

FEASIBILITY STUDY: DAVIS COMMUNITY POOL

Prepared For:

THE CITY OF DAVIS

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Section I
INTRODUCTION

The **City of Davis** is desirous of renovating the existing Davis Community Pool to better serve community needs for aquatic competition, fitness and recreation. To assist in the planning and development of the facility, the City retained the services of **Aquatic Design Group** to head up a design team that was given the assignment of assessing the physical and financial viability of a newly renovated facility. Aquatic Design Group, in turn, retained **William L. Haralson & Associates**, an economic consulting firm that specializes in feasibility studies for public sector aquatic facilities, as well as **Stantec, Inc.**, an architecture and engineering firm with significant experience in public sector facilities in Northern California.

This report, which is presented in eight sections, contains the findings of the study performed from April 2012 to September 2012. Following this introduction is a section that summarizes the study's findings. Subsequent sections evaluate: site planning; engineering feasibility; site and market analysis; projected attendance; and financial analysis.

This report was compiled by Mr. Randy Mendioroz of Aquatic Design Group; economic analysis was provided by Mr. Bill Haralson of William L. Haralson & Associates; site planning and graphics by Messrs. Ben Packard and Tony Mendioroz of Aquatic Design Group; assistance with the design charrette by Mr. John Courtney of RJM Design Group and Mr. John Kristedja of JK Architects; and engineering feasibility analysis by Messrs. Paul Marcillac, Chris Vierra and Mike Persak of Stantec, Inc.

Section II

SUMMARY OF FINDINGS AND RECOMMENDATIONS

This section of the report presents a summary of the findings and recommendations of the feasibility study for the Davis Community Pool in Davis, California. Only the salient highlights are presented in this section. Subsequent sections, then, present documentation in support of these findings and recommendations.

The Proposed Site

The proposed site is situated within the City of Davis, located at 201 East 14th Street. Access to the site is provided from 14th Street, and the Community Pool site is bordered on the north and east by the Davis Community Park, on the south by the Veterans Memorial Center Theater, and on the west by Davis High School.

The existing site contains a 2,400 square foot bathhouse, a 1,600 square foot multi-purpose building, a 6 lane x 25 yard lap pool, a 3,900 square foot instructional pool and a 400 square foot infant pool. A berm with spectator seating is located on the south side of the site. Site improvements and infrastructure are in fair to poor condition. The Community Pool facility was originally constructed in 1966, with a major upgrade in 1985 and a series of minor, maintenance related renovation projects from 1985 to the present.

Site Planning

In Section 3, an analysis of community needs and a prioritization of aquatic programs was provided. Based upon input received at user group meetings, community meetings, and a community wide survey asking participants to prioritize aquatic projects, a series of three (3) site plan options were developed for consideration by the City.

Site Plan Option 1 (a facility that provides primarily competitive swimming, diving, water polo and synchronized swimming programming) features the following design program elements:

- 25 yard x 50 meter competition pool
- 6 lane x 25 yard swimming pool
- 6,000 square foot bathhouse
- 2,000 square foot equipment / storage building
- 2,000 square feet of shade structures
- Spectator seating for 500

Site Plan Option 2 (a facility that provides a balance of competition and recreation programming) features the following design program elements:

- 25 yard x 35 meter competition pool
- 5,835 square foot activity pool
- 921 square foot splash pad
- 4,400 square foot bathhouse building
- 2,450 square foot support building
- 1,600 square feet of shade structures
- Spectator seating for 500

Site Plan Option 3 (a facility that provides primarily recreation programming) features the following design program elements:

- 10,672 square foot lazy river
- 3,363 square foot activity pool
- Three (3) waterslides with 1,088 square foot receiving pool
- 6 lane x 25 yard lap pool
- 1,963 square foot splash pad
- 10,200 square foot bathhouse / support building

Engineering Feasibility

In Section 4, the Design Team provided a detailed analysis of site infrastructure. The proposed Community Pool site is more than adequate to accommodate all proposed new buildings, pools and ride attractions and infrastructure as illustrated in Site Plan Options 1, 2 and 3.

Existing domestic water, sanitary sewer, storm sewer and natural gas are readily available and can be modified and/or upgraded to accommodate the needs of the proposed Community Pool.

A new PG&E pad-mounted transformer with a 480 volt secondary and new switchboard would need to be set to serve the project. PG&E will need to analyze the capacity of their existing primary power distribution system to determine if the new transformer can be served from the existing 12KV system.

The grading plan developed by the Design Team calls for 5,910 cubic yards of cut and 3,420 cubic yards of fill. The difference of 2,490 yards should balance with the final grading plan by extending the berm to the east side of the project site.

Site and Market Analysis

In Section 5, a review of the site and market area demographics was provided. Population levels and trends, per capita incomes, age distribution and ethnic composition were analyzed within 0-5 miles, 5-10 miles, 10-15 miles, 15-20 miles and 20-25 miles of the project site.

The 0 to 5 mile zone contained approximately 75 thousand persons in 2010 and accounted for 4.9% of the total market area. The 5 to 10 mile zone accounted for 87 thousand persons (5.8% of the total). By comparison, the 10-15 mile zone contained 266 thousand persons (17.6% of the total), the 15-20 mile zone contained 564 thousand persons (37.3% of the total), and the 20-25 mile zone contained 520 thousand (34.5% of the total).

Per capita incomes in the 0 to 5 mile zone are slightly higher (14%) than the national average, while those in the 5 to 10 and 25 to 40 mile zone are lower comparable to the national average.

For participation at an aquatic facility, the critical age bracket is comprised of those residents aged 14 and younger. The percentage of the total U. S. population in this bracket was 20.0 percent in 2010. By comparison, the percentage of the population in this age bracket for the 0-5 mile zone was 13.8%. In the 5-10 mile zone, the percentage was 23.5%. In the 10-15 mile zone, the percentage was 18.7%. In the 15-20 mile zone, the percentage was 23.2%, and in the 20-25 mile zone, the percentage was 21.6%.

For the nation as a whole, Whites account for 71.9 percent of the total population in 2010, Blacks account for 12.5%, Asians account for 4.8% and Other ethnicities account for 10.8%. Within the market area, the percentages vary significantly from the national figures. For example, whites account for 61.5% of the population in the 0 to 5 mile zone, compared to a range of 48.4% to 62.6% in the four outer zones. Moreover, blacks have inordinately low percentages of the population in all market area zones save the 10-15 and 15-20 mile zones. Finally, Hispanics, who account for 16.2% of the national average account for a much higher percentage in the 5-10 mile, 10-15 mile, and 15-20 mile zones.

Projected Attendance

In Section 6, projections of monthly program attendance for Site Plan Options 2 and 3, unit program attendance for Site Plan Options 1, 2 and 3, and recreation attendance for Site plan Options 2 and 3 were provided. Monthly programs included swim clubs, master's swimming, high school teams, synchronized swim teams, informal lap swimming and water aerobics. Unit programs included swim lessons (resident and non-resident), life safety classes, party rentals and regional competitive meets.

For monthly program attendance, the highest attendance levels were realized for Site Plan Option 1, followed by Site Plan Options 2 and 3, respectively. For unit program attendance, the highest attendance levels were provided by Site Plan Option 2, followed by Site Plan Options 3 and 1, respectively.

For recreation attendance, different market penetration rates were applied based upon the amount of recreational water provided in each of the site plan options. It is assumed that Site Plan Option 1 will have no recreation attendance, due to heavy monthly and unit program use and the lack of available time for recreation programming.

Site Plan Option 2 provides a recreation attendance of 59 thousand patrons in 2014, increasing to 60 thousand in 2016 and topping off at 61 thousand in 2018. The increase in recreation attendance over Site Plan Option 1 is accounted for by the inclusion of an activity pool with waterslides and wet play structures, which enhance appeal to patrons.

Site Plan Option 3 suggests a recreation attendance of 120 thousand patrons in 2014, increasing to 123 thousand in 2016 and topping off at 126 thousand in 2018. The increase in recreation attendance over Site Plan Option 2 is accounted for by the extensive recreation programming available (lazy river, waterslides, activity pool, etc.) in this site plan option.

Financial Analysis

In Section 7, the Design Team provided examples of financial performance by other public sector aquatic facilities, and made projections of revenues, operating expenses and net profit / loss for Site Plan Options 1, 2 and 3.

Applying per capita spending rates to projected attendance figures from Section 6 yielded the Design Team's projection of revenues for recreation programs, monthly programs and unit programs.

- For Site Plan Option 1, the 2014 revenues totaled \$477,250; 2015 revenues totaled \$524,975; 2016 revenues totaled \$551,224; 2017 revenues totaled \$565,004; and 2018 revenues totaled \$579,129.
- For Site Plan Option 2, the 2014 revenues totaled \$818,008; 2015 revenues totaled \$899,809; 2016 revenues totaled \$944,799; 2017 revenues totaled \$968,419; and 2018 revenues totaled \$992,630.
- For Site Plan Option 3, the 2014 revenues totaled \$1,335,356; 2015 revenues totaled \$1,468,891; 2016 revenues totaled \$1,542,336; 2017 revenues totaled \$1,580,894; and 2018 revenues totaled \$1,620,417.

Based upon estimates of labor, utilities and other operating expenses, the Design Team is projecting operating expenses as follows.

- For Site Plan Option 1, the 2014 operating expenses totaled \$927,281; 2015 operating expenses totaled \$1,020,010; 2016 operating expenses totaled \$1,071,010; 2017 operating expenses totaled \$1,097,785; and 2018 operating expenses totaled \$1,125,230.
- For Site Plan Option 2, the 2014 operating expenses totaled \$1,015,371; 2015 operating expenses totaled \$1,116,908; 2016 operating expenses totaled \$1,172,754; 2017 operating expenses totaled \$1,202,073; and 2018 operating expenses totaled \$1,232,124.
- For Site Plan Option 3, the 2014 operating expenses totaled \$1,340,087; 2015 operating expenses totaled \$1,474,096; 2016 operating expenses totaled \$1,547,800; 2017 operating expenses totaled \$1,586,495; and 2018 operating expenses totaled \$1,626,158.

Subtracting operating expenses from revenues yields net operating income or loss. The Design Team is projecting net income / loss as follows:

- For Site Plan Option 1, the 2014 net loss totaled \$450,031; 2015 net loss totaled \$495,035; 2016 net loss totaled \$519,786; 2017 net loss totaled \$532,781; and 2018 net loss totaled \$546,101. Average cost recovery for this option was 51.5%.
- For Site Plan Option 2, the 2014 net loss totaled \$197,363; 2015 net loss totaled \$217,099; 2016 net loss totaled \$227,954; 2017 net loss totaled \$233,653; and 2018 net loss totaled \$239,495. Average cost recovery for this option was 80.6%.
- For Site Plan Option 3, the 2014 net loss totaled \$4,731; 2015 net loss totaled \$5,204; 2016 net loss totaled \$5,464; 2017 net loss totaled \$5,601; and 2018 net loss totaled \$5,741. Average cost recovery for this option was 99.6%.

Recommendations

The Design Team's recommendations for the development of the proposed Davis Community Pool include the following:

1. In order to meet the needs of the local clubs and teams, as well as maximize cost recovery, a combination of competition and recreation programming be incorporated into the final project.

2. To meet the goals stated in #1, above, the City should proceed with the development of Site Plan Option 2, or a variant of same. This option comes closest to the goals for total development costs (\$6-8 million) as stated by City Staff during the user group meetings, and is closest to the current operating subsidy being paid by the City for the Davis Community Pool.
3. To fully enhance opportunities for cost recovery, consider a joint venture arrangement with the Davis Joint Unified School District, especially given the proximity of Davis Senior High School to the Community Pool site. Rather than having a pay per use strategy (as this report assumes), this type of relationship could help offset long term operating and maintenance cost through a shared-use agreement, particularly in the fall winter and spring months, when the high school teams are utilizing the facility.

Section III

SITE PLANNING

Beginning with an initial visit to the existing facility at the beginning of April 2012, the Design Team worked with user groups, the community and staff to develop a series of site plan options and corresponding preliminary cost estimates for consideration by the City of Davis.

User Group Meetings

Prior to several of the community meetings, Randy Mendioroz of Aquatic Design Group and representatives of the City of Davis met with (and/or received communications from) the following user groups to discuss their specific program needs:

- Davis AquaDarts (youth swimming)
- Davis Aquatic Masters (adult swimming)
- Davis Aquamonsters (youth swimming)
- Davis High School (youth swimming, diving and water polo)
- Davis AquaStarz (youth synchronized swimming)

Appendix 1 provides copies of meeting minutes and correspondence detailing user group specific program needs, but suffice it to say that there is a very high level of participation among the various competitive and fitness user groups. The following table provides a summary of user group participation by specific group interviewed.

**TABLE 1
USER GROUP PARTICIPATION**

User Group	Fall	Winter	Spring	Summer	Year-Round
Davis AquaDarts				1,000	300
Davis Aquatic Masters					450
Davis AquaMonsters	75	40	75	200	
Davis High School Boy's Swimming		38	38		
Davis High School Girl's Swimming		38	38		
Davis High School Co-Ed Diving		3	3		
Davis High School Boy's Water Polo	31			31	
Davis High School Girl's Water Polo	29			29	
Davis AquaStarz	44		44	44	
Totals	179	119	198	1,304	750

With a total of approximately 2,600 swimming, diving, water polo and synchronized swimming users (over 2,000 of which are looking for pool space every summer), there is a definite need for additional water surface area within the City of Davis.

For example, assuming five (5) patrons to a swim lane, and three (3) sessions per day (6:00 to 8:00 AM, 11:00 AM to 1:00 PM, and 4:00 to 6:00 PM) approximately one hundred thirty-three (133) 25 yard swim lanes would be required during the peak summer season to accommodate existing demand. That is the equivalent of six (6) 25 yard x 50 meter pools.

However, given the high cost generally associated with developing and operating 50 meter pools, it is unrealistic to assume that any City would have the financial wherewithal to own and operate multiple aquatic facilities with large rectilinear pools, so in the opinion of Aquatic Design Group, a combination of new and/or renovated aquatic infrastructure and scheduling flexibility will be required moving forward.

Community Meetings

A series of four (4) community meetings were held to solicit input from local community members on the programming and planning of the Davis Community Pool. A summary of each of the meetings is provided below. Refer to Appendix 2 for copies of the presentations made at each of the meetings.

Community Meeting #1

Attendees were introduced to the concept of a financial survey, copies of which are distributed by Aquatic Design Group to over 100 public sector aquatic facilities throughout the western states and portions of the southwestern United States. For each survey, participating public agencies are asked to categorize facility type, sources of revenue, operating expenses and net operating income or loss. Facility types included: Competition Only (Indoor); Competition Only (Outdoor); Competition + Recreation (Indoor); Competition + Recreation (Outdoor); Recreation Only (Indoor); and Recreation Only (Outdoor). Images were provided during the meeting to illustrate each facility type.

Based upon the 100-plus facilities surveyed, an analysis of sources of revenue was discussed. Recreation admissions accounted for 55% of total revenue, swim lessons garnered 28% of total revenue, aquatic programs (aqua aerobics, Mommy and Me, arthritis classes, etc.) averaged 7% of total revenue, group sales (birthday parties, corporate events, special events) provided another 7% of total revenue, and competitive meets generated 3% of total revenue.

In addition to the revenue analysis, an analysis of operating expenses was discussed in the meeting. The largest expense was labor, with approximately 43% of the total expenses. Utilities came in second, with approximately 24% of the total. After utilities, benefits associated

with full and part-time labor comprised approximately 17% of total expenses. The balance of the expenses averaged 5% for maintenance and repairs, 4% for advertising and promotion, 2% for cost of sales- food and beverage, 2% for insurance, 2% for other and 1% for cost of sales-merchandise.

Finally, an analysis of cost recovery by facility type was discussed. By subtracting operating expenses from revenue, we can express cost recovery by a percentage. For example, if revenue is \$500,000 and operating expenses are \$1,000,000, this means that the facility is producing a cost recovery rate of 50%. Again, based upon the 100+ facilities surveyed, the results were as follows:

<i>Facility Type</i>	<i>Average Cost Recovery</i>
Competition Only (Indoor)	51.2%
Competition Only (Outdoor)	57.3%
Competition + Recreation (Indoor)	84.6%
Competition + Recreation (Outdoor)	79.8%
Recreation Only (Indoor)	96.1%
Recreation Only (Outdoor)	131.6%

Based upon the information presented above, it is clear that if cost recovery is a goal, a balance of competitive and recreational programs must be offered. For aquatic facilities, the higher the percentage of recreation programming (which requires the building of pools conducive to recreational activity), the higher the cost recovery.

Community Meeting #2

This meeting involved soliciting the attendees for their input on prioritization of competitive, instructional and recreation programs, as well as a discussion on proposed infrastructure at the Davis Community Pool. Images were presented for different sizes and types of pools, and programs that could be incorporated within each size and type.

Attendees were also asked to prioritize infrastructure to be provided to accommodate the various aquatic programs such as spectator seating, timing system / scoreboard, public address and sports lighting systems, as well as different types of building spaces that might be required and/or desirable.

Design program questionnaires were distributed at the end of the meeting, and attendees were asked to respond to the questionnaire by prioritizing each of the different types of aquatic programs and infrastructure, and the completed questionnaires were collected for inclusion in a community-wide survey (based upon the questionnaire) that would be available by hyperlink from the City’s website for the first few weeks of May 2012.

Community Meeting #3

This meeting included a review of the results of the community-wide survey, and the competitive, instructional, recreation and infrastructure priorities were discussed in turn. The survey results were weighted heavily towards competitive programs and associated infrastructure, which is understandable given the information presented in the section on user group meetings above.

A design charrette was conducted by forming three (3) different planning teams, and providing each team with a scaled site plan of the Davis Community Pool site, as well as various pool and building shapes at the same scale as the site plans. The teams were tasked with producing “bubble diagram” site plans utilizing the pool and building shapes provided as templates to assist the teams in organizing the various site elements. Members of staff and the design team were available to each team to respond to questions about the site and provide general assistance, but the bubble diagrams were completed by the teams exclusively.

Taking a cue from the facility types presented in Community Meeting #1, Team #1 was tasked with producing a “Competition Only” design scheme. Team #2 was to produce a “Competition + Recreation” design scheme, and Team #3 was tasked with a “Recreation Only” design scheme. The teams were given planning guidelines such as proper pool orientation, pool deck widths, rules of thumb for sizing of buildings, and other site planning considerations.

Upon completion of the charrette, each team was asked to appoint a spokesperson to present their design scheme to the group as a whole. The spokespersons provided the rationale for their teams’ planning choices, a listing of pros and cons for their respective design schemes, and why they felt that the City should select their design scheme. The following is a summary of pool and building elements selected by each team:

Site Plan Option 1 (Team 1)

- 25 yard x 50 meter competition pool
- 6 lane x 25 yard swimming pool
- 6,000 square foot bathhouse
- 2,000 square foot equipment / storage building
- Spectator seating for 300
- 2,000 square feet of shade structures

Site Plan Option 2 (Team 2)

- 25 yard x 50 meter competition pool
- 6 lane x 25 yard swimming pool
- 6,000 square foot activity pool

- 900 square foot splash pad
- 7,750 square foot bathhouse (2 buildings)
- 2,400 square foot equipment / storage building
- Spectator seating for 500
- 2,000 square feet of shade structures

Site Plan Option 3 (Team 3)

- 11,000 square foot lazy river
- 3,400 square foot activity pool
- Three (3) waterslides with 1,100 square foot receiving pool
- 2,000 square foot splash pad
- 6 lane x 25 yard swimming pool
- 10,000 square foot bathhouse / equipment / storage building

Community Meeting #4

In preparation for this meeting, the design team prepared large format site plan drawings for review by attendees, based upon the bubble diagram design schemes developed by Teams 1-3 in Community Meeting #3. Input was solicited from each of the teams to ensure that the design team had accurately portrayed the design intent for each scheme.

The design team also reviewed preliminary cost estimates that had been developed for each design scheme, with hard construction costs, as well as design contingency, construction contingency, architecture and engineering fees, and other “soft” costs such as permit fees, testing and inspection fees, project management fees, etc.

For Site Plan Option #1 (Competition Only), the total development costs were approximately \$8.2 million. For Site Plan Option #2 (Competition + Recreation), the total development costs were approximately \$11.1 million, and for Site Plan Option #3 (Recreation Only), total development costs were approximately \$10.6 million.

Given the fairly large estimates for development of each of the site plan options, a general discussion ensued about specific site plan revisions needed to bring the estimates into a range of \$6-8 million in total development costs. Suggestions included reductions in pool sizes, which have a direct correlation to building sizes, and consideration of retaining the existing spectator seating.

