Wildlife dispersal or migration corridors?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project will not affect special status flora or fauna. The site is already improved and is surrounded by urban land uses. No impacts can be identified.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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VIII. ENERGY AND MINERAL RESOURCES. Would the proposal:

a) Conflict with adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Use non-renewable resources in a wasteful and inefficient manner?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project will not require substantial amounts of energy consumption during construction, and is not expected to use non-renewable resources in a wasteful or inefficient manner. The project will comply with state and local energy conservation requirements. No impacts on energy or mineral resources can be identified.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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IX. HAZARDS. Would the proposal involve:

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
a) A risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Possible interference with an emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) The creation of any health hazard or potential health hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Exposure of people to existing sources of potential health hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Increased fire hazard in areas with flammable brush, grass, or trees?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

No health hazards are anticipated to result from the proposed project. No impacts can be identified.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
X. NOISE. Would the proposal result in:				
a) Increases in existing noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exposure of people to severe noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Existing businesses would be exposed to short term noise from construction activities but such temporary impacts are expected within the district as renovations, alterations, new constructions and additions are anticipated to occur within the Central Commercial district. Nonetheless, the City has standard noise conditions of approval, which would apply to this project, should the project be approved.

Applicable Standard Condition of Approval:

- All construction related noise sources shall comply with the Ordinance No.1955, which provides standards, procedures and penalties to regulate noise sources and levels within the city.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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XI. PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas

a) Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project is not expected to have a significant impact on police or fire protection services.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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XII. UTILITIES AND SERVICE SYSTEM. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:

a) Power or natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Local or regional water treatment or distribution facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Sewer or septic tanks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Solid waste disposal?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Local or regional water supplies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project would have no impact on utilities or services in that new systems or substantial alterations are not needed.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
XIII. AESTHETICS. Would the proposal:				
a) Affect a scenic vista or scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a demonstrable negative aesthetic effect?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Create light or glare?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project has potential to significantly impact the appearance of the historic building according to the Historical Resource Analysis prepared by Urbana Preservation & Planning. Given this potential impact, a Focused Environmental Impact report will be prepared to evaluate the impacts of the proposed alteration to the Landmark building's exterior.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
XIV. CULTURAL RESOURCES. Would the proposal:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in section 15064.5?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project could cause a substantial adverse change in the significance of a historical resource as defined in section 15064.5, which the Anderson Bank Building has been deemed to qualify. According to the Urbana Preservation & Planning HRA report, there is potential that Design Option B could result in the building not being eligible as a City Landmark, or for inclusion/eligibility on the California Register of Historical Resources. Given that there has been several changes made to the building, cumulatively, it becomes necessary to evaluate the environmental impacts of the current proposal. Some prior alterations include: 1) the removal of the main corner entry doors (which was recently reinstalled) and enclosure of the opening by a brick wall and a small display window, 2) the decorative glazing in the upper lights of the arched windows being replaced and large canvas awnings installed into the arches, obscuring the upper portion of the windows, and 3) the entry doors have been replaced by modern steel and glass doors. All of these changes have impacts to the building's historic integrity. However, none of these changes have been evaluated to be of sufficient severity or scope to affect the building's historic significance. The proposed alterations to the existing building façade, like the previous alterations to the building will impair the building's historic integrity by further removing historic fabric. The incremental effects of the projects could be considerable when viewed cumulatively.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
XV. RECREATION. Would the proposal:				
a) Increase the demand for use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project will not impact recreational demand or opportunities.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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XVI. MANDATORY FINDINGS OF SIGNIFICANCE.

Issues (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project could result in potentially significant impacts to aesthetics and cultural resources. According to the Urbana Preservation & Planning HRA report prepared for this project, the following are potential effects of the proposed alteration:

"If the proposed building modifications identified as Design Option A were executed, the Anderson Bank Building would appear to maintain its eligibility as a City of Davis Landmark, and inclusion/eligibility for inclusion on the California Register of Historical Resources at the local level. The changes proposed under Design Option A, would likely preclude the Anderson Bank Building from future listing on or a future determination of eligibility for the National Register of Historic Places.

Although Design Option A would not appear to cause a substantial adverse change in the significance of the Anderson bank Building for CEQA purposes, completion of a HABS documentation program for the Anderson Bank Building is recommended

prior to issuance of a COA by the City of Davis or execution of the design project by the applicant...

Design Option B – Project Impacts

Design Option B does not appear to be consistent with the philosophical approach set forth in *The Standards for Rehabilitation*, and the execution of Design Option B would not be in the best interest of the original design or historic character of the Anderson Bank Building. For the purposes of CEQA, Design Option B would cause a substantial adverse change in the significance of the Anderson Bank Building that could not be mitigated to a less-than-significant level of impact. Therefore, execution of Design Option B would result in a significant environmental effect.

If Design Option B were executed, the Anderson Bank Building would no longer appear eligible as a City of Davis Landmark, or for inclusion/eligibility on the California Register of Historical Resources. Similarly, the changes proposed under Design Option B would preclude the Anderson Bank Building from future listing on or a future determination of eligibility for the National Register of Historic Places.

Although the impacts to the Anderson Bank Building resultant from Design Option B cannot be reduced to a less-than-significant level, completion of a HABS documentation program for the Anderson Bank Building is recommended if the applicant elects to pursue this option.”

Given the above cited findings, a Focused EIR is needed to address the impacts thus identified.

**Summary of Applicable City Standard Mitigation Measures & Conditions of Approval
Air Quality:**

1. An effective dust control program should be implemented whenever earthmoving activities occur on the project site. In addition, all dirt loads exiting a construction site within the project area should be well watered after loading.
2. Apply water or dust palliatives on exposed earth surfaces as necessary to control dust emissions. Construction contracts shall include dust control treatment in late morning and at the end of the day, of all earth surfaces during clearing, grading, earthmoving, and other site preparation activities. Non-potable water shall be used, where feasible. Existing wells shall be used for all construction purposes where feasible.
3. Haul trucks shall be equipped with tarpaulins and other effective covers. Public streets shall be swept at the end of the day and cleared of any deposits caused by construction activities.
4. Throughout the construction period, streets adjacent to the project shall be swept at the end of the day and cleared of any deposits caused by construction activities.

Noise:

5. All construction related noise sources shall comply with the Ordinance No.1955, which provides standards, procedures and penalties to regulate noise sources and levels within the city.

References and Sources:

1. General Plan and EIR. This includes the Historical and Archeological Resources Chapter and EIR.
2. Cultural Resources Inventory, 1980, 1996, and 2003.
3. Anderson Bank Building Historical Resource Analysis, 2006; Urbana Preservation & Planning
4. Project Proposal Report by Roland-Nawi Associates: Preservation Consultants, September 18, 2002.
5. Project Proposal Report by Roger Klemm: Synthesis Design Group, March 2, 2005.
6. City of Davis Zoning Ordinance