Site Plan Option #2 was singled out for major revisions (since it was the most expensive option), but the attendees failed to come to a consensus on revisions to be made to this option. Staff later directed the design team to modify the program for this option to include a 25 yard x 35 meter pool, a 5,800 square foot recreation pool, a 900 square foot splash pad, and two (2)

support buildings totaling approximately 6,800 square feet. These revisions were made not only to reduce costs for this option, but also to provide a better balance between competition and recreation programming.

Community Survey

The community-wide survey was conducted from May 1 through May 17, 2012, and received 742 total responses, 535 which were received online, and 207 of which were collected at the Celebrate Davis event held on May 17. There were also a total of 307 comments received as part of the survey. Respondents were asked to rate the various types of programs and infrastructure on a scale of 1-10, with 10 being the highest score. Refer to Appendix 3 for copies of the survey, the survey results and the survey comments.

Overall, competitive programs scored very highly in the survey with a rating average of 7.22 across all eight (8) programs listed. The highest scoring competitive program was Long Course 50 Meter Swimming, with a rating of 8.58 out of 10. The lowest scoring competitive program was Platform Diving, with a rating of 6.14 out of 10.

Instructional programs had a rating average of 6.65 across six (6) programs. The highest scoring instructional program was Learn to Swim (All Ages), with a rating of 7.20 out of 10. The lowest scoring instructional program was Scuba Certification, with a rating of 5.19 out of 10.

Recreation programs had a rating average of 6.05 across ten (10) programs. The highest scoring recreation program was Lap Swimming with a rating of 8.20 out of 10. The lowest scoring recreation program was Kayaking, with a rating of 4.12 out of 10.

Infrastructure preferences generally reflected competitive aquatic program priorities, with shade structures, spectator seating, overhead lighting and timing system / scoreboard scoring highest. The highest scoring infrastructure category was Shade Structures, with a rating of 8.90 out of 10. Spectator Seating was a close second, with a rating of 8.22 out of 10. The lowest scoring infrastructure category was Classroom(s), with a rating of 5.63 out of 10.

Site Plan Options

Upon completion of the user group meetings, community meetings, community survey and discussions with staff, the design team finalized three (3) site plan options at the end of June 2012. The final site plan options included the following components:

Site Plan Option #1

This competition-only option incorporated a 25 yard x 50 meter competition pool, a lap pool, and approximately 8,000 square feet of support buildings. Refer to Figure 1 for an

illustration. The final program for this option includes:

- 12,826 square foot competition pool
- 3,379 square foot lap pool
- 6,000 square foot bathhouse building (Building #1 on the site plan)
- 2,000 square foot support building (Building #2 on the site plan)
- 2,000 square feet of shade structures
- Spectator seating for 500

Site Plan Option #2

This competition + recreation option incorporated a 25 yard x 35 meter competition pool, an activity pool, a splash pad, and approximately 6,800 square feet of support buildings. Refer to Figure 2 for an illustration. The final program for this option includes:

- 8,684 square foot competition pool
- 5,835 square foot activity pool
- 921 square foot splash pad
- 4,400 square foot bathhouse building (Building #1 on the site plan)
- 2,450 square foot support building (Building #2 on the site plan)
- 1,600 square feet of shade structures
- Spectator seating for 500

Site Plan Option #3

This recreation-only option incorporated a lazy river, an activity pool, three waterslides with receiving pool, a 6 lane x 25 yard lap pool, a splash pad, and approximately 10,000 square feet of support buildings. Refer to Figure 3 for an illustration. The final program for this option includes:

- 10,672 square foot lazy river
- 3,363 square foot activity pool
- Three (3) waterslides with 1,088 square foot receiving pool
- 3,379 square foot lap pool
- 1,963 square foot splash pad
- 10,200 square foot bathhouse / support building

Figure 2
SITE PLAN OPTION #2

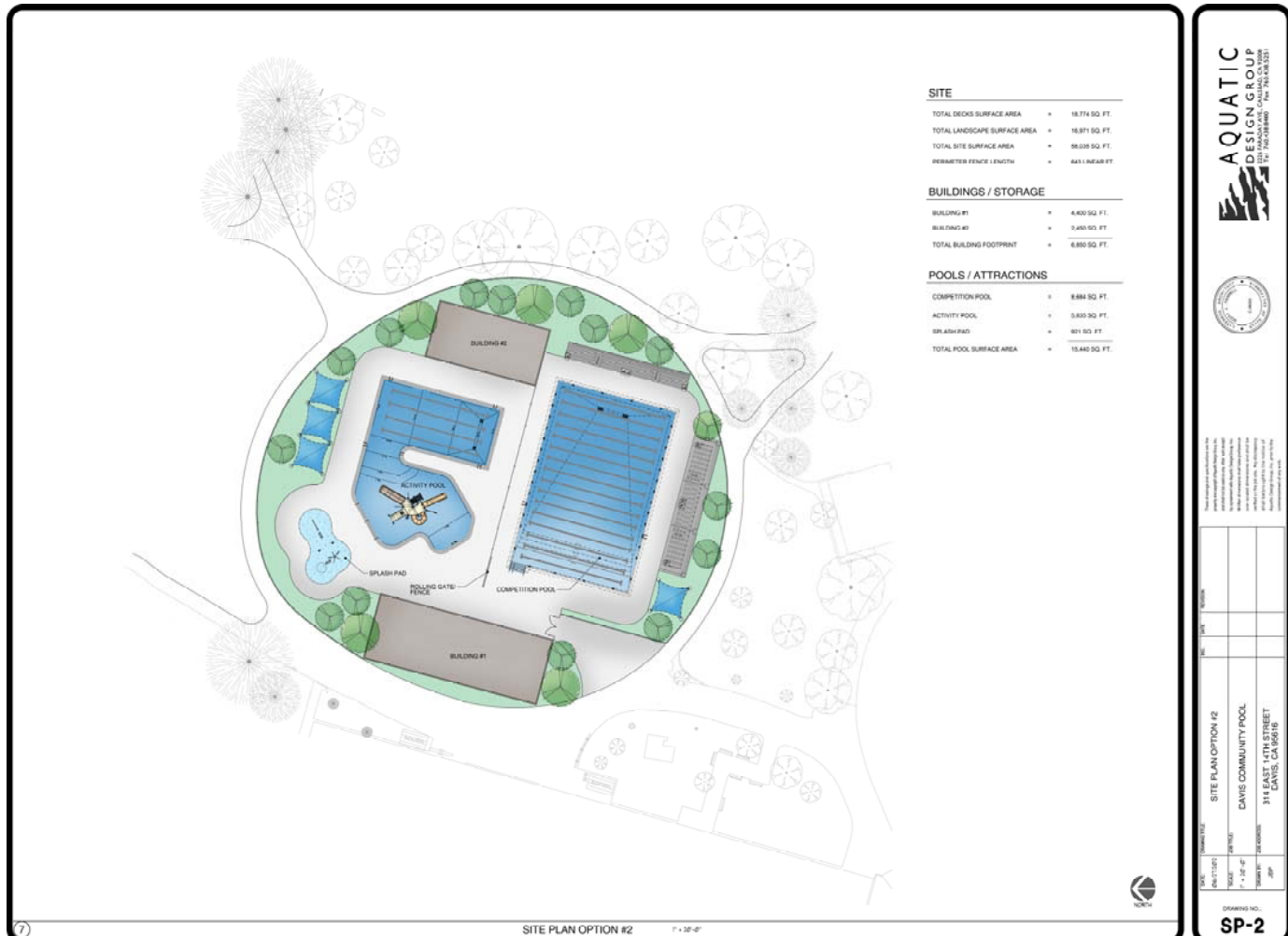
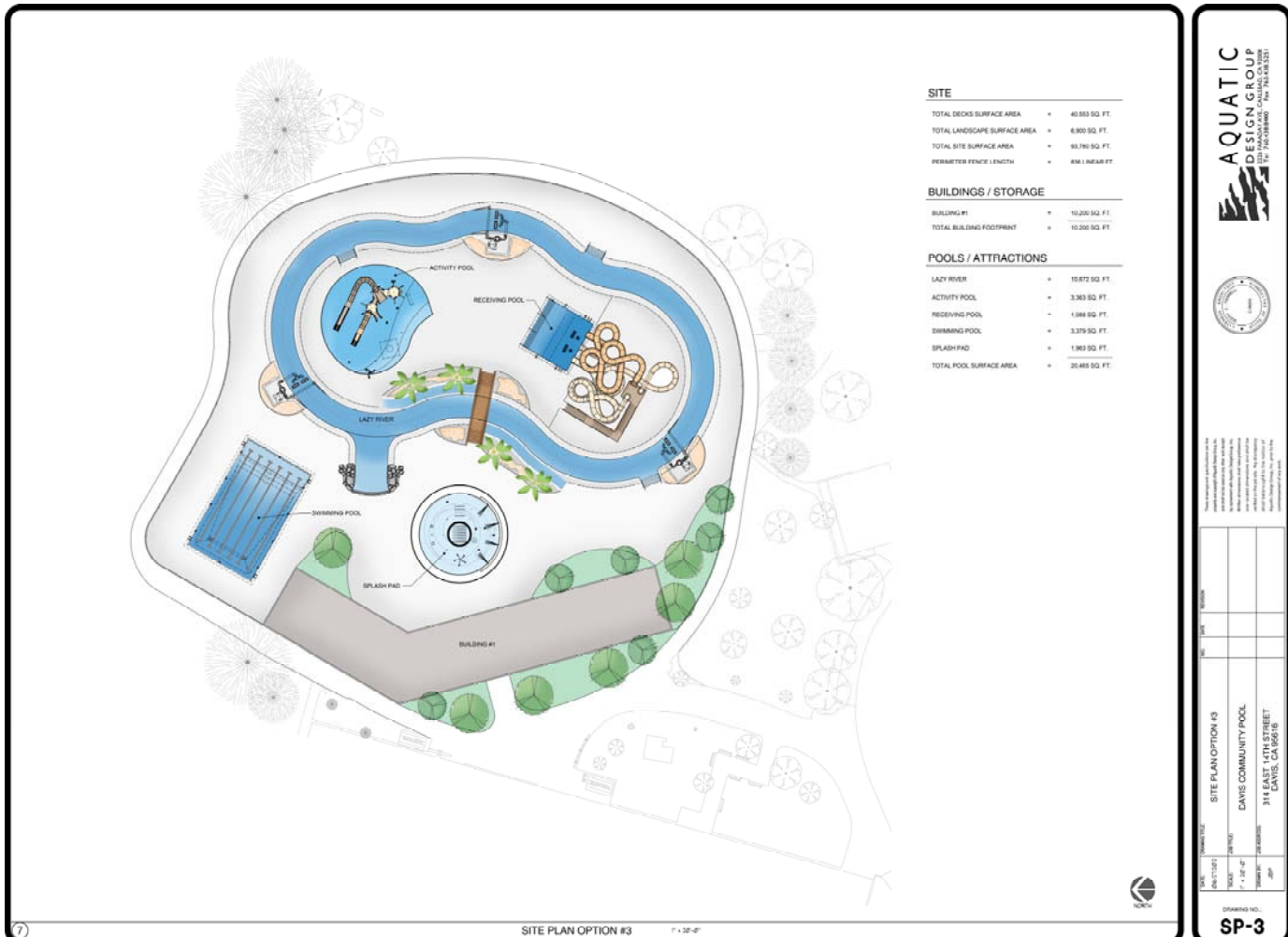


Figure 3
SITE PLAN OPTION #3



Preliminary Cost Estimates

Upon completion of the site plan options, corresponding preliminary cost estimates for each option were revised and updated. Estimates ranged from a low of \$8.0 million (Site Plan Option #2) to a high of \$10.9 million (Site Plan Option #3). Please refer to Appendix 4 for detailed quantity take-offs by option. The following is a summary for each of the estimates:

SITE PLAN OPTION #1

1.0	GENERAL	\$225,000
2.0	MISC. SITE WORK	\$502,067
3.0	SITE GRADING	\$59,100
4.0	POTABLE WATER	\$4,500
5.0	SANITARY SEWER	\$38,450
6.0	STORM DRAINAGE	\$13,000
7.0	ELECTRICAL	\$240,000
8.0	BUILDINGS	\$2,487,500
9.0	SWIMMING POOLS	\$2,835,875
<hr/>		
	TOTAL HARD COSTS	\$6,405,492
	PLUS DESIGN CONTINGENCY AT 5%	\$320,275
	PLUS CONSTRUCTION CONTINGENCY AT 10%	\$640,549
	PLUS A/E FEES AT 10%	\$640,549
	PLUS SOFT COSTS AT 15%	\$960,824
	GRAND TOTAL- SITE PLAN OPTION #1	<u><u>\$8,967,689</u></u>

SITE PLAN OPTION #2

1.0	GENERAL	\$225,000
2.0	MISC. SITE WORK	\$513,987
3.0	SITE GRADING	\$59,100
4.0	POTABLE WATER	\$4,500
5.0	SANITARY SEWER	\$38,450
6.0	STORM DRAINAGE	\$13,000
7.0	ELECTRICAL	\$240,000
8.0	BUILDINGS	\$2,077,500
9.0	SWIMMING POOLS	\$2,564,200

TOTAL HARD COSTS	\$5,735,737
PLUS DESIGN CONTINGENCY AT 5%	\$286,787
PLUS CONSTRUCTION CONTINGENCY AT 10%	\$573,574
PLUS A/E FEES AT 10%	\$573,574
PLUS SOFT COSTS AT 15%	\$860,361

GRAND TOTAL- SITE PLAN OPTION #2 \$8,030,032

SITE PLAN OPTION #3

1.0	GENERAL	\$225,000
2.0	MISC. SITE WORK	\$756,755
3.0	SITE GRADING	\$59,100
4.0	POTABLE WATER	\$4,500
5.0	SANITARY SEWER	\$38,450
6.0	STORM DRAINAGE	\$13,000
7.0	ELECTRICAL	\$240,000
8.0	BUILDINGS	\$3,060,000
9.0	SWIMMING POOLS	\$3,402,075

TOTAL HARD COSTS	\$7,798,880
PLUS DESIGN CONTINGENCY AT 5%	\$389,944
PLUS CONSTRUCTION CONTINGENCY AT 10%	\$779,888
PLUS A/E FEES AT 10%	\$779,888
PLUS SOFT COSTS AT 15%	\$1,169,832

GRAND TOTAL- SITE PLAN OPTION #3

\$10,918,432

Section IV

ENGINEERING FEASIBILITY ANALYSIS

Introduction

The purpose of this Section is to review the existing utility infrastructure at the Davis Community Pool facility and determine the proposed utility infrastructure needed to support the proposed project. For the purposes of this study, it was assumed that Site Plan Option #1 would be utilized due to the fact that that Site Plan Option 1 had the largest infrastructure requirement. However, all three options are essentially equivalent for the purpose of this analysis. Utility infrastructure exhibits (Figures 4 and 5) were prepared to supplement this Section which depicts the existing and proposed utility improvements in the vicinity of the project site. The size and location of the existing facilities was determined from the examination of various as-built drawings provided by the City of Davis. Note: No site verification survey was conducted as part of this study.

Potable Water

The existing Community Park is served with potable water from a 6" water line which comes off the 10" water main in F Street at the east end of the park. The existing 6" water line extends to a location roughly at the center of the park near the play area/skate park, where smaller service lines branch out to serve the various facilities within the park. (See Figure 4). The existing Community Pool facility is served by a 3" water line at the north end of the pool facility. The as-built drawings also reflect a 2½" water line which runs east-west, just south of the pool facility; this line mainly serves the landscape irrigation system.

The proposed pool facility will be able to connect to the existing 3" water service currently serving the existing pool facility. No additional off-site water improvements would be needed. If additional water capacity is required for fire protection systems in the proposed buildings, the closest point-of-connection (6" or larger) is at the end of the existing 6" water line described above (no separate fire water system exists). This point-of-connection is approximately 500 feet to the northeast of the site (See Figure 4).

Wastewater

The existing Community Park is served with sanitary sewer from a gravity 8" sewer line which comes off the sewer main in North Covell Boulevard at the north end of the park. This 8" sewer line has several branches to serve the various park facilities, with the existing Community Pool facility being served by a 6" sewer line at the north end of the pool facility site. According to the as-built drawings, the invert elevation of the existing 6" line at this location is 36.3 feet above MSL which is approximately 7 feet below the existing grade.

The new proposed pool facility will be able to connect to the same 6" sewer line which serves the existing pool facility. No additional off-site sewer improvements would be required. However, if the new pool facility is expected to discharge pool waste water from its regular maintenance cycling at a rate greater than the existing 6" line can accommodate, the existing 6" service line could be replaced with a new 8" line for approximately 240' to a manhole which has an existing 8" downstream line, provided the capacity of the existing 8" line downstream is not exceeded. The other option would be to install an on-site retention element (See Figure 5).

Storm Water

The existing Community Park is served by an 18" gravity storm drain pipeline which comes off the storm drain main in North Covell Boulevard at the north end of the park. This 18" storm drain line downsizes to a 12" pipe within the first 100' and then branches out to serve the various park facilities. The existing Community Pool facility appears to be served by an 8" storm drain line at the north end of the pool facility site. The apparent invert elevation of the existing 8" line at this location is approximately 38.1 which is approximately 5 feet below the existing grade (See Figure 5).

There does not appear to be a significant change in the amount of impervious surface area between the existing site and the proposed layout, and thus no significant increase in storm water runoff from the site is anticipated. Therefore, the proposed pool facility should be able to utilize the same 8" storm drain line which currently serves the existing pool facility. No additional off-site storm drain improvements should be required.

Since the site is greater than one acre, it will be subject to the State's NPDES General Permit, which aims to protect water quality both during and after construction. However, it may qualify for a Small Construction Rainfall Erosivity Waiver since it is between one and five acres in size. A Qualified SWPPP Developer (QSD) will be able to make this determination, as well as prepare and file the required documents with the State.

Electrical

The existing pool facility and adjacent structures are served by 120/208 volts, three phase power through an underground distribution system. The electrical service comes from a PG&E primary 12KV pullbox and transformer located southwest of the existing pool facility and is distributed through an exterior switchboard rated for 1,000 amps. The switchboard is located adjacent to the transformer and serves two panelboards at the buildings at the pool facility as well as the adjacent tennis courts, and park lighting. The existing panelboards at the pool buildings serve the pool equipment, an irrigation pump, and several nearby facilities. The existing loads that are not related to the pool facility include

the irrigation pump, the tennis court lighting, the park lighting, and several small facilities, will need to be served from the proposed power distribution system.

The proposed pool facility will require 480 volts three phase power. A new PG&E pad-mounted transformer with a 480 volt secondary and new switchboard would need to be set to serve the project. PG&E will need to analyze the capacity of their existing primary power distribution system to determine if the new transformer can be served from the existing 12KV system. The City of Davis would enter directly into a contract agreement with PG&E for utility company provided engineering and construction.

The estimated electrical load for the proposed pool facility will require a three phase service, 800 amps at 277/480 volt. In addition, the new pool support buildings and the existing loads not related to the pool facility will need to be served from the proposed service. The total estimated loads would require a new 1,600 amp, 480/277 volt, three phase, four wire service and main switchboard. A new transformer, estimated at 150 KVA, will be needed to provide the 120/208 volts, three phase, four wire service for the existing loads not related to the pool facility. The secondary of the transformer could be connected to the existing switchboard or a new, smaller switchboard or pedestal to distribute power to the existing 208 volt three phase loads.

The new switchboard will include circuit breakers for panelboards to distribute power to the new pool equipment and the new buildings. A transformer estimated at 150 KVA, will be provided at one of the new buildings to provide 120/208 volt power for the receptacles, lighting, air conditioning and miscellaneous equipment for the new buildings and the exterior areas of the pool facility.

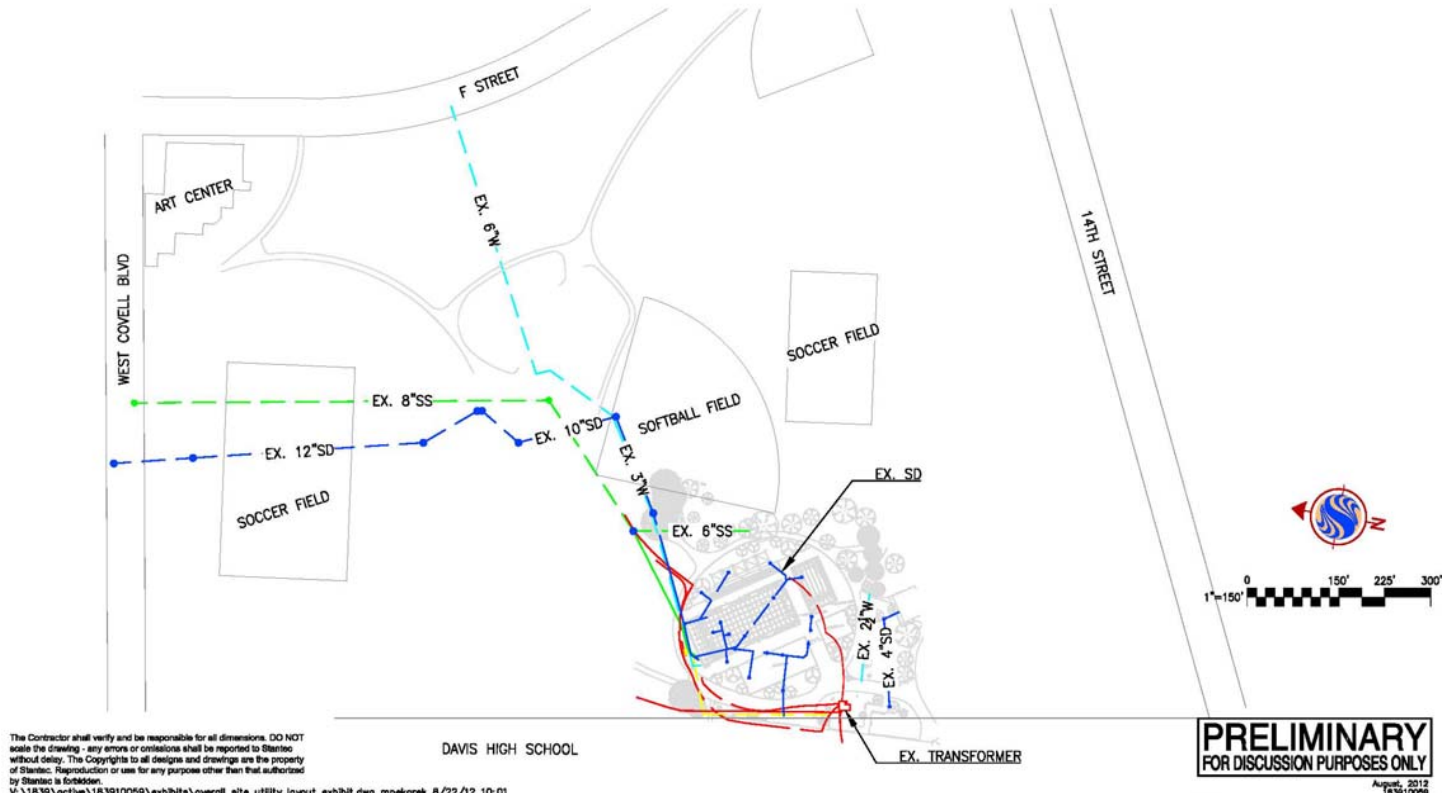
Natural Gas

The existing Community Pool facility is currently served by a 3" gas line at the north end of the pool facility site. The new proposed pool facility would be able to connect to the same 3" gas service which serves the existing pool facility. No additional off-site gas improvements are anticipated.

Grading


The design team reviewed the proposed pool facility site for grading impacts. For the purposes of this study, it was assumed that Site Plan Option #1 would be selected. However, all three options are essentially equivalent for the purpose of this analysis. Figure 6 illustrates the proposed preliminary grading plan, which calls for 5,910 cubic yards of cut, versus 3,420 cubic yards of fill. The difference of 2,490 cubic yards should balance with the final grading plan by extending the berm to the east side of the project site (behind the proposed new spectator seating location).

**Figure 4
OVERALL SITE UTILITY LAYOUT EXHIBIT**



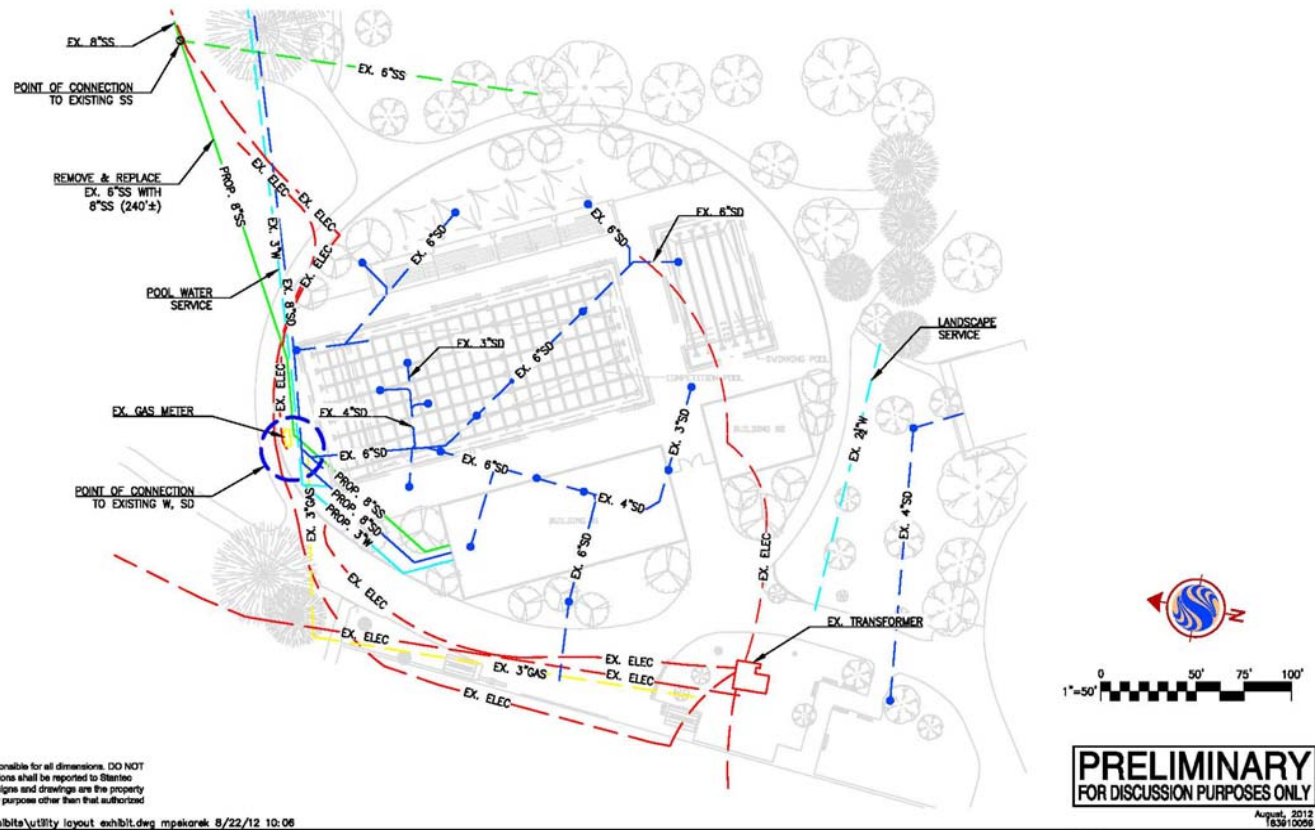
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.
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 August, 2012
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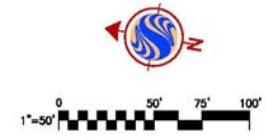
ORDINANCE SHEET - ANS B

Stantec Consulting Inc.
 1016 12th st
 Modesto CA
 95354
 209.521.8986 (phone)
 209.521.9045 (fax)

Project
 Davis Community
 Pool Project
 Figure No.
 3.0
 Title
 Overall Site Existing
 Utility Infrastructure Exhibit

**Figure 5
ENLARGED SITE UTILITY LAYOUT EXHIBIT**




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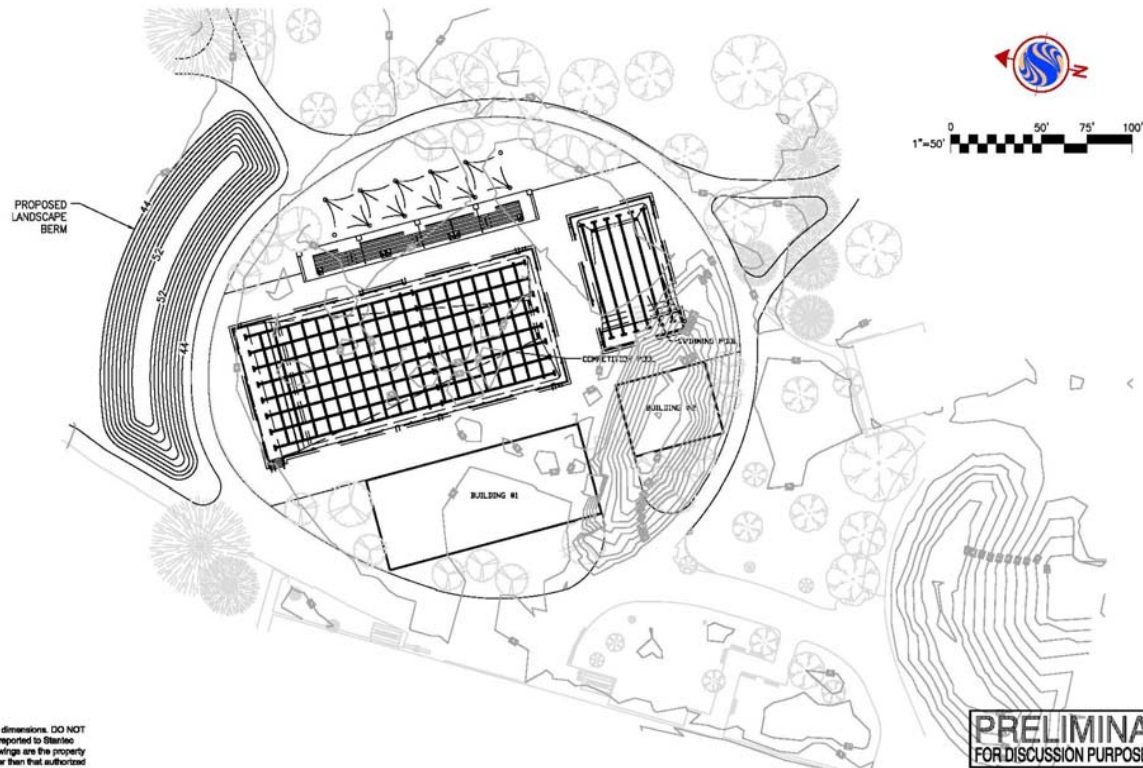
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 183910059

ORIGINAL SHEET - ANS B

 Stantec Consulting Inc.
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Project: Davis Community Pool Project
 Figure No.: 1.0
 Title: Existing Utility Infrastructure Exhibit

**Figure 6
PRELIMINARY GRADING PLAN**



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PRELIMINARY
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 August, 2012
 183910059

ORIGINAL SHEET - A15.8

 **Stantec Consulting Inc.**
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Project
 Davis Community
 Pool Project

Figure No.
 2.0

Title
 Proposed Grading Exhibit

Detail- Grading Quantities

<u>CUTS</u>	<u>CY</u>
EXISTING BERM	1,530
PROPOSED LARGE POOL (10' DEPTH)	3,300
PROPOSED SMALL POOL (4' DEPTH)	550
MINOR SITE GRADING (0.5' OVER HALF OF SITE)	530
	<u>5,910</u>
<u>FILLS</u>	
PROPOSED BERM	1,950
EXISTING LARGE POOL (6' DEPTH)	440
EXISTING SMALL POOL (6' DEPTH)	500
MINOR SITE GRADING (0.5' OVER HALF OF SITE)	530
	<u>3,420</u>
<u>EXPORT</u>	
EXPORT EXCESS MATERIAL OR FILL ON-SITE	2,490

NOTE: These quantities are rough estimates which are based upon a preliminary site plan and topographic survey.

Section V

SITE AND MARKET ANALYSIS

This section of the report presents a description of the proposed site followed by a discussion of those demographic factors that are likely to impact the marketability of the proposed Community Pool facility.

Site Analysis

The site is located within the City of Davis, at 201 East 14th Street. Figure 7 illustrates the regional location of the proposed site within the greater Sacramento area, and Figure 8 shows the Community Pool site in context with surrounding uses. Access to the site is provided from 14th Street, and the Community Pool site is bordered on the north and east by the Davis Community Park, on the south by the Veterans Memorial Center Theater, and on the west by Davis High School.

Figure 7
REGIONAL LOCATION OF DAVIS COMMUNITY POOL

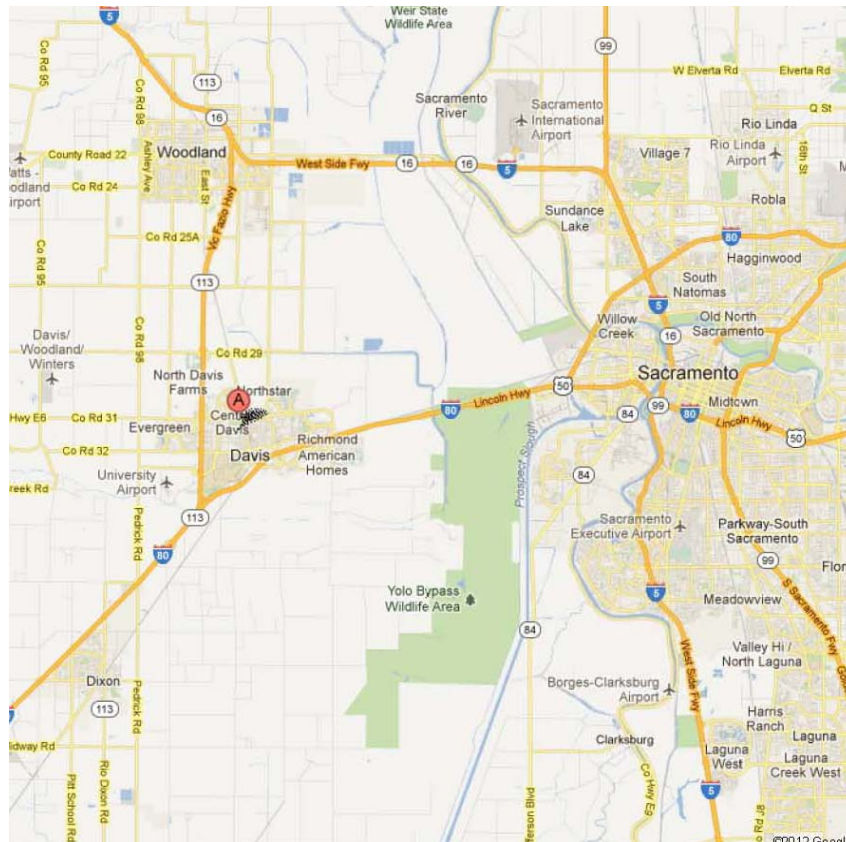


Figure 8
VICINITY MAP OF DAVIS COMMUNITY POOL

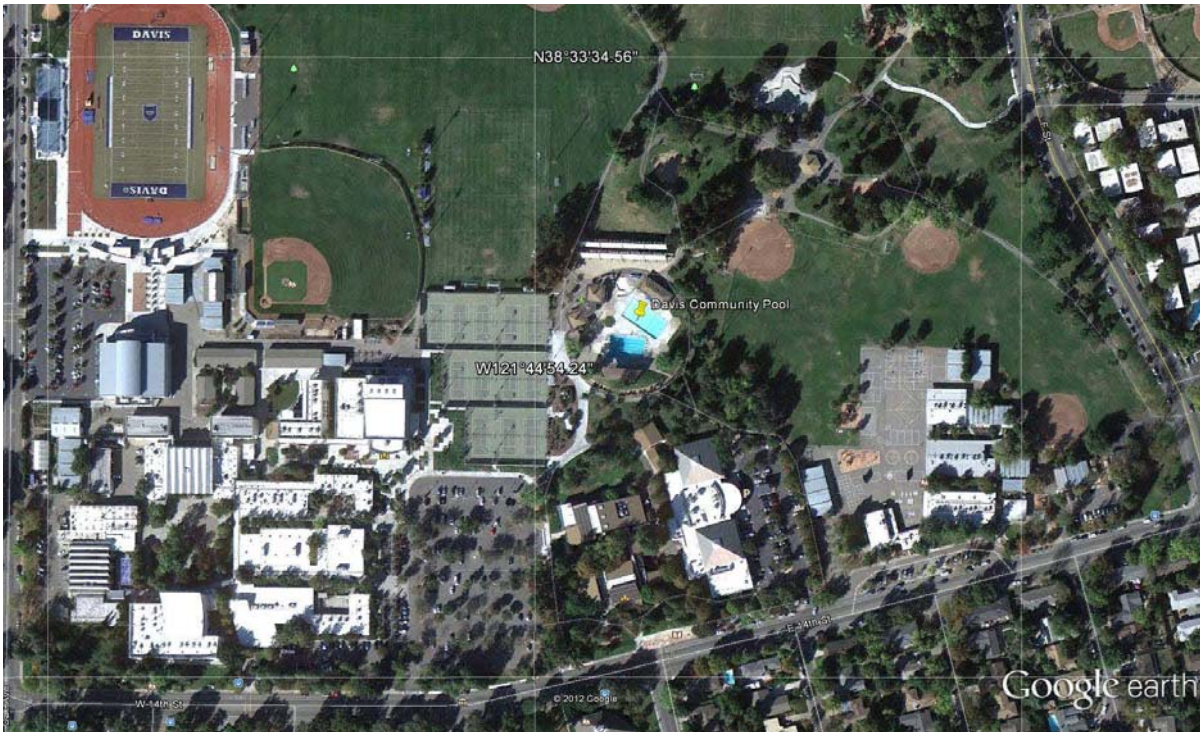
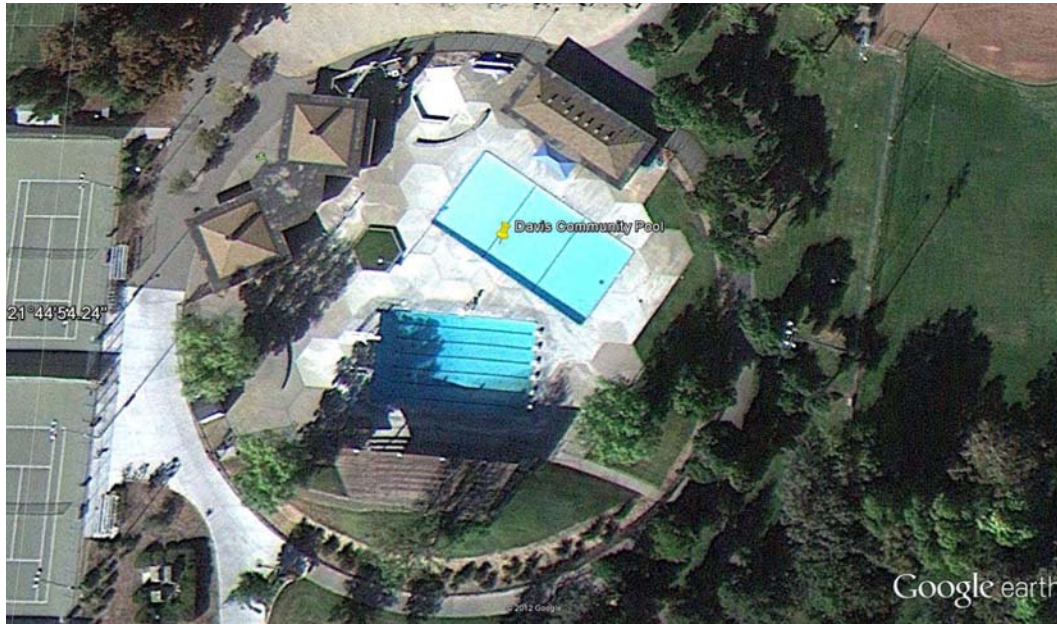


Figure 9 provides an enlarged view of the existing Community Pool. The original design drawings for the Community Pool project date back to April of 1966, and a multi-purpose building was added to the northern side of the site in 1985. There have been a number of other minor pool renovation and equipment replacement projects over the years.

The existing bathhouse building is approximately 2,400 square feet, and this building contains men's dressing areas, men's toilets and shower areas, women's dressing areas, women's toilets and shower areas, administration and first aid areas, concession and storage areas, and pool equipment and chemical storage areas. The multi-purpose building is approximately 1,600 square feet, and this building contains a multi-purpose room, a snack bar and storage areas. A berm with spectator seating is located on the south side of the site.

The existing pools at the Davis Community Pool include: a 6 lane x 25 yard lap pool; a 3,900 square foot instructional pool, and a 400 square foot infant pool. The lap and instructional pools are operational, but the infant pool is not currently in use due to ongoing safety and maintenance concerns. The lap pool incorporates depths of 6'0" to 12'6", the instructional pool has depths ranging from 2'0" to 4'0", and the infant pool depth has a uniform depth of 1'0".

Figure 9
ENLARGED VIEW OF DAVIS COMMUNITY POOL



Market Area Demographics

To determine recreation attendance (refer to Section 5 of the report for projected attendance), we have defined the resident market area to be within a 25-mile radius from the proposed project site. A set of data reviewing 0-5 mile, 5-10 mile, 10-15 mile, 15-20 mile and 20-25 mile radii was analyzed. Appendix 5 contains the demographic data obtained for each of these market areas, which include, but are not limited to, the following:

- Population levels and trends
- Per capita incomes
- Age distribution
- Ethnic composition

These will be discussed, in turn, below.

Population

Table 2 presents a summary of population levels and trends for the market area from which the Davis Community Pool is expected to derive much of its support. Shown in the

table are population data for the 2000 Census, as well as the 2010 census, with estimates for projections for 2015.

Table 2
POPULATION BY MARKET AREA ZONE

Distance From Site	2000		2010		2015 Projection		Average Annual Change 2000 to 2010		Average Annual Change 2010 to 2015	
	Number	Percent of Total	Number	Percent of Total	Number	Percent of Total	Number	Percent of Total	Number	Percent of Total
0 to 5 miles	67,690	5.3%	74,761	4.9%	78,473	4.9%	707	1.0%	742	1.0%
5 to 10 miles	69,177	5.4%	86,966	5.8%	93,144	5.8%	1,779	2.6%	1,236	1.4%
10 to 15 miles	209,284	16.3%	265,536	17.6%	285,217	17.9%	5,625	2.7%	3,936	1.5%
15 to 20 miles	499,402	38.8%	563,561	37.3%	586,861	36.8%	6,416	1.3%	4,660	0.8%
20 to 25 miles	442,313	34.3%	520,828	34.5%	548,997	34.5%	7,852	1.8%	5,634	1.1%
Totals	1,287,866	100.0%	1,511,652	100.0%	1,592,692	100.0%	22,379	1.7%	16,208	5.8%

Source: ESRI Business Information Solutions

In 2000, the population of the market area stood at approximately 1.3 million. By comparison, the market area's 2010 population has grown somewhat, increasing to approximately 1.5 million. Over the next five years, growth is projected to remain steady, rising to approximately 1.6 million residents within 25 miles of the proposed project site.

Within the overall market area, the 0 to 5 mile zone contained approximately 75 thousand persons in 2010 and accounted for 4.9% of the total market area. The 5 to 10 mile zone accounted for 87 thousand persons (5.8% of the total). By comparison, the 10-15 mile zone contained 266 thousand persons (17.6% of the total), the 15-20 mile zone contained 564 thousand persons (37.3% of the total), and the 20-25 mile zone contained 520 thousand (34.5% of the total). The dramatic increase in population from the 5-10 mile zone to the 10-15 mile zone is a result of reaching into the City of Sacramento and its surrounding suburbs.

Incomes

Table 3 presents a summary of 2010 per capita incomes for the five market area zones and the total U. S., which has been included for comparison. As shown, per capita incomes in the 0 to 5 mile zone are slightly higher (14%) than the national average, while those in the 5 to 10 and 25 to 40 mile zone are lower comparable to the national average.

Table 3
MARKET AREA PER CAPITA INCOMES (2010)

<u>Market Area Zone</u>	<u>Dollars</u>	<u>Index¹</u>
0 to 5 Miles	\$30,599	1.14
5 to 10 Miles	\$23,264	0.87
10 to 15 Miles	\$26,817	1.00
15 to 20 Miles	\$22,279	0.83
20 to 25 Miles	\$26,559	0.99
Total U.S.	\$26,739	1.00

¹ U.S. = 1.00

Source: ESRI Business Information Solutions

Market Area Age Distribution

The third demographic factor to be evaluated is the market area’s age distribution. Age distribution is a particularly significant factor in evaluating aquatic center recreation attendance, since a disproportionate share of recreation attendance at an aquatic center is accounted for by the 5-14 year-old age group.

Table 4 presents a summary of data regarding the age distribution of the five market area zones and total U. S. figures, which are included for comparison. As noted above, the critical age bracket is comprised of those residents age 14 and younger. The percentage of the total U. S. population in this bracket was 20.0 percent in 2010. By comparison, the percentage of the population in this age bracket for the 0-5 mile zone was 13.8%. In the 5-10 mile zone, the percentage was 23.5%. In the 10-15 mile zone, the percentage was 18.7%. In the 15-20 mile zone, the percentage was 23.2%, and in the 20-25 mile zone, the percentage was 21.6%. It should also be noted that the median age across all zones was less than the national average of 37.0 years. What this indicates is that age demographics within the primary market area are favorable to the development of an aquatic center.

**Table 4
MARKET AREA AGE DISTRIBUTION (2010)**

Age Category	0 to 5 Miles	5 to 10 Miles	10 to 15 Miles	15 to 20 Miles	20 to 25 Miles	U.S.
Under 5	4.8%	8.2%	6.6%	8.3%	7.6%	6.8%
5 to 9	4.6%	7.9%	6.2%	7.8%	7.2%	6.7%
10 to 14	4.4%	7.4%	5.9%	7.1%	6.8%	6.5%
Subtotal	13.8%	23.5%	18.7%	23.2%	21.6%	20.0%
15 to 19	13.4%	7.5%	6.5%	7.7%	7.0%	7.0%
20 to 24	21.1%	6.8%	7.3%	7.8%	6.9%	6.9%
25 to 34	17.3%	14.4%	15.1%	15.2%	14.9%	13.3%
35 to 44	9.7%	13.7%	13.6%	13.1%	14.0%	13.4%
45 to 54	10.6%	13.9%	14.3%	13.2%	14.4%	14.6%
55 to 64	7.3%	10.2%	11.9%	9.7%	10.6%	11.7%
65 and Over	6.9%	10.1%	12.6%	9.9%	10.8%	13.1%
Totals	100.0%	100.0%	100.0%	100.0%	100.0%	100.0%
Median Age	25.9	33.4	36.7	32.2	34.8	37.0

Source: ESRI Business Information Solutions

Ethnic Composition

Ethnicity can influence recreation attendance at an aquatic center given that different racial or ethnic groups may exhibit varying preferences for entertainment experiences. Accordingly, we have summarized data regarding the ethnic mix within the primary market area.

Table 5 presents a summary of the racial mix of the market area for 2010. Data are shown for whites, blacks, Native American and “other”. Moreover, a separate column is provided for Hispanics. It should be noted that the total of these categories does not equal 100.0 percent, since Hispanics are counted twice. Due to an anomaly in census reporting, Hispanics are allowed to report that they are any category and they can report that they are Hispanic. Thus, in Table 5, the column entitled “Hispanic” indicates the percentage of the population in each market area segment that is of Hispanic heritage. However, they may also indicate their racial classification, which may be based simply on their appearance.

As shown in Table 5, for the nation as a whole, Whites account for 71.9% of the total population in 2010, Blacks account for 12.5%, Asians account for 4.8% and Other ethnicities account for 10.8%. Within the market area, the percentages vary significantly from the national figures. For example, whites account for 61.5% of the population in the 0 to 5 mile zone, compared to a range of 48.4% to 62.6% in the four outer zones. Moreover, blacks have inordinately low percentages of the population in all market area zones save the 10-15 and 15-20 mile zones. Finally, Hispanics, who account for 16.2% of the national average account for a much higher percentage in the 5-10 mile, 10-15 mile, and 15-20 mile zones.

**Table 5
RACE COMPOSITION BY MARKET AREA ZONE (2010)**

<u>Market Area Zone</u>	<u>White</u>	<u>Black</u>	<u>Asian</u>	<u>Other</u>	<u>Total</u>	<u>Hispanic¹</u>
0 to 5 Miles	61.5%	3.2%	22.6%	12.7%	100.0%	12.3%
5 to 10 Miles	62.6%	2.1%	5.6%	29.7%	100.0%	41.5%
10 to 15 Miles	50.4%	10.7%	17.5%	21.4%	100.0%	26.7%
15 to 20 Miles	48.4%	13.0%	15.3%	23.3%	100.0%	21.5%
20 to 25 Miles	62.3%	9.9%	11.6%	16.2%	100.0%	12.5%
Total U.S.	71.9%	12.5%	4.8%	10.8%	100.0%	16.2%

¹ Hispanics can be any race.

Source: ESRI Business Information Solutions

Weather

Weather is one of the most significant factors affecting the operation of an aquatic center. Weather determines the length of the recreation season of an aquatic center based upon prevailing temperatures and further affects daily attendance where precipitation and cloud cover are concerned. Weather data was collected from the Yolo County Airport, the nearest reporting station to the proposed project site.

Table 6 presents a summary of long term monthly weather data. As noted in the table, monthly data are shown for normal high and as shown, temperature patterns form a

bell-shaped curve, beginning in January, peaking in July and declining from September through December. Normal high temperatures are 53 degrees in January, increasing to 93 degrees in July, and declining to 54 degrees in December. Normal low temperatures run parallel to normal high temperatures, starting at 37 degrees in January, peaking at 56 degrees in July and declining to 36 degrees in December.

As shown in Table 6, Davis receives the greatest amount of monthly rainfall in the winter months of January, February and March with an average of 4.9 inches. During the summer months of June, July and August, precipitation averages .083 inches per month.

**Table 6
CLIMATOLOGICAL DATA FOR THE DAVIS AREA**

Month	Temperature (°F)		Precipitation		
	High	Low	Rain Days	Inches / Mo.	Inches / Rain Day
January	53.3	37.1	12.6	4.04	0.32
February	59.8	39.8	10.4	3.76	0.36
March	64.7	42.4	9.6	3.03	0.32
April	72.0	45.1	4.7	0.97	0.21
May	80.3	50.0	2.9	0.55	0.19
June	88.2	54.5	1.1	0.18	0.16
July	92.7	55.9	0.2	0.03	0.15
August	91.7	55.0	0.4	0.04	0.10
September	88.0	53.3	1.5	0.30	0.20
October	78.9	48.0	3.6	0.90	0.25
November	63.6	40.8	8.1	2.44	0.30
December	53.9	36.1	10.6	2.81	0.27

Source: NOAA National Climatic Data Center

Section VI

PROJECTED ATTENDANCE

This section of the report provides projections of monthly program, unit program and recreation attendance at the proposed Davis Community Pool. Monthly and unit program attendance will be discussed first, followed by a review of market penetration. Projections of recreation attendance, attendance patterns and facility requirements will conclude this section.

Monthly Program Attendance

For the Davis Community Pool, monthly programs are anticipated to include: swim clubs (Davis AquaDarts and Davis Aquamonsters); master's swim clubs (Davis Aquatic Masters); high school swimming, diving and water polo (Davis High School), synchronized swimming (Davis AquaStarz), as well as informal lap swimming and water aerobics classes (for Site Plan Options 2 and 3 only). An analysis was provided for Site Plan Options 1, 2 and 3, and based upon information provided in the user group meetings (refer to Section 3 of the report), the design team anticipates the following monthly program attendance levels, as illustrated in Table 7A, 7B and 7C:

Table 7A
MONTHLY PROGRAM ATTENDANCE- SITE PLAN OPTION 1

Category	No. of Patrons	Months Per Year	Annual Attendance
Swim Clubs, Seasonal	400	9	3,600
Swim Clubs, Year-round	300	12	3,600
Master's Clubs, Year-round	300	12	3,600
High School Swim Teams	75	3	225
High School Diving Team	5	3	15
High School Water Polo Teams	60	3	180
Synchorized Swimming	50	5	250

Notes:

1. Club swim patron count based upon eight (8) workout sessions per day, 5 patrons per lane.
2. Pool capacity assumes 22 lanes in competition pool, 6 lanes in lap pool.

Source: Aquatic Design Group, Inc.

Table 7B
MONTHLY PROGRAM ATTENDANCE- SITE PLAN OPTION 2

Category	No. of Patrons	Months Per Year	Annual Attendance
Swim Clubs, Seasonal	300	9	2,700
Swim Clubs, Year-round	200	12	2,400
Master's Clubs, Year-round	200	12	2,400
High School Swim Teams	75	3	225
High School Diving Team	5	3	15
High School Water Polo Teams	60	3	180
Synchorized Swimming	50	5	250
Informal Lap Swimming	50	9	450
Water Aerobics	50	9	450

Notes:

1. Club swim patron count based upon eight (8) workout sessions per day, 5 patrons per lane.
2. Pool capacity assumes 14 lanes in competition pool, 4 lanes in activity pool.

Source: Aquatic Design Group, Inc.

Table 7C
MONTHLY PROGRAM ATTENDANCE- SITE PLAN OPTION 3

Category	No. of Patrons	Months Per Year	Annual Attendance
Swim Clubs, Seasonal	80	9	720
Swim Clubs, Year-round	80	12	960
Master's Clubs, Year-round	80	12	960
High School Swim Teams	0	3	0
High School Diving Team	0	3	0
High School Water Polo Teams	0	3	0
Synchorized Swimming	0	5	0
Informal Lap Swimming	50	9	450
Water Aerobics	50	9	450

Notes:

1. Club swim patron count based upon eight (8) workout sessions per day, 5 patrons per lane.
2. Pool capacity assumes 6 lanes in lap pool.

Source: Aquatic Design Group, Inc.

Unit Program Attendance

For the Davis Community Pool, unit programs are anticipated to include: swim lessons (resident), swim lessons (non-resident), life safety classes, party rentals and regional competitive meets. An analysis was provided for Site Plan Options 1, 2 and 3, and the design team anticipates the following unit program attendance levels, as illustrated in Table 8:

Table 8
UNIT PROGRAM ATTENDANCE- SITE PLAN OPTIONS 1-3

Category	Site Plan Option 1	Site Plan Option 2	Site Plan Option 3
Swim Lessons, Resident	500	1,500	1,000
Swim Lessons, Non-Resident	50	150	100
Life Safety Classes	25	25	25
Party Rentals	50	100	200
Regional Meets	2	1	0

Source: Aquatic Design Group, Inc.

Market Penetration

Since recreation attendance projections in this analysis are derived by applying a “penetration rate” to the individual market areas, it is important to explain the concept of market penetration rate and how such rates are derived.

Market penetration rate, or “MPR,” can best be expressed by the equation $MPR = PR \times FV$, where PR is participation rate and FV is the frequency of visit. Further defined, PR is the propensity of a certain percentage of the market population to visit a certain type of attraction, and FV the number of times in a year that percentage of the population will actually visit that attraction. For example, a PR of 10 (percentage of population) and an FV of 4 (times visited in a year) yields an MPR of 40. To determine which values should be assigned, it is necessary to understand which factors impact PR and FV. These are discussed, in turn, below.

With regard to PR, or participation rate, the dominant factor is *breadth of market appeal*. Based upon research conducted by the World Waterpark Association (WWA) and the International Association of Amusement Parks and Attractions (IAAPA), swimming has the

greatest breadth of market appeal of any form of recreation in which Americans regularly participate. On the other hand, skydiving, mountain climbing and bungee jumping rank low on most people's list. Thus, on the basis of breadth of market appeal, swimming would have a high PR, compared to the other activities cited.

The second factor impacting the market penetration rate, or MPR, is frequency of visit, or FV. There are two factors that impact FV. The first is the consumer's opportunity. As distance from an attraction increases, MPR decreases. The reason for this is a lower frequency of visit, brought about by decreased opportunity. For example, a person living 50 miles from an attraction has less opportunity to visit an attraction than another person living one mile away. Another reason for lack of opportunity is lack of time. This is particularly applicable to a tourist market: if a tourist's length of stay in an area is one night, a choice must be made among available options, whereas, such a choice is much less critical if the tourist is staying in the area for several days.

Another factor impacting FV is the nature of the entertainment experience. It is a universal axiom that recreation of a "participatory" nature will have a higher FV than one with a "spectative" nature. Thus, consumers might visit a wax museum once but will play golf at every available opportunity. For the Davis Community Pool, the potential exists for substantial repeat visits, given the multitude of activities envisioned as part of Site Plan Options 2 and 3.

Table 9 presents a summary of market penetration rates at ten existing public sector aquatic facilities. While there are differences in the actual rates among the ten facilities shown in this table, the patterns of market penetration are similar, with the highest rates shown in the zones closest to the proposed project site.

Recreation Attendance

Tables 10A, 10B and 10C illustrate the design team's projections of attendance at the proposed Davis Community Pool for its first five years of operation. It should be noted that the first full year of operation is assumed to be 2014, the earliest year that the City believes the facility can open.

Due to high monthly and unit program use, staff does not anticipate that there will be any available time for City programming. Accordingly, Table 10A (Site Plan Option 1) reflects that there will be no recreation attendance for this option.

Table 10B (Site Plan Option 2) projects a recreation attendance of 59 thousand patrons in 2014, increasing to 60 thousand in 2016 and topping off at 61 thousand in 2018. The increase in recreation attendance over Site Plan Option 1 is accounted for by the inclusion of an activity pool with waterslides and wet play structures, which enhance appeal to patrons.

Table 9
MARKET PENETRATION RATES AT TEN EXISTING AQUATIC FACILITIES

Facility	0 to 5 Miles	5 to 10 Miles	10 to 15 Miles	15 to 20 Miles	20 to 25 Miles
Cedarburg Community Pool Cedarburg, Wisconsin	103.3%	3.7%	0.8%	0.2%	0.0%
Central Aquatics Center Hurst, Texas	22.1%	2.9%	0.4%	0.1%	0.0%
Chesapeake Beach Aquatic Center Chesapeake Beach, Maryland	92.9%	29.9%	7.4%	1.3%	0.4%
Clarksville Aquatic Center Clarksville, Indiana	18.3%	2.2%	1.9%	0.6%	0.1%
Crystal Springs Aquatic Center East Brunswick, New Jersey	31.0%	1.9%	1.0%	0.3%	0.0%
Hyland Hills Waterworld Federal Heights, Colorado	52.7%	42.8%	6.8%	1.7%	0.2%
Koch Park Aquatic Center Florissant, Missouri	15.3%	3.6%	1.3%	0.3%	0.0%
Memorial Park Aquatic Center Jefferson City, Missouri	62.2%	35.9%	33.0%	10.6%	1.9%
North Clackamas Aquatic Center North Clackamas, Oregon	31.9%	18.8%	3.6%	1.3%	0.1%
Splash Zone Charleston, South Carolina	64.4%	28.1%	20.3%	9.6%	0.4%
Averages	49.4%	17.0%	7.7%	2.6%	0.3%

¹ Market penetration rate is a function of participation rate x frequency of visit.

² This data was assembled utilizing information from public sector aquatic facilities which conduct exit surveys requesting the zip codes of patrons; information from facilities in California was not available.

Source: William L. Haralson & Associates, Inc.

Table 10A
PROJECTED RECREATION ATTENDANCE- SITE PLAN OPTION 1

	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
<u>Market Population</u>					
0 to 5 Miles	77,731	78,473	79,215	79,958	80,700
5 to 10 Miles	91,908	93,144	94,380	95,615	96,851
10 to 15 Miles	281,281	285,217	289,153	293,089	297,026
15 to 20 Miles	582,201	586,861	591,521	596,181	600,841
20 to 25 Miles	543,363	548,997	554,631	560,265	565,898
<u>Estimated Market Penetration</u>					
0 to 5 Miles	0.0%	0.0%	0.0%	0.0%	0.0%
5 to 10 Miles	0.0%	0.0%	0.0%	0.0%	0.0%
10 to 15 Miles	0.0%	0.0%	0.0%	0.0%	0.0%
15 to 20 Miles	0.0%	0.0%	0.0%	0.0%	0.0%
20 to 25 Miles	0.0%	0.0%	0.0%	0.0%	0.0%
<u>Projected Attendance</u>					
0 to 5 Miles	0	0	0	0	0
5 to 10 Miles	0	0	0	0	0
10 to 15 Miles	0	0	0	0	0
15 to 20 Miles	0	0	0	0	0
20 to 25 Miles	0	0	0	0	0
Total Attendance	0	0	0	0	0

Source: William L. Haralson & Associates, Inc.

Table 10B
PROJECTED RECREATION ATTENDANCE- SITE PLAN OPTION 2

	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
<u>Market Population</u>					
0 to 5 Miles	77,731	78,473	79,215	79,958	80,700
5 to 10 Miles	91,908	93,144	94,380	95,615	96,851
10 to 15 Miles	281,281	285,217	289,153	293,089	297,026
15 to 20 Miles	582,201	586,861	591,521	596,181	600,841
20 to 25 Miles	543,363	548,997	554,631	560,265	565,898
<u>Estimated Market Penetration</u>					
0 to 5 Miles	20.0%	20.0%	20.0%	20.0%	20.0%
5 to 10 Miles	10.0%	10.0%	10.0%	10.0%	10.0%
10 to 15 Miles	5.0%	5.0%	5.0%	5.0%	5.0%
15 to 20 Miles	2.5%	2.5%	2.5%	2.5%	2.5%
20 to 25 Miles	1.0%	1.0%	1.0%	1.0%	1.0%
<u>Projected Attendance</u>					
0 to 5 Miles	15,546	15,695	15,843	15,992	16,140
5 to 10 Miles	9,191	9,314	9,438	9,562	9,685
10 to 15 Miles	14,064	14,261	14,458	14,654	14,851
15 to 20 Miles	14,555	14,672	14,788	14,905	15,021
20 to 25 Miles	5,434	5,490	5,546	5,603	5,659
Total Attendance	58,790	59,431	60,073	60,715	61,356

Source: William L. Haralson & Associates, Inc.

Table 10C
PROJECTED RECREATION ATTENDANCE- SITE PLAN OPTION 3

	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
<u>Market Population</u>					
0 to 5 Miles	77,731	78,473	79,215	79,958	80,700
5 to 10 Miles	91,908	93,144	94,380	95,615	96,851
10 to 15 Miles	281,281	285,217	289,153	293,089	297,026
15 to 20 Miles	582,201	586,861	591,521	596,181	600,841
20 to 25 Miles	543,363	548,997	554,631	560,265	565,898
<u>Estimated Market Penetration</u>					
0 to 5 Miles	40.0%	40.0%	40.0%	40.0%	40.0%
5 to 10 Miles	20.0%	20.0%	20.0%	20.0%	20.0%
10 to 15 Miles	10.0%	10.0%	10.0%	10.0%	10.0%
15 to 20 Miles	5.0%	5.0%	5.0%	5.0%	5.0%
20 to 25 Miles	2.5%	2.5%	2.5%	2.5%	2.5%
<u>Projected Attendance</u>					
0 to 5 Miles	31,092	31,389	31,686	31,983	32,280
5 to 10 Miles	18,382	18,629	18,876	19,123	19,370
10 to 15 Miles	28,128	28,522	28,915	29,309	29,703
15 to 20 Miles	29,110	29,343	29,576	29,809	30,042
20 to 25 Miles	13,584	13,725	13,866	14,007	14,147
Total Attendance	120,296	121,608	122,919	124,231	125,542

Source: William L. Haralson & Associates, Inc.

Table 10C (Site Plan Option 3) projects a recreation attendance of 120 thousand patrons in 2014, increasing to 123 thousand in 2016 and topping off at 126 thousand in 2018. The increase in recreation attendance over Site Plan Option 2 is accounted for by the extensive recreation programming available (lazy river, waterslides, activity pool, etc.) in this site plan option.

Section VII

FINANCIAL ANALYSIS

This section of the report presents an analysis of financial performance of the proposed Davis Community Pool. Included in this section will be a discussion of the recent financial performance of selected public sector aquatic facilities, as well as financial performance for the four (4) existing aquatic facilities owned and operated by the City of Davis. Following this discussion, projected revenue, projected operating expenses and projected net income / loss will be addressed.

Comparable Facilities

As part of this study, the Design Team reviewed financial performance for fifteen (15) comparable public sector aquatic facilities. Financial surveys for five (5) competition only, five (5) competition + recreation, and five (5) recreational only facilities were forwarded to the operators of the selected facilities, and the operators were asked to report financial performance for the most recent operating year. A majority of the financial data provided was for calendar year 2011, but there were a few facilities that reported fiscal year 2011-2012 figures. Tables 11, 12 and 13 reflect the results of the financial surveys. Please refer to Appendix 6 to view each of the financial surveys received by the Design Team.

Competition only facilities included: the Charles Brooks Swim Center in Woodland, California; the Clarke Memorial Swim Center in Walnut Creek, California; the Mission Viejo Aquatics Complex in Mission Viejo, California; the Santa Clara International Swim Center in Santa Clara, California; and the William Woollett Aquatic Center in Irvine, California. Revenues ranged from a low of \$100,000 (Mission Viejo Aquatics Complex) to a high of \$683,178 (Clarke Memorial Swim Center). Operating Expenses ranged from a low of \$294,252 (Charles Brooks Swim Center) to a high of \$1,336,489 (Clarke Memorial Swim Center). Finally, net operating losses (none of the competition only facilities operated at a profit) ranged from a low of \$165,256 (Charles Brooks Swim Center) to a high of \$848,000 (William Woollett Aquatic Center). Cost recovery (subtracting expenses from revenue) for the five (5) competition only facilities averaged 32.7%.

Competition + Recreation facilities included: the Alan Witt Aquatic Center in Fairfield, California; the Antelope Aquatic Center in Antelope, California; the Folsom Aquatic Center in Folsom, California; the Gauche Park Aquatic Center in Yuba City, California; and the Roseville Aquatics Complex in Roseville, California. Revenues ranged from a low of \$197,670 (Antelope Aquatic Center) to a high of \$803,182 (Folsom Aquatic Center). Operating Expenses ranged from a low of \$216,250 (Antelope Aquatic Center) to a high of \$984,840 (Folsom Aquatic Center). Finally, net operating losses (none of the competition + recreation

facilities operated at a profit) ranged from a low of \$18,580 (Antelope Aquatic Center) to a high of \$351,067 (Roseville Aquatics Complex). Cost recovery (subtracting expenses from revenue) for the five (5) competition + recreation facilities averaged 81.1%.

Table 11
COMPARABLE FACILITIES- COMPETITION ONLY

	Charles Brooks Swim Center- Woodland	Clarke Memorial Swim Center- Walnut Creek	Mission Viejo Aquatics Complex- Mission Viejo	Santa Clara Intl. Swim Center- Santa Clara	William Woollett Aquatic Center- Irvine
REVENUES					
Recreation Swim	\$9,905	\$330,977	\$0	\$15,000	\$40,000
Swim Lessons	\$52,301	\$243,776	\$0	\$0	\$200,000
Water Exercise	\$14,178	\$6,479	\$0	\$0	\$0
School Sports Rentals	\$0	\$7,230	\$0	\$0	\$0
Team Sports Rentals	\$43,828	\$14,571	\$100,000	\$50,000	\$0
Masters Sports Rentals	\$0	\$34,756	\$0	\$0	\$0
Competitive Meets	\$8,284	\$27,540	\$0	\$100,000	\$30,000
Party Rentals	\$0	\$11,867	\$0	\$0	\$0
Food and Beverage	\$500	\$5,982	\$0	\$0	\$0
Mechandise	\$0	\$0	\$0	\$0	\$0
Miscellaneous	\$0	\$0	\$0	\$20,000	\$0
TOTAL REVENUES	\$128,996	\$683,178	\$100,000	\$185,000	\$270,000
EXPENSES					
Full Time Staff Labor	\$54,690	\$176,540	\$50,000	\$250,000	\$102,000
Benefits- Full Time Staff Labor	\$0	\$70,638	\$20,000	\$0	\$68,000
Part Time Staff Labor	\$87,257	\$446,783	\$0	\$25,000	\$352,000
Benefits- Part Time Staff Labor	\$0	\$91,235	\$0	\$0	\$88,000
Advertising and Promotion	\$0	\$19,450	\$0	\$0	\$8,000
Insurance	\$0	\$25,675	\$0	\$0	\$0
Maintenance and Repairs	\$62,895	\$176,459	\$150,000	\$160,000	\$185,000
Utilities	\$77,905	\$297,453	\$300,000	\$300,000	\$315,000
Miscellaneous Expense	\$11,505	\$30,000	\$0	\$0	\$0
TOTAL EXPENSES	\$294,252	\$1,334,233	\$520,000	\$735,000	\$1,118,000
COST OF SALES					
Food and Beverage	\$0	\$2,256	\$0	\$0	\$0
Merchandise	\$0	\$0	\$0	\$0	\$0
TOTAL- COST OF SALES	\$0	\$2,256	\$0	\$0	\$0
EXPENSES + COST OF SALES	\$294,252	\$1,336,489	\$520,000	\$735,000	\$1,118,000
NET OPERATING INCOME / (LOSS)	(\$165,256)	(\$653,311)	(\$420,000)	(\$550,000)	(\$848,000)
COST RECOVERY	43.8%	51.1%	19.2%	25.2%	24.2%

Source: Aquatic Design Group, Inc.

**Table 12
COMPARABLE FACILITIES- COMPETITION + RECREATION**

	Alan Witt Aquatic Center- Fairfield	Antelope Aquatic Center- Antelope	Folsom Aquatic Center- Folsom	Gauche Park Aquatic Center- Yuba City	Roseville Aquatics Complex- Roseville
REVENUES					
Recreation Swim	\$224,134	\$98,850	\$368,650	\$207,783	\$132,700
Swim Lessons	\$225,121	\$77,050	\$129,697	\$65,713	\$185,000
Water Exercise	\$52,287	\$3,000	\$5,653	\$35,822	\$0
School Sports Rentals	\$0	\$8,500	\$5,160	\$33,000	\$20,000
Team Sports Rentals	\$0	\$2,670	\$140,000	\$31,245	\$84,000
Masters Sports Rentals	\$0	\$0	\$0	\$0	\$0
Competitive Meets	\$0	\$0	\$24,355	\$0	\$5,000
Party Rentals	\$19,574	\$7,100	\$47,413	\$24,237	\$30,000
Food and Beverage	\$51,965	\$500	\$82,254	\$63,687	\$33,900
Mechandise	\$0	\$0	\$0	\$3,682	\$0
Miscellaneous	\$3,250	\$0	\$0	\$0	\$142,039
TOTAL REVENUES	\$576,331	\$197,670	\$803,182	\$465,169	\$632,639
EXPENSES					
Full Time Staff Labor	\$79,354	\$0	\$170,024	\$35,737	\$89,644
Benefits- Full Time Staff Labor	\$24,056	\$0	\$102,014	\$16,619	\$17,928
Part Time Staff Labor	\$385,682	\$125,000	\$267,006	\$179,469	\$384,717
Benefits- Part Time Staff Labor	\$29,404	\$10,000	\$30,000	\$9,021	\$57,708
Advertising and Promotion	\$6,000	\$1,250	\$2,011	\$0	\$12,400
Insurance	\$313	\$0	\$12,000	\$1,036	\$8,807
Maintenance and Repairs	\$19,764	\$50,000	\$84,340	\$52,753	\$110,366
Utilities	\$149,506	\$0	\$248,918	\$95,123	\$213,875
Miscellaneous Expense	\$0	\$30,000	\$43,141	\$108,659	\$55,261
TOTAL EXPENSES	\$694,079	\$216,250	\$959,454	\$498,417	\$950,706
COST OF SALES					
Food and Beverage	\$19,712	\$0	\$25,386	\$28,323	\$33,000
Merchandise	\$0	\$0	\$0	\$3,671	\$0
TOTAL- COST OF SALES	\$19,712	\$0	\$25,386	\$31,994	\$33,000
EXPENSES + COST OF SALES	\$713,791	\$216,250	\$984,840	\$530,411	\$983,706
NET OPERATING INCOME / (LOSS)	(\$137,460)	(\$18,580)	(\$181,658)	(\$65,242)	(\$351,067)
COST RECOVERY	80.7%	91.4%	81.6%	87.7%	64.3%

Source: Aquatic Design Group, Inc.

**Table 13
COMPARABLE FACILITIES- RECREATION ONLY**

	Hawaiian Falls- Dallas, TX	NRH2O- North Richland Hills, TX	Splash!- La Mirada, CA	Water Works Park- Denton, TX	Water World- Denver, CO
REVENUES					
Recreation Swim	\$2,515,000	\$4,244,777	\$1,416,018	\$1,936,487	\$19,365,448
Swim Lessons	\$61,000	\$0	\$323,965	\$0	\$0
Water Exercise	\$0	\$0	\$40,501	\$0	\$0
School Sports Rentals	\$0	\$0	\$6,221	\$0	\$0
Team Sports Rentals	\$0	\$0	\$29,088	\$0	\$0
Masters Sports Rentals	\$0	\$0	\$0	\$0	\$0
Competitive Meets	\$0	\$0	\$68,140	\$0	\$0
Party Rentals	\$79,000	\$78,425	\$329,914	\$54,500	\$311,361
Food and Beverage	\$630,000	\$467,369	\$54,537	\$263,446	\$3,643,560
Mechandise	\$31,000	\$46,856	\$83,330	\$31,489	\$564,345
Miscellaneous	\$0	\$0	\$0	\$0	\$0
TOTAL REVENUES	\$3,316,000	\$4,837,427	\$2,351,714	\$2,285,922	\$23,884,714
EXPENSES					
Full Time Staff Labor	\$165,000	\$301,855	\$152,248	\$149,225	\$1,467,477
Benefits- Full Time Staff Labor	\$45,000	\$123,761	\$100,426	\$58,198	\$557,641
Part Time Staff Labor	\$502,000	\$1,194,844	\$888,049	\$668,404	\$5,961,625
Benefits- Part Time Staff Labor	\$45,000	\$179,227	\$148,231	\$110,287	\$798,858
Advertising and Promotion	\$171,000	\$235,825	\$0	\$116,582	\$1,070,035
Insurance	\$62,000	\$94,330	\$0	\$46,633	\$458,587
Maintenance and Repairs	\$82,000	\$157,216	\$124,933	\$77,721	\$917,173
Utilities	\$196,000	\$534,536	\$232,448	\$264,253	\$2,598,657
Miscellaneous Expense	\$792,000	\$322,734	\$113,835	\$63,125	\$1,456,165
TOTAL EXPENSES	\$2,060,000	\$3,144,328	\$1,760,170	\$1,554,427	\$15,286,217
COST OF SALES					
Food and Beverage	\$209,000	\$163,579	\$21,269	\$115,916	\$1,311,682
Merchandise	\$11,000	\$22,959	\$43,332	\$17,319	\$265,242
TOTAL- COST OF SALES	\$220,000	\$186,539	\$64,601	\$133,235	\$1,576,924
EXPENSES + COST OF SALES	\$2,280,000	\$3,330,866	\$1,824,771	\$1,687,662	\$16,863,141
NET OPERATING INCOME / (LOSS)	\$1,036,000	\$1,506,561	\$526,943	\$598,260	\$7,021,573
COST RECOVERY	145.4%	145.2%	128.9%	135.4%	141.6%

Source: Aquatic Design Group, Inc.

Recreation only facilities included: the Hawaiian Falls Aquatic Center in Dallas, Texas; the NRH2O Aquatics Complex in North Richland Hills, Texas; the Splash! Aquatic Facility in La Mirada, California; the Water Works Park in Denton, Texas; and the Water World Highland

Hills in Denver, Colorado. Revenues ranged from a low of \$2,351,714 (Splash! Aquatic Facility) to a high of \$23,884,714 (Water World Highland Hills). Operating Expenses ranged from a low of \$1,687,662 (Water Works Park) to a high of \$16,863,141 (Highland Hills Water World). Finally, net operating profits (none of the recreation only facilities operated at a loss) ranged from a low of \$526,943 (Splash! Aquatic Facility) to a high of \$7,021,573 (Water World Highland Hills). Cost recovery (subtracting expenses from revenue) for the five (5) competition only facilities averaged 139.3%.

It should be noted that one of the biggest challenges the Design Team encountered while preparing this study was the collection of the data illustrated in Tables 11-13, above. Many of the parks and recreation and/or public works departments we contacted struggled to furnish their financial data, primarily because of short staffing levels. Due to current economic conditions throughout the state, reductions in staff appear to be the “new normal.” Anecdotally, we also heard that in one of smaller cities we contacted, the parks and recreation director was so short on staff she admitted to vacuuming the pools in her facility from time to time. The Design Team sent out the requests for financial data in early April 2012, and did not receive the final financial survey until October 2012.

Facilities Operated by the City of Davis

City Staff provided the Design Team with a financial survey for each of the aquatic facilities owned and operated by the City of Davis, including: Arroyo Pool, Civic Center Pool, Community Pool and Manor Pool. The financial information for each of these facilities is presented in Table 14. The raw financial data for each of these facilities can be found at the end of Appendix 6.

The Arroyo Pool Facility, located in the northwest portion of the City, contains an 8 lane x 25 yard lap pool, and a separate play pool with waterslide and water umbrella. The Civic Center Pool Facility, located in central Davis, features an 8 lane x 25 yard pool, with a separate dive tank. The Community Pool (subject of this study) has been fully described in Section 5 of this report, is located in north central Davis, and pools on site include a 6 lane x 25 yard lap pool, instructional pool and infant pool. Finally, the Manor Pool Facility is located in northeast Davis and features an 8 lane x 25 yard pool with waterslide, a dive tank, a zero-depth entry pool and a splash pad.

The Arroyo Pool functions primarily as a recreational facility, with swim lesson programming and some team sports rentals. The Civic Pool has served the needs of team sports exclusively, with no recreation programming. The Community Pool does some recreation and swim lesson programming. The Manor Pool is similar to Arroyo- heavy on recreation and swim lesson programming, with some team sports rentals.

The aggregate of revenue for all four facilities is \$520,138, measured against \$1,173,124 in operating expenses, for a net operating loss of \$652,956. The City's stated goal for cost recovery is not to exceed the current City-wide subsidy for aquatics, so the Davis Community Pool must operate as close to break-even as possible.

Table 14
FACILITIES OPERATED BY THE CITY OF DAVIS

	Arroyo Pool	Civic Pool	Community Pool	Manor Pool	Aggregate- All Pools
REVENUES					
Recreation Swim	\$74,042	\$0	\$11,395	\$116,653	\$202,090
Swim Lessons	\$38,991	\$0	\$26,638	\$58,572	\$124,201
Water Exercise	\$0	\$0	\$0	\$0	\$0
School Sports Rentals	\$0	\$0	\$0	\$0	\$0
Team Sports Rentals	\$13,603	\$73,393	\$19,855	\$11,161	\$118,012
Masters Sports Rentals	\$0	\$0	\$0	\$0	\$0
Competitive Meets	\$0	\$0	\$0	\$0	\$0
Party Rentals	\$6,753	\$0	\$534	\$7,131	\$14,418
Food and Beverage	\$13,285	\$0	\$4,175	\$20,497	\$37,957
Mechandise	\$0	\$0	\$0	\$0	\$0
Miscellaneous	\$4,579	\$0	\$15,732	\$3,149	\$23,460
TOTAL REVENUES	\$151,253	\$73,393	\$78,329	\$217,163	\$520,138
EXPENSES					
Full Time Staff Labor	\$94,985	\$59,321	\$73,102	\$96,459	\$323,867
Benefits- Full Time Staff Labor	\$35,647	\$22,276	\$30,679	\$33,641	\$122,243
Part Time Staff Labor	\$84,434	\$0	\$26,536	\$130,269	\$241,239
Benefits- Part Time Staff Labor	\$1,224	\$0	\$385	\$1,889	\$3,498
Advertising and Promotion	\$0	\$0	\$0	\$0	\$0
Insurance	\$33,135	\$16,668	\$20,853	\$40,328	\$110,984
Maintenance and Repairs	\$38,521	\$32,007	\$21,586	\$31,141	\$123,255
Utilities	\$72,128	\$39,690	\$36,846	\$51,707	\$200,371
Miscellaneous Expense	\$11,900	\$0	\$3,741	\$18,361	\$34,002
TOTAL EXPENSES	\$371,974	\$169,962	\$213,728	\$403,795	\$1,159,459
COST OF SALES					
Food and Beverage	\$7,756	\$0	\$2,183	\$10,719	\$13,665
Merchandise	\$0	\$0	\$0	\$0	\$0
TOTAL- COST OF SALES	\$7,756	\$0	\$2,183	\$10,719	\$13,665
EXPENSES + COST OF SALES	\$379,730	\$169,962	\$215,911	\$414,514	\$1,173,124
NET OPERATING INCOME / (LOSS)	(\$228,477)	(\$96,569)	(\$137,582)	(\$197,351)	(\$652,986)
COST RECOVERY	39.8%	43.2%	36.3%	52.4%	44.3%

Source: City of Davis, California

Per Capita Spending

Per capita spending is defined as any opportunity for prospective patrons to generate revenue within the facility. We have included the following categories of per capita spending in this analysis:

- Recreation Admissions
- Food and Beverage
- Merchandise
- Other In-Park Spending
- Monthly Programs
- Unit Programs

Recreation Admissions:

Most aquatic facilities offer a number of categories of recreation admissions. All facilities have a marquee rate, which is the highest rate charged for entry. In addition, most facilities have a child's rate, which can either be based on age or height (48 inches is usually the break point). Other forms of admission include groups, season passes and a variety of promotions and discounts. The rationale for having various forms and rates for admissions is to engender higher levels of attendance, since many people that would not pay the marquee rate might be enticed to attend the park at a lower rate.

Per capita spending for recreation admissions falls into two basic categories: admissions and in-park spending. Most operators of public sector aquatic facilities strive to achieve a balance between revenue generated by admissions and revenue generated by in-park spending. If a higher percentage of total spending is attributable to in-park spending, the guest satisfaction index will also be high.

Table 15 presents our recommendations for recreation admissions pricing for the Davis Community Pool, assuming an opening year of 2014. For Site Plan Option 1, staff has indicated that they do not anticipate that there will be any available time for City programming. Therefore, we do not anticipate any recreation admissions for Site Plan Option 1.

For Site Plan Option 2, we have assumed an adult price of \$6.00, a children's rate of \$4.00, groups and promotions rate averaging \$5.00 and \$3.00 for adults and children, respectively, and season passes of \$65.00 for individuals and \$180.00 for families.

For Site Plan Option 3, we have assumed an adult price of \$12.00, a children's rate of \$8.00, groups and promotions rate averaging \$8.00 and \$6.00 for adults and children, respectively, and season passes of \$75.00 for individuals and \$200.00 for families.

Table 15
PER CAPITA RECREATION ADMSSION SPENDING- SITE PLAN OPTIONS 1, 2 AND 3

<u>Category</u>	<u>Site Plan Option 1</u>			<u>Site Plan Option 2</u>			<u>Site Plan Option 3</u>		
	<u>Rate/Cost</u>	<u>% of Total</u>	<u>Weighted Per Capita</u>	<u>Rate/Cost</u>	<u>% of Total</u>	<u>Weighted Per Capita</u>	<u>Rate/Cost</u>	<u>% of Total</u>	<u>Weighted Per Capita</u>
<u>General Admission</u>									
Adults	N/A	N/A	N/A	\$6.00	20%	\$1.20	\$10.00	20%	\$2.00
Children	N/A	N/A	N/A	\$4.00	50%	\$2.00	\$6.00	50%	\$3.00
<u>Groups</u>									
Adults	N/A	N/A	N/A	\$5.00	10%	\$0.50	\$8.00	10%	\$0.80
Children	N/A	N/A	N/A	\$3.00	10%	\$0.30	\$4.00	10%	\$0.40
<u>Season Passes</u>									
Individual	N/A	N/A	N/A	\$65.00	2%	\$0.16	\$75.00	2%	\$0.19
Family	N/A	N/A	N/A	\$180.00	4%	\$0.36	\$200.00	4%	\$0.40
Complimentary		<u>N/A</u>	<u>N/A</u>		<u>4%</u>	<u>\$0.00</u>		<u>4%</u>	<u>\$0.00</u>
Total		N/A	N/A		100%	\$4.52		100%	\$6.79

Source: William L. Haralson & Associates, Inc.

The Design Team has also assumed that approximately 20% of general recreation admissions will come from adults, 50% from children, 10% from adult groups, 10% from children's groups, 2% from individual season passes, and 4% from family season passes. Applying these percentages to the site plan options yields a weighted per capita spending of \$0.00 for Site Plan Option 1, \$4.52 for Site Plan Option 2 and \$6.79 for Site Plan Option 3.

Food and Beverage:

Expenditures for food beverage represent the highest level of in-park spending at most parks. However, the level of spending for food and beverage depends on a number of factors, including the food quality, menu, pricing, capacity and location of serving outlets and whether the food and beverage outlets are self-operated or contracted out to a concessionaire. Accordingly, we have estimated per capita expenditures for food and beverage spending at \$0.00 for Site Plan Option 1, \$1.50 for Site Plan Option 2 and \$2.00 for Site Plan Option 3. The primary reason for the increase in spending from option to option is the level of entertainment value for each site plan option- the higher the entertainment value the greater the length-of-stay within the park. Longer length-of-stay translates into increased spending for food and beverage. For example, if patrons are in the park for four hours or longer, they will buy something to eat or drink.

Merchandise:

Merchandise sales have not proven to be a significant source of revenue for most aquatic facilities. Some large public sector waterparks (Waterworld Highland Hills in Denver is a prime example) have been very successful with merchandise sales by selling from a large inventory of swim suits, sunglasses and other swimming related apparel and sundry items. However, given the relatively low level of attendance projected for the Davis Community Pool, a substantial investment in facilities and inventory of merchandise is not warranted. Rather, selected items, such as sundries and candy should be available at points of sale shared with other in-park revenue generators. The Design Team has assumed \$0.00 per capita for Site Plan Option 1, \$0.15 for Site Plan Option 2, and \$0.20 for Site Plan Option 3.

Other In-Park Spending:

Other means just that. We would expect this category to include vending machine purchases, and sponsorship, to mention a few line items. The Design Team has assumed other in-park spending to be \$0.05 per capita for Site Plan Option 1, \$0.10 for Site Plan Option 2, and \$0.15 for Site Plan Option 3.

Monthly Programs:

Based upon input received from meetings with user groups and pricing at other facilities in the region, the Design Team has assumed the following per capita spending levels for monthly programs:

- Swim Clubs, Seasonal \$35.00
- Swim Clubs, Year-round \$35.00
- Master's Clubs, Year-round \$35.00
- High School Swim Teams \$25.00
- High School Diving Team \$25.00
- High School Water Polo Teams \$25.00
- Synchronized Swimming Team \$35.00
- Informal Lap Swimming \$25.00
- Water Aerobics \$25.00

Unit Programs:

Based upon input received from meetings with user groups and pricing at other facilities in the region, the Design Team has assumed the following per capita spending levels for unit programs:

- Swim Lessons, Resident \$60.00
- Swim Lessons, Non-Resident \$75.00
- Life Safety Classes \$150.00
- Party Rentals \$250.00
- Regional Meets \$15,000.00

Projected Revenue

Tables 16A, 16B and 16C present our projections of revenue at the proposed Davis Community Pool. In deriving these projections, we have carried forward projected attendance from Tables 10A, 10B and 10C and applied first year estimates of per capita spending from the discussion presented previously in this section.

Each of the tables shows revenue from recreation programs, monthly programs and unit programs. As illustrated in the tables, projected revenue totals \$477,250 for Site Plan Option 1, \$818,008 for Site Plan Option 2, and \$1,335,355 for Site Plan Option 3. These figures are for the first year of operation, which is assumed to be 2014.

Projected Operating Expenses

Tables 17A, 17B and 17C present our projections of operating expenses for the proposed Davis Community Pool. In estimating these expenses, we provided a detailed

analysis for full and part-time labor costs and utilities costs (refer to Appendix 7 and Appendix 8, respectively), as well as estimates for advertising and promotion, insurance, maintenance and repairs and miscellaneous expenses. Based upon experience at comparable facilities, cost of sales for food and beverage was estimated at 35% of revenue for that category, and cost of sales for merchandise was estimated at 50% of revenue.

As illustrated in the tables, projected operating expenses total \$937,281 for Site Plan Option 1, \$1,015,371 for Site Plan Option 2, and \$1,340,087 for Site Plan Option 3. These figures are for the first year of operation, which is assumed to be 2014.

Projected Net Income / Loss

Tables 18A, 18B and 18C present our projections of net income / loss for the proposed Davis Community Pool. In deriving net income / loss, we subtracted operating expenses from total revenue, and projected net income / loss over the first five years of operation, starting with the year 2014. The Design Team assumed a 10% increase in revenues from 2014 to 2015 (due to local familiarity with the park increasing after the first year of operation), 5% growth from 2015 to 2016, and 2.5% growth per annum thereafter.

For Site Plan Option 1, the Design Team is projecting a net loss of \$450,031 for 2014, a net loss of \$495,035 for 2015, a net loss of \$519,786 for 2015, a net loss of \$532,781 in 2017 and a net loss of \$546,101 for 2018. Cost recovery for this option averages 51.5%.

For Site Plan Option 2, the Design Team is projecting a net loss of \$197,363 for 2014, a net loss of \$217,099 for 2015, a net loss of \$227,954 for 2015, a net loss of \$233,653 in 2017 and a net loss of \$239,495 for 2018. Cost recovery for this option averages 80.6%.

For Site Plan Option 3, the Design Team is projecting a net loss of \$4,731 for 2014, a net loss of \$5,204 for 2015, a net loss of \$5,464 for 2015, a net loss of \$5,601 in 2017 and a net loss of \$5,741 for 2018. Cost recovery for this option averages 99.6%.

Table 16A
PROJECTED REVENUE (YEAR 1)- SITE PLAN OPTION 1

RECREATION PROGRAMS				
Category	Number	Unit	Price Per Unit	Extension
Recreation Admissions	0	EA	N/A	\$0.00
Food and Beverage	0	EA	N/A	\$0.00
Merchandise	0	EA	N/A	\$0.00
Other	0	EA	N/A	\$0.00
Subtotal				\$0.00
MONTHLY PROGRAMS				
Category	Number	Months Per Year	Price Per Month	Extension
Swim Clubs, Seasonal	400	9	\$35.00	\$126,000.00
Swim Clubs, Year-round	300	12	\$35.00	\$126,000.00
Master's Clubs, Year-round	300	12	\$35.00	\$126,000.00
High School Swim Teams	75	3	\$25.00	\$5,625.00
High School Diving Team	5	3	\$25.00	\$375.00
High School Water Polo Teams	60	3	\$25.00	\$4,500.00
Synchronized Swimming Team	50	5	\$35.00	\$8,750.00
Subtotal				\$397,250.00
UNIT PROGRAMS				
Category	Number	Unit	Price Per Unit	Extension
Swim Lessons, Resident	500	EA	\$60.00	\$30,000.00
Swim Lessons, Non-Resident	50	EA	\$75.00	\$3,750.00
Life Safety Classes	25	EA	\$150.00	\$3,750.00
Party Rentals	50	EA	\$250.00	\$12,500.00
Regional Meets	2	EA	\$15,000.00	\$30,000.00
Subtotal				\$80,000.00
TOTAL ALL REVENUES				\$477,250.00

Source: Aquatic Design Group, Inc.

**Table 16B
PROJECTED REVENUE (YEAR 1)- SITE PLAN OPTION 2**

RECREATION PROGRAMS				
Category	Number	Unit	Price Per Unit	Extension
Recreation Admissions	58,790	EA	\$4.52	\$265,876.22
Food and Beverage	58,790	EA	\$1.50	\$88,184.49
Merchandise	58,790	EA	\$0.15	\$8,818.45
Other	58,790	EA	\$0.10	\$5,878.97
Subtotal				\$368,758.12
MONTHLY PROGRAMS				
Category	Number	Months Per Year	Price Per Month	Extension
Swim Clubs, Seasonal	300	9	\$35.00	\$94,500.00
Swim Clubs, Year-round	200	12	\$35.00	\$84,000.00
Master's Clubs, Year-round	200	12	\$35.00	\$84,000.00
High School Swim Teams	75	3	\$25.00	\$5,625.00
High School Diving Team	5	3	\$25.00	\$375.00
High School Water Polo Teams	60	3	\$25.00	\$4,500.00
Synchronized Swimming Team	50	5	\$35.00	\$8,750.00
Informal Lap Swimming	50	9	\$25.00	\$11,250.00
Water Aerobics	50	9	\$25.00	\$11,250.00
Subtotal				\$304,250.00
UNIT PROGRAMS				
Category	Number	Unit	Price Per Unit	Extension
Swim Lessons, Resident	1,500	EA	\$60.00	\$90,000.00
Swim Lessons, Non-Resident	150	EA	\$75.00	\$11,250.00
Life Safety Classes	25	EA	\$150.00	\$3,750.00
Party Rentals	100	EA	\$250.00	\$25,000.00
Regional Meets	1	EA	\$15,000.00	\$15,000.00
Subtotal				\$145,000.00
TOTAL ALL REVENUES				\$818,008.12

Source: Aquatic Design Group, Inc.

**Table 16C
PROJECTED REVENUE (YEAR 1)- SITE PLAN OPTION 3**

RECREATION PROGRAMS				
Category	Number	Unit	Price Per Unit	Extension
Recreation Admissions	120,296	EA	\$6.79	\$816,509.98
Food and Beverage	120,296	EA	\$2.00	\$240,592.26
Merchandise	120,296	EA	\$0.20	\$24,059.23
Other	120,296	EA	\$0.15	\$18,044.42
Subtotal				\$1,099,205.89
MONTHLY PROGRAMS				
Category	Number	Months Per Year	Price Per Month	Extension
Swim Clubs, Seasonal	80	9	\$35.00	\$25,200.00
Swim Clubs, Year-round	80	12	\$35.00	\$33,600.00
Master's Clubs, Year-round	80	12	\$35.00	\$33,600.00
High School Swim Teams	0	3	\$25.00	\$0.00
High School Diving Team	0	3	\$25.00	\$0.00
High School Water Polo Teams	0	3	\$25.00	\$0.00
Synchronized Swimming Team	0	5	\$35.00	\$0.00
Informal Lap Swimming	50	9	\$25.00	\$11,250.00
Water Aerobics	50	9	\$25.00	\$11,250.00
Subtotal				\$114,900.00
UNIT PROGRAMS				
Category	Number	Unit	Price Per Unit	Extension
Swim Lessons, Resident	1,000	EA	\$60.00	\$60,000.00
Swim Lessons, Non-Resident	100	EA	\$75.00	\$7,500.00
Life Safety Classes	25	EA	\$150.00	\$3,750.00
Party Rentals	200	EA	\$250.00	\$50,000.00
Regional Meets	0	EA	\$15,000.00	\$0.00
Subtotal				\$121,250.00
TOTAL ALL REVENUES				\$1,335,355.89

Source: Aquatic Design Group, Inc.

Table 17A
PROJECTED OPERATING EXPENSES (YEAR 1)- SITE PLAN OPTION 1

Operating Expenses

Full Time Staff Labor	\$146,500.00
Benefits- Full Time Staff Labor	\$58,600.00
Part Time Staff Labor	\$154,800.00
Benefits- Part Time Staff Labor	\$30,960.00
Advertising and Promotion	\$25,000.00
Insurance	\$25,000.00
Maintenance and Repairs	\$50,000.00
Utilities	\$421,421.49
Miscellaneous Expense	\$15,000.00

Subtotal- Operating Expenses	\$927,281.49
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Cost of Sales

Food and Beverage	\$0.00
Merchandise	\$0.00

Subtotal- Cost of Sales	\$0.00
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GRAND TOTAL- ALL EXPENSES	\$927,281.49
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Source: Aquatic Design Group, Inc.

Table 17B
PROJECTED OPERATING EXPENSES (YEAR 1)- SITE PLAN OPTION 2

Operating Expenses

Full Time Staff Labor	\$146,500.00
Benefits- Full Time Staff Labor	\$58,600.00
Part Time Staff Labor	\$236,160.00
Benefits- Part Time Staff Labor	\$47,232.00
Advertising and Promotion	\$50,000.00
Insurance	\$35,000.00
Maintenance and Repairs	\$50,000.00
Utilities	\$331,605.37
Miscellaneous Expense	\$25,000.00

Subtotal- Operating Expenses	<u>\$980,097.37</u>
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Cost of Sales

Food and Beverage	\$30,864.57
Merchandise	\$4,409.22

Subtotal- Cost of Sales	<u>\$35,273.79</u>
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GRAND TOTAL- ALL EXPENSES	<u><u>\$1,015,371.17</u></u>
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Source: Aquatic Design Group, Inc.

Table 17C
PROJECTED OPERATING EXPENSES (YEAR 1)- SITE PLAN OPTION 3

Operating Expenses

Full Time Staff Labor	\$146,500.00
Benefits- Full Time Staff Labor	\$58,600.00
Part Time Staff Labor	\$383,940.00
Benefits- Part Time Staff Labor	\$76,788.00
Advertising and Promotion	\$75,000.00
Insurance	\$50,000.00
Maintenance and Repairs	\$75,000.00
Utilities	\$343,022.02
Miscellaneous Expense	\$35,000.00

Subtotal- Operating Expenses	<u>\$1,243,850.02</u>
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Cost of Sales

Food and Beverage	\$84,207.29
Merchandise	\$12,029.61

Subtotal- Cost of Sales	<u>\$96,236.90</u>
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GRAND TOTAL- ALL EXPENSES	<u><u>\$1,340,086.92</u></u>
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Source: Aquatic Design Group, Inc.

Table 18A
PROJECTED NET PROFIT / LOSS (YEARS 1-5)- SITE PLAN OPTION 1

<u>Category</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
Revenue	\$477,250	\$524,975	\$551,224	\$565,004	\$579,129
Operating Expenses	\$927,281	\$1,020,010	\$1,071,010	\$1,097,785	\$1,125,230
NET PROFIT / LOSS	(\$450,031)	(\$495,035)	(\$519,786)	(\$532,781)	(\$546,101)
COST RECOVERY	51.5%	51.5%	51.5%	51.5%	51.5%

Source: Aquatic Design Group, Inc.

**Table 18B
PROJECTED NET PROFIT / LOSS (YEARS 1-5)- SITE PLAN OPTION 2**

<u>Category</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
Revenue	\$818,008	\$899,809	\$944,799	\$968,419	\$992,630
Operating Expenses	\$1,015,371	\$1,116,908	\$1,172,754	\$1,202,073	\$1,232,124
NET PROFIT / LOSS	(\$197,363)	(\$217,099)	(\$227,954)	(\$233,653)	(\$239,495)
COST RECOVERY	80.6%	80.6%	80.6%	80.6%	80.6%

Source: Aquatic Design Group, Inc.

Table 18C
PROJECTED NET PROFIT / LOSS (YEARS 1-5)- SITE PLAN OPTION 3

<u>Category</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
Revenue	\$1,335,356	\$1,468,891	\$1,542,336	\$1,580,894	\$1,620,417
Operating Expenses	\$1,340,087	\$1,474,096	\$1,547,800	\$1,586,495	\$1,626,158
NET PROFIT / LOSS	(\$4,731)	(\$5,204)	(\$5,464)	(\$5,601)	(\$5,741)
COST RECOVERY	99.6%	99.6%	99.6%	99.6%	99.6%

Source: Aquatic Design Group, Inc.

Section VIII

CONCLUSION

In summary, the Design Team has provided a series of site plan options for the City's review and consideration, has confirmed engineering feasibility for the project, provided a site and market analysis, projected anticipated attendance, and reviewed the anticipated financial performance for the proposed Davis Community Pool.

Based upon data collected during the site planning and engineering feasibility portions of this study, total development costs for the proposed aquatic center should be approximately \$8.9 million for Site Plan Option 1, \$8.0 million for Site Plan Option 2, and \$10.9 million for Site Plan Option 3 (in 2012 dollars).

The available market from which to draw patrons to the Davis Community Pool will consist primarily of Yolo County and the surrounding communities within a 25 mile radius of the project site. Demographics within this market area have been demonstrated to be favorable to the development of an appropriately scaled aquatic center.

For Site Plan Option 1, it is assumed that Site Plan Option 1 will have no recreation attendance, due to heavy monthly and unit program use and the lack of available time for recreation programming. For Site Plan Option 2, recreation attendance is projected at approximately 59 thousand in the first year of operation, increasing to approximately 61 thousand in the fifth year of operation. For Site Plan Option 3, recreation attendance is projected at approximately 120 thousand in the first year of operation, increasing to approximately 126 thousand in the fifth year of operation.

Applying per capita spending rates to projected attendance figures from Section 6 yielded the Design Team's projection of revenues for recreation programs, monthly programs and unit programs.

- For Site Plan Option 1, the 2014 revenues totaled \$477,250; 2015 revenues totaled \$524,975; 2016 revenues totaled \$551,224; 2017 revenues totaled \$565,004; and 2018 revenues totaled \$579,129.
- For Site Plan Option 2, the 2014 revenues totaled \$818,008; 2015 revenues totaled \$899,809; 2016 revenues totaled \$944,799; 2017 revenues totaled \$968,419; and 2018 revenues totaled \$992,630.

- For Site Plan Option 3, the 2014 revenues totaled \$1,335,356; 2015 revenues totaled \$1,468,891; 2016 revenues totaled \$1,542,336; 2017 revenues totaled \$1,580,894; and 2018 revenues totaled \$1,620,417.

Based upon estimates of labor, utilities and other operating expenses, the Design Team is projecting operating expenses as follows.

- For Site Plan Option 1, the 2014 operating expenses totaled \$927,281; 2015 operating expenses totaled \$1,020,010; 2016 operating expenses totaled \$1,071,010; 2017 operating expenses totaled \$1,097,785; and 2018 operating expenses totaled \$1,125,230.
- For Site Plan Option 2, the 2014 operating expenses totaled \$1,015,371; 2015 operating expenses totaled \$1,116,908; 2016 operating expenses totaled \$1,172,754; 2017 operating expenses totaled \$1,202,073; and 2018 operating expenses totaled \$1,232,124.
- For Site Plan Option 3, the 2014 operating expenses totaled \$1,340,087; 2015 operating expenses totaled \$1,474,096; 2016 operating expenses totaled \$1,547,800; 2017 operating expenses totaled \$1,586,495; and 2018 operating expenses totaled \$1,626,158.

Subtracting operating expenses from revenues yields net operating income or loss. The Design Team is projecting net income / loss as follows:

- For Site Plan Option 1, the 2014 net loss totaled \$450,031; 2015 net loss totaled \$495,035; 2016 net loss totaled \$519,786; 2017 net loss totaled \$532,781; and 2018 net loss totaled \$546,101. Average cost recovery for this option was 51.5%.
- For Site Plan Option 2, the 2014 net loss totaled \$197,363; 2015 net loss totaled \$217,099; 2016 net loss totaled \$227,954; 2017 net loss totaled \$233,653; and 2018 net loss totaled \$239,495. Average cost recovery for this option was 80.6%.
- For Site Plan Option 3, the 2014 net loss totaled \$4,731; 2015 net loss totaled \$5,204; 2016 net loss totaled \$5,464; 2017 net loss totaled \$5,601; and 2018 net loss totaled \$5,741. Average cost recovery for this option was 99.6%.

Finally, the Design Team would like to thank the following employees of the City of Davis, who provided valuable input in the preparation of this feasibility study: Ms. Christine Helweg, Ms. Elvia Garcia-Ayala, Ms. Melissa Chaney, Ms. Connie Foppiano, Ms. Anne Marquez, Ms. Anne Brunette, and Ms. Sandra Montgomery.

We would also like to acknowledge the contributions of the Davis Recreation and Park Commission, including Mr. Charles Russell (Chair), Mr. Travie Westlund (Vice Chair), and commissioners Mr. Michael Bartolic, Mr. Jim Belenis, Mr. Ira Bray, Mr. Robert Glassburner, Mr. Amul Purohit, and Ms. Nicole Slaton.

APPENDIX 1
USER GROUP MEETING
MINUTES

MEETING MINUTES

DATE: 4 April 2012

ATTENDEES: Billy Doughty- Davis AquaDarts
Stu Kahn- Davis Aquatic Masters
Peter Motekaitis- Davis Aquamonsters
Christine Helweg- City of Davis
Randy Mendioroz- Aquatic Design Group

RE: Davis Community Pool

The following is a summary of the issues discussed:

1. 15-20% of Davis masters swimmers work out in Davis, but live elsewhere.
2. Rent from UC Davis = \$4.00 per lane per hour.
3. Rent from City of Davis = \$2.00 per lane per hour (AquaDarts).
4. Davis Aquatic Masters:
 - a. 550 registered members.
 - b. 450 active members.
 - c. Nine (9) workout sessions per day.
 - d. 210 splashes per day.
 - e. Two (2) morning , four (4) midday, two (2) evening workouts.
 - f. 9th practice at Arroyo- 6:00 to 7:00 AM.
5. AD and DAM prefer a minimum of twelve (12) swim lanes.
6. AD and DAM prefer a maximum of five (5) swimmers per lane.
7. AD and DAM would like to host two (2) swim meets per year:
 - a. One (1) short course yards meet.
 - b. One (1) long course meters meet.
8. Spring and Fall the worst time for scheduling.
9. Building needs:
 - a. Coaches offices- two (2) at 100-150 square feet each.
 - b. Wet storage- two (2) at 200 square feet each.
 - c. Dry storage- two (2) at 200 square feet each.
 - d. Meeting room- one (1) at 800 square feet.

Meeting Minutes- 4 April 2012

RE: Davis Community Pool

Page 2 of 2

- e. One (1) snack bar.
 - f. One (1) facility manager's office.
 - g. One (1) lifeguard / break room.
10. Peter Motekaitis sent an E-mail after the meeting with a summary of participants in the Davis Aquamonsters (copy below).

Randy Mendioroz

From: Peter Motekaitis <pjmotekaitis@ucdavis.edu>
Sent: Monday, April 09, 2012 7:25 AM
To: Randy Mendioroz | Aquatic Design Group
Subject: Davis Aquamonsters

Hi Randy,

We are a group of about 200 summer swimmers with 75 fall swimmers and 40 winter swimmers and 75 spring swimmers. We are interested in renting water from community pool IF it is at the same rate as the Aquadarts. Currently we have workouts at the Schaal pool and one of the local health clubs.

Pete Motekaitis
Davis Aquamonsters

CC: Project File



MEETING MINUTES

DATE: 24 April 2012

ATTENDEES: Tracy Stapleton- Davis High School Boy's Swimming and Water Polo
Doug Wright- Davis High School Girl's Swimming and Water Polo
Christine Helweg- City of Davis
Randy Mendioroz- Aquatic Design Group

RE: Davis Community Pool

The following is a summary of issues discussed:

1. 1,750 students total- 10th, 11th and 12th grades.
 2. Boy's and Girl's frosh / sophomore and varsity teams for both swimming and water polo.
 3. One (1) co-ed diving team.
 4. Team breakdown:
 - a. Boy's swimming- 38 total, 21 varsity.
 - b. Boy's water polo- 31 total, 16-17 varsity.
 - c. Girl's swimming- 38 total, 15 varsity.
 - d. Girl's water polo- 29 total, 15 varsity,
 - e. Co-ed diving- 3 total.
 5. Workouts are held at Arroyo Pool- 1.5 miles from Davis High School.
 6. Workout times- 4:00 to 6:00 PM, 6:00 – 8:00 PM.
 7. Swimming season is mid-February to mid-May.
 8. Water polo season is mid-August to mid-November.
 9. Sixteen (16) swim lanes would be ideal in a new pool.
 10. Two (2) 1-meter springboards would be required in a new pool.
 11. Sports lighting would be ideal in new facility.
 12. Meeting room(s) would be ideal in a new facility.
 13. Shrubs, grass and deciduous trees are problematic adjacent to pool(s).
-

CC: Project File



MEETING MINUTES

DATE: 23 May 2012

ATTENDEES: Cindy Hughes- Davis AquaStarz
Natalie Peauroi- Davis AquaStarz
Christine Helweg- City of Davis
Randy Mendioroz- Aquatic Design Group

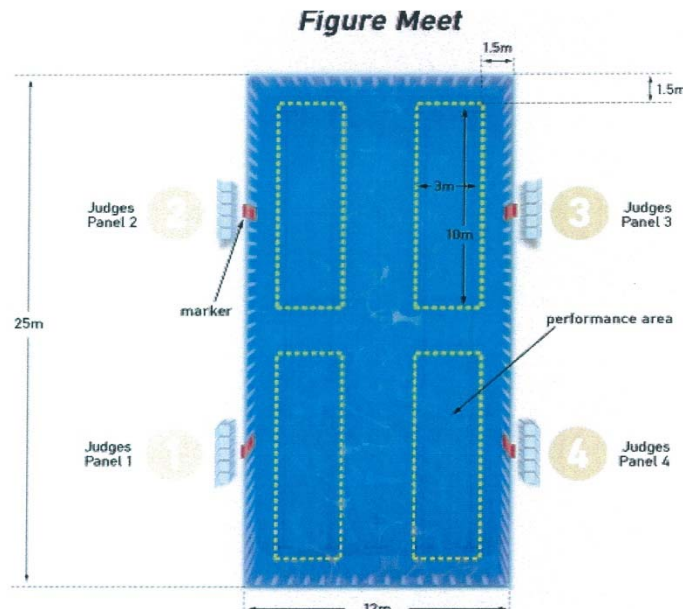
RE: Davis Community Pool

The following is a summary of issues discussed:

1. Minimum course size- 12 x 25 meters.
2. Preferred course size- 25 x 25 meters.
3. Minimum course depth- 2.5 meters.
4. Preferred course depth- 9 to 12 feet.
5. Underwater speakers desirable.
6. P/A & sound system desirable.
7. Spectator seating for 300-500 desirable.
8. Classroom space for changing & team meetings desirable.
9. Gelling stations not required.
10. Season runs March thru August.
11. Team prefers to practice in the afternoon.
12. Refer to next page for excerpt of letter received from Davis AquaStarz with pool dimensional requirements for synchronized swimming.

Pool for Synchronized Swimming

- Minimum of 8 feet would prefer 9-12 feet
- Built in above ground speaker/sound system, possibly a sound booth
- Built in underwater speakers at each end of the pool
- Below-deck windows to view swimmers underwater
- If the pool walls slope down to achieve the depth required for the events, the depth must be reached no farther than 1.2 M from the edge of the pool.



- The pool must be at least 12 M wide and 25 M long. 12 x 12 M or larger portion, must also be at least 3M deep. The rest of the pool must be at least 2M deep.
- Optimal pool must be at least 20 M wide x 30 M long, and at least 2.5 M deep. One area, 12 x 12 M or larger, must be at least 3 M deep and the slope between the change in depths has to be completed over a distance of 8 meters or less.

April 9, 2012

Randy Mendioroz, principal
Aquatic Design Group
2226 Faraday Ave.
Carlsbad, CA 92008
Sent via email



Dear Mr. Mendioroz:

The Davis AquaStarz Synchronized Swimming Team would like to offer information that you may find useful while researching the possible uses for the now-closed Community Pool in Davis.

AquaStarz started about 10 years ago with fewer than 10 swimmers. This year we have a competitive roster of 44 swimmers, and interest continues to grow. We also run a Junior AquaStarz program with up to 20 additional swimmers. We currently use Arroyo Pool for most practices, having grown out of the Civic Dive Pool, which we had used in combination with Community Pool.

As with every swimming group in Davis, we have had to severely alter our swim schedule, and in our case, our season. We usually run from March 1 until mid-October. However, this year we will end our season on July 22.

The shortened season has intensified our practice schedule. We currently use Arroyo Tuesdays and Thursdays from 3:30 p.m. – 6:30 p.m. and Saturdays from 1-4 p.m. This will change in mid-May with 9 a.m. – noon practices on Saturdays and 4:30 – 7:30 p.m. Monday through Friday, moving to 6 p.m. start times at the end of May. And then in June we will be swimming from 8 -10 p.m., meaning that the younger swimmers' time will be shortened (can't have 8-year-olds out at that hour). (Other teams in our league have managed to keep their 5-7 days of practice during the season with pool use of a minimum of 4 hours per day.)

Because of our need for deep pools and the size of our team, we are currently limited to Arroyo Pool. We can have dual meets at that pool, but it takes us out of the running for the league championship because of a lack of bleachers or other type of spectator space. We have negotiated with AquaDarts to use Community Pool this year for our annual show, which is our only fund-raising event. We hope that the plans for Community Pool include a deep end of a minimum of 8 feet, preferably 10+ feet, so we will be able to continue to use that pool for our annual show and, perhaps, to host the league championship.

We have looked into using pools at the university but have not found that to be possible because of the cost involved and the fact that those pools are also constantly in use. The university also asks for \$500 before stating whether pool time is available – something

we cannot accommodate. Pool use in the city of Woodland was also investigated as has the use of country club pools in Davis – to no avail.

Thank you for interest in AquaStarz. If you need more information, please see our website at www.aquastarz.org. We can be contacted at info@aquastarz.org or by calling Heidi Holmblad at 530/297-6675.

Sincerely,
Heidi Holmblad
Davis AquaStarz Synchronized Swimming Team

APPENDIX 2

COMMUNITY MEETINGS



**Davis Community Pool
Feasibility Study
Community Meeting #1**

**6:30 pm – 8:00 pm
Wednesday, April 4, 2012
Davis Senior Center, Valente Room**

© 2011 Google

Meeting Outline

- Financial Survey
- Aquatic Facility Types
- Revenue Analysis
- Expense Analysis
- Cost Recovery Analysis

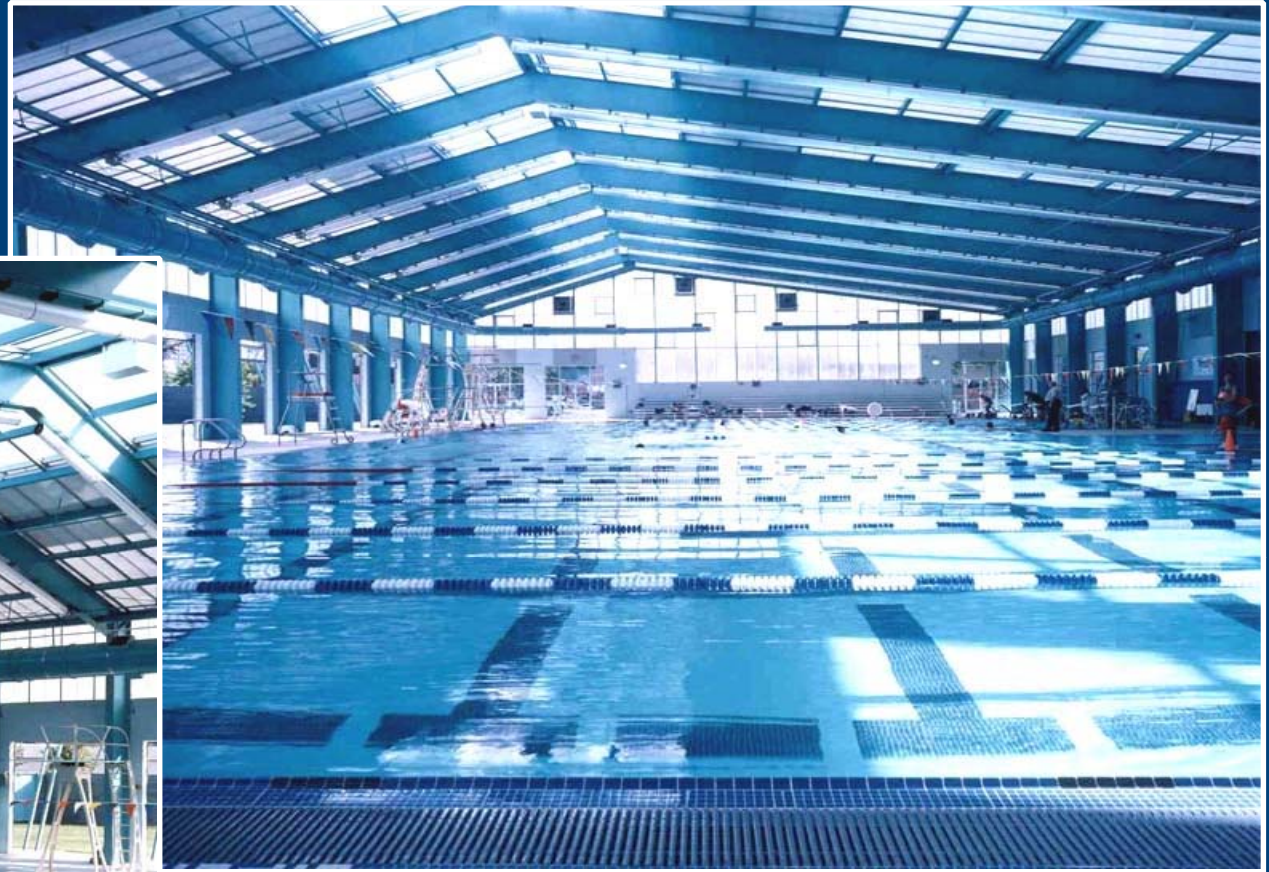
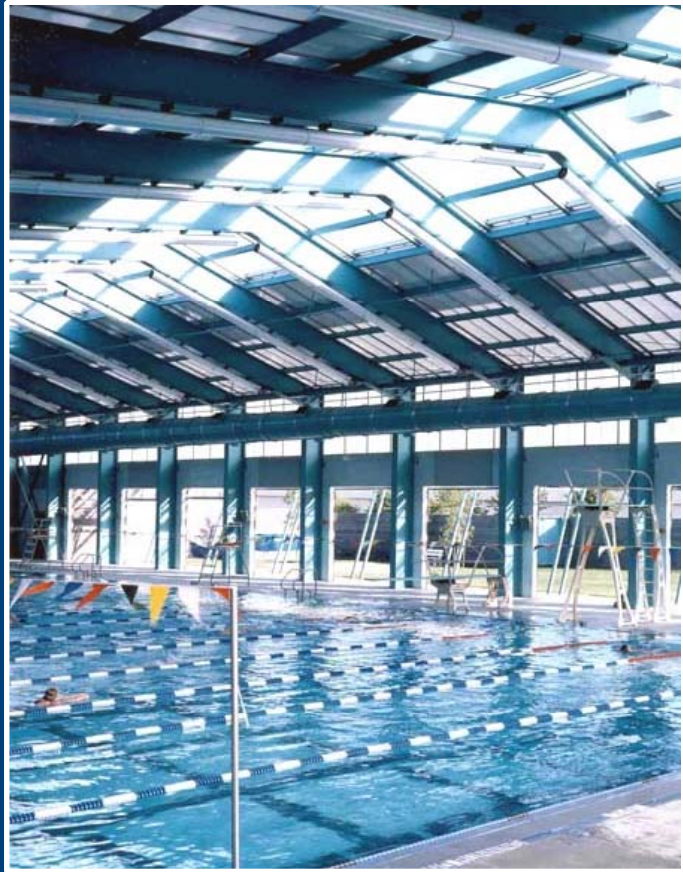
Sample Survey Form

AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location:		No.	Category	Amount
Calendar / Fiscal Year Reporting Period:		2.0	EXPENSE	
Name of Person Responding:		2.1	Full Time Staff Labor	
Phone Number of Person Responding:		2.2	Benefits for 2.1, above	
Facility Description (Number and Type of Pools):		2.3	Part-time Staff Labor	
		2.4	Benefits for 2.3, above	
		2.5	Advertising and Promotion	
		2.6	Insurance	
		2.7	Maintenance and Repairs	
		2.8	Utilities	
		2.9	Miscellaneous Expense	
			SUBTOTAL- EXPENSE	\$0
		3.0	COST OF SALES	
		3.1	Food and Beverage	
		3.2	Merchandise	
			SUBTOTAL- COST OF SALES	\$0
No.	Category			Amount
1.0	REVENUE			
1.1	Recreation Swim			
1.2	Swim Lessons			
1.3	Water Exercise			
1.4	School Sports Rentals			
1.5	Team Sports Rentals			
1.6	Masters Sports Rentals			
1.7	Competitive Meets			
1.8	Party Rentals			
1.9	Food and Beverage			
1.10	Merchandise			
	TOTAL- REVENUE			\$0
		4.0	TOTAL EXPENSES	\$0
		5.0	NET OPERATING INCOME / (LOSS)	\$0
Other Miscellaneous Comments:				

Please Fax Your Response to Aquatic Design Group at /60.438.5251
Thank You For Your Participation!

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Competition Only- Indoor
Municipal Pool at Dula Center*

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Competition Only- Outdoor
William Woollett Jr. Aquatic Center*

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Competition + Recreation- Indoor
Lompoc Aquatic Center*

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Competition + Recreation- Outdoor
Gauche Park Aquatic Center*

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Recreation Only- Indoor
Marcos B. Armijo Community Center*

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Recreation Only- Indoor
Gallup Aquatic Center*

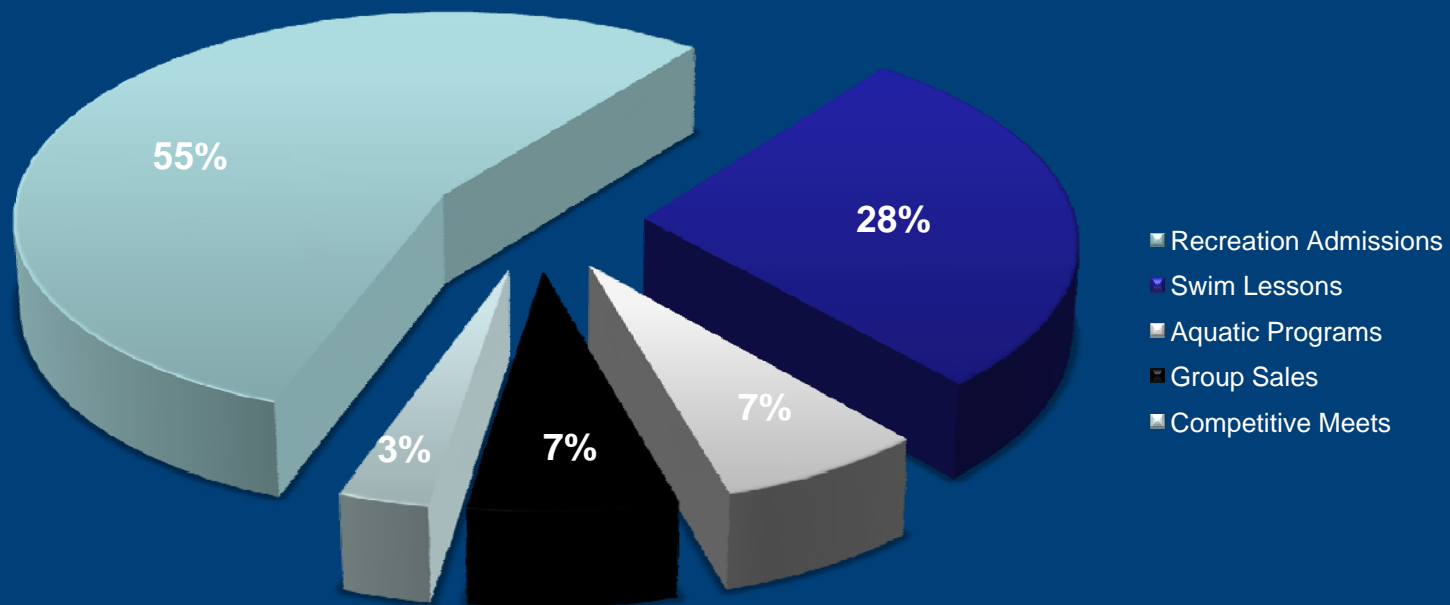
**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**



*Recreation Only- Outdoor
Denton Aquatic Center*

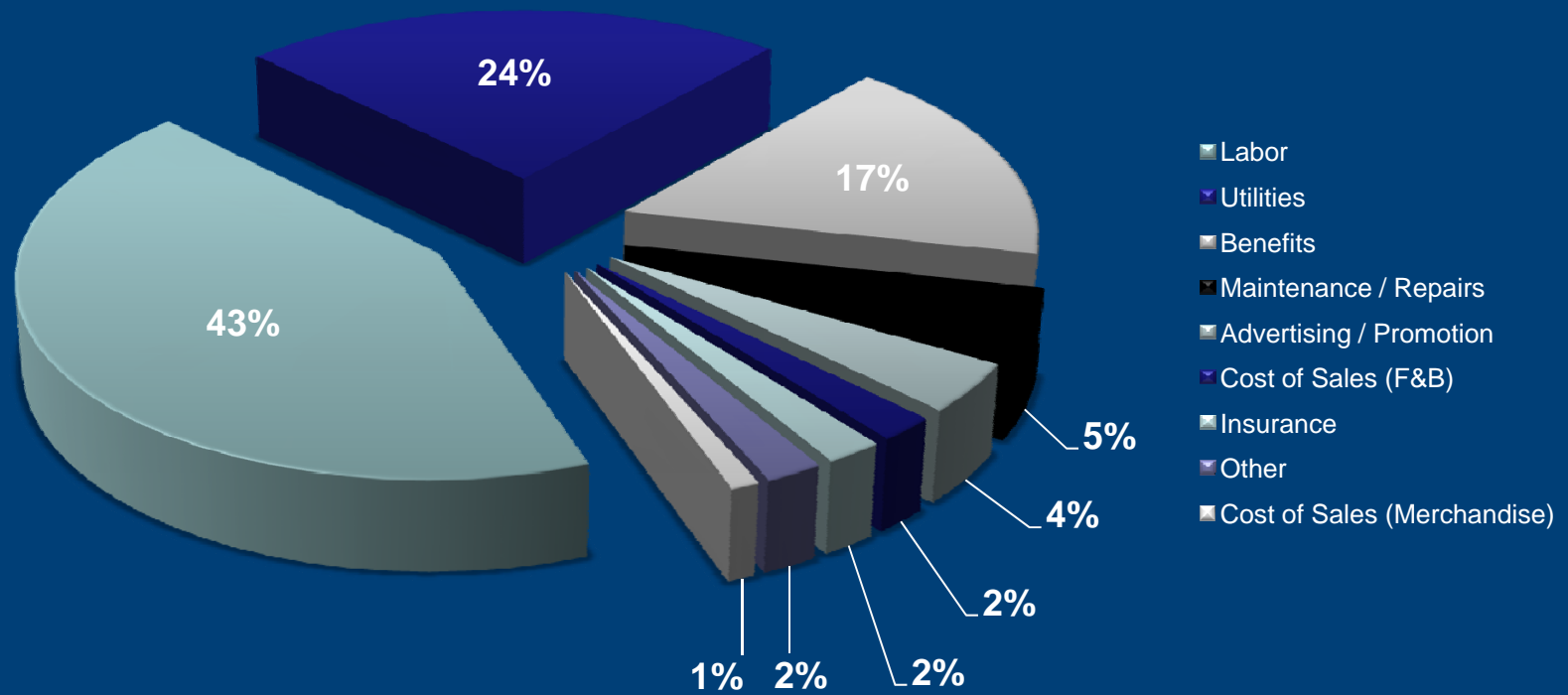
**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**

Revenue Analysis



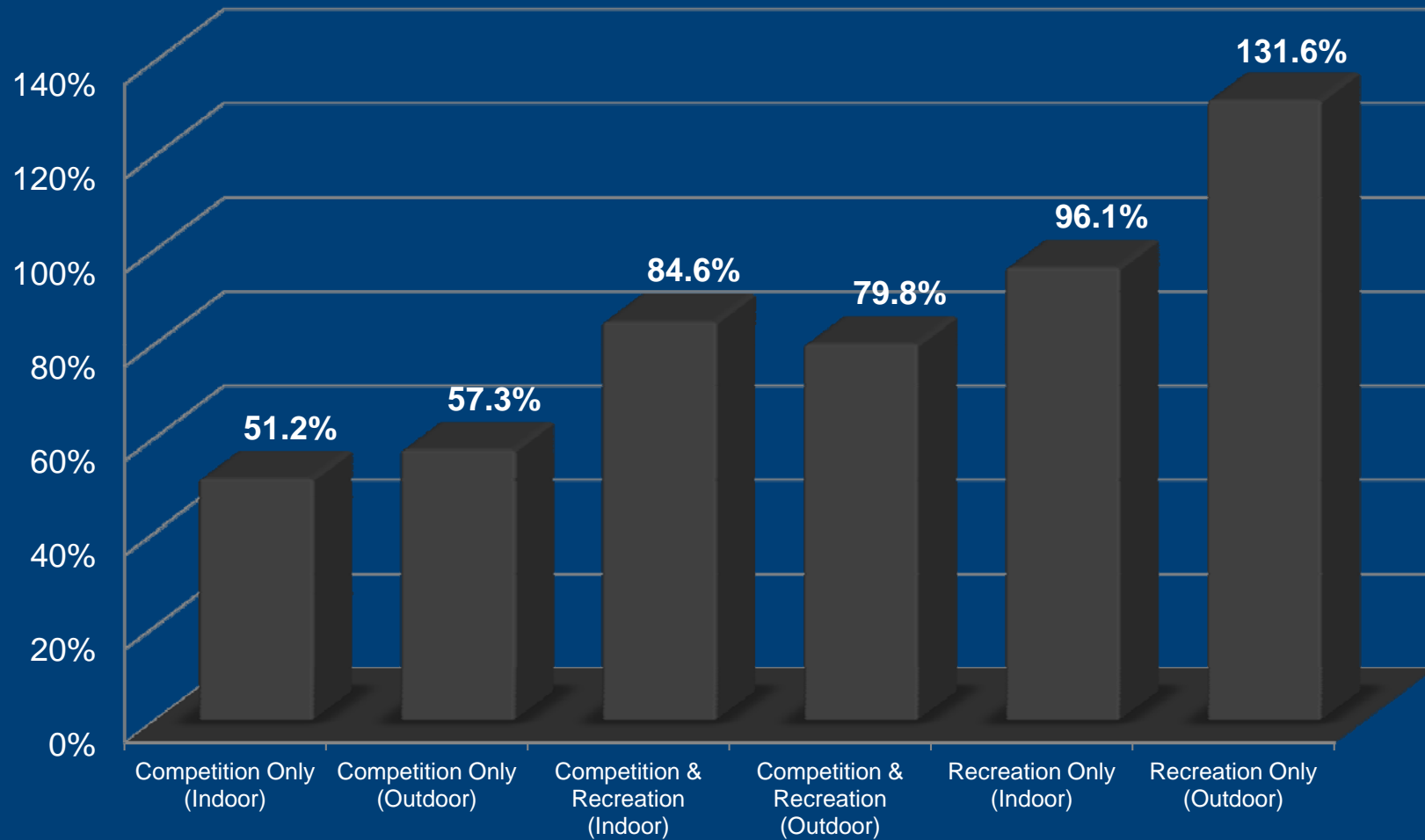
**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**

Expense Analysis



**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**

Cost Recovery Analysis



**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #1**

A photograph of an outdoor swimming pool at dusk. The pool is illuminated by several tall stadium lights, creating a bright glow against the darkening sky. The pool deck is visible, and there are stairs leading down to the pool area. The word "QUESTIONS?" is overlaid in large, bold, blue capital letters across the center of the image.

QUESTIONS?



**Davis Community Pool
Feasibility Study
Community Meeting #2**

**6:30 pm – 8:00 pm
Tuesday, April 24, 2012
Davis Senior Center, Valente Room**

© 2011 Google

Meeting Outline

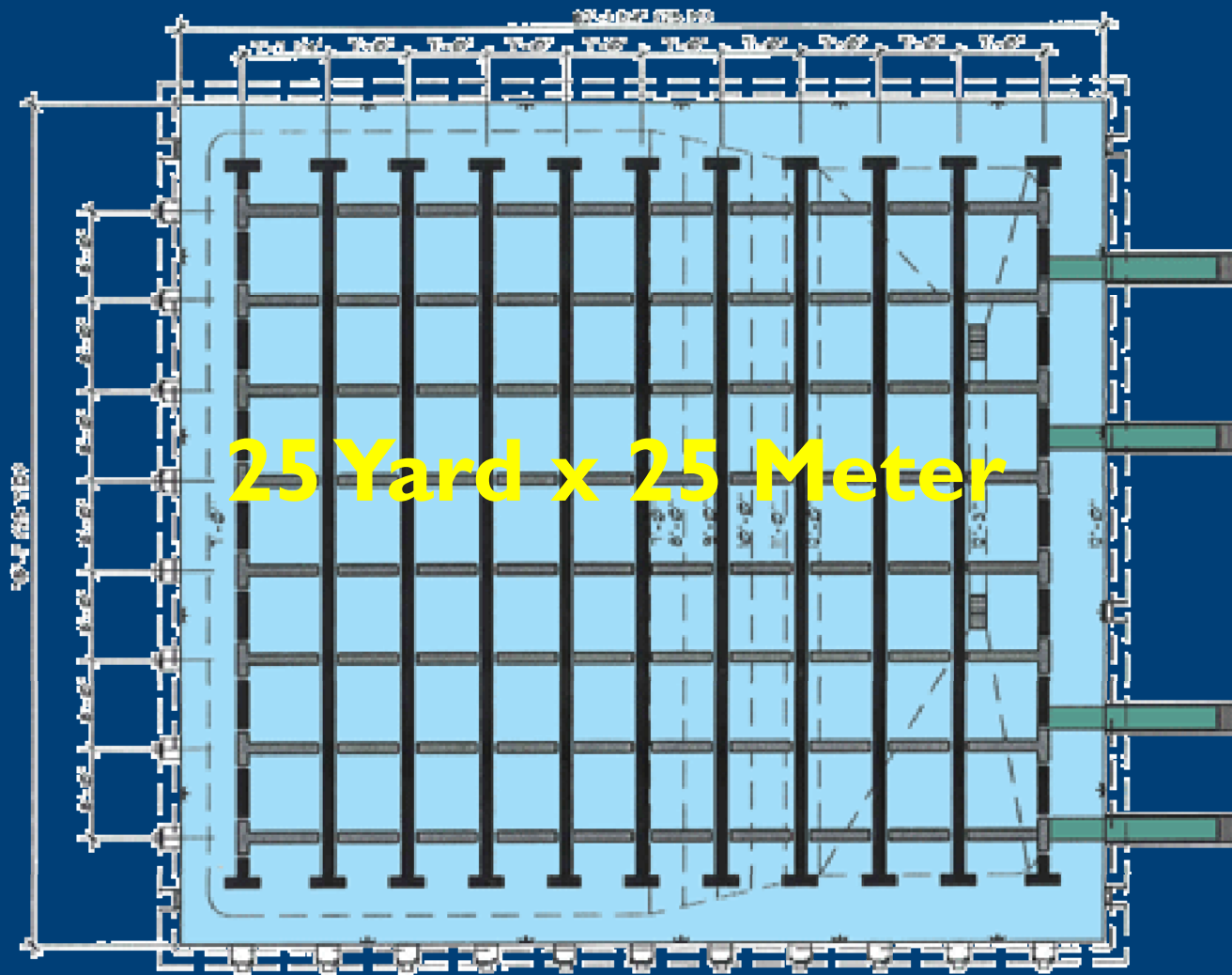
- Prioritization, Competitive Programs
- Prioritization, Instructional Programs
- Prioritization, Recreation Programs
- Prioritization, Infrastructure
- Questions

Competitive Programs

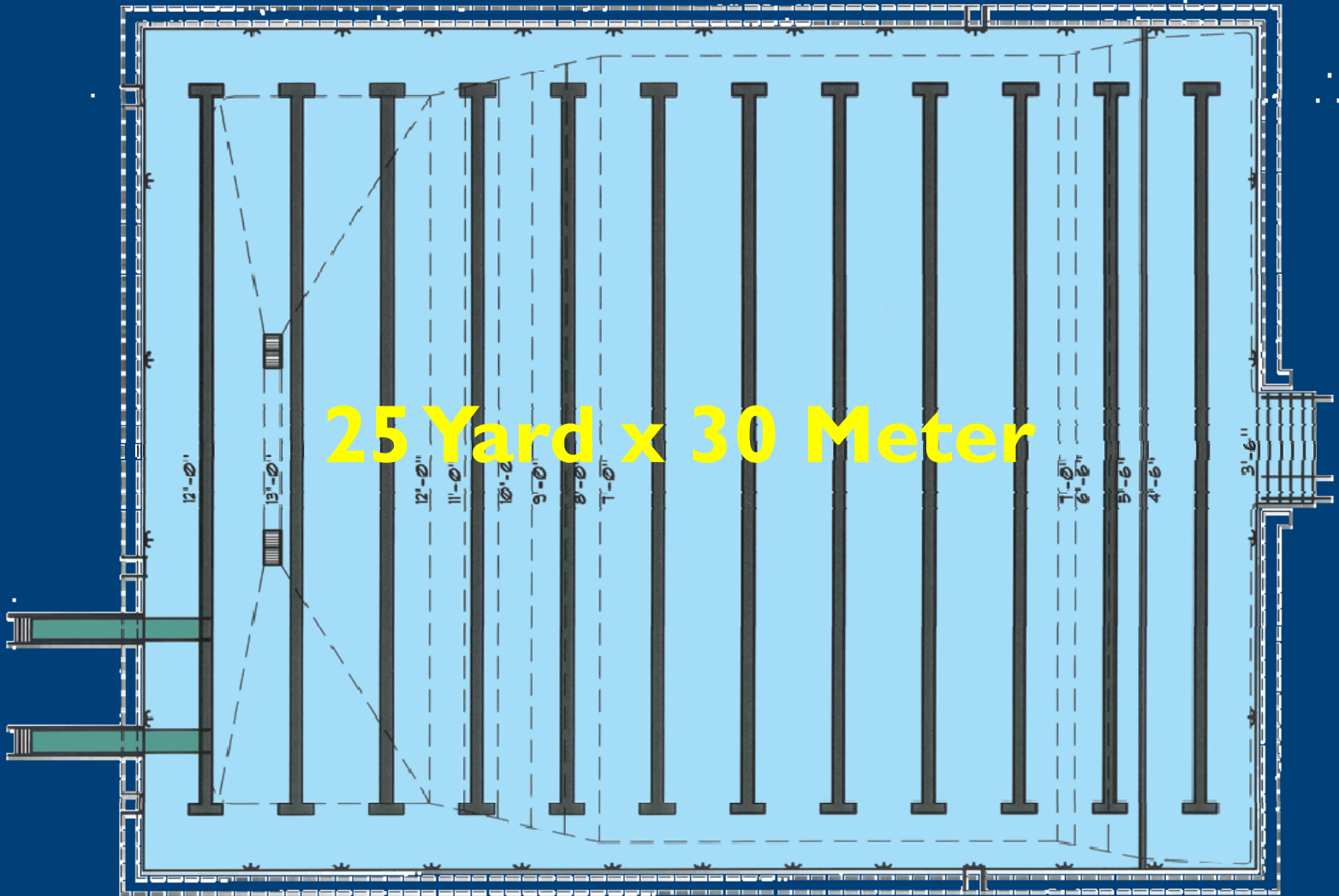
- Short Course (25 yard) Swimming
- Short Course (25 meter) Swimming
- Long Course (50 meter) Swimming
- Platform Diving
- Springboard Diving

Competitive Programs (cont'd)

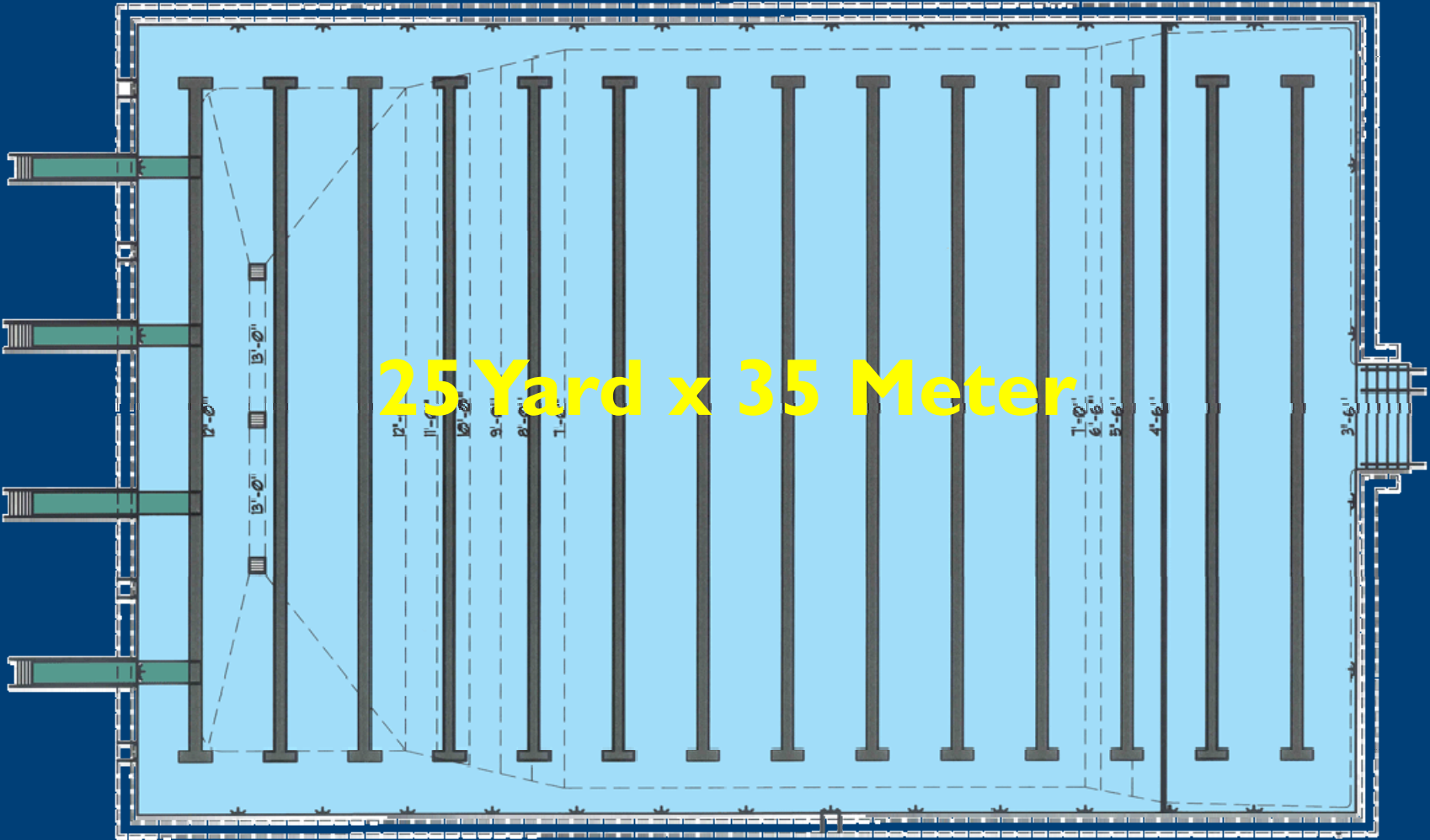
- Water Polo, U.S. Men's (30 meter)
- Water Polo, U.S. Women's (25 meter)
- Water Polo, NCAA, NFSHA (25 yard)
- Synchronized Swimming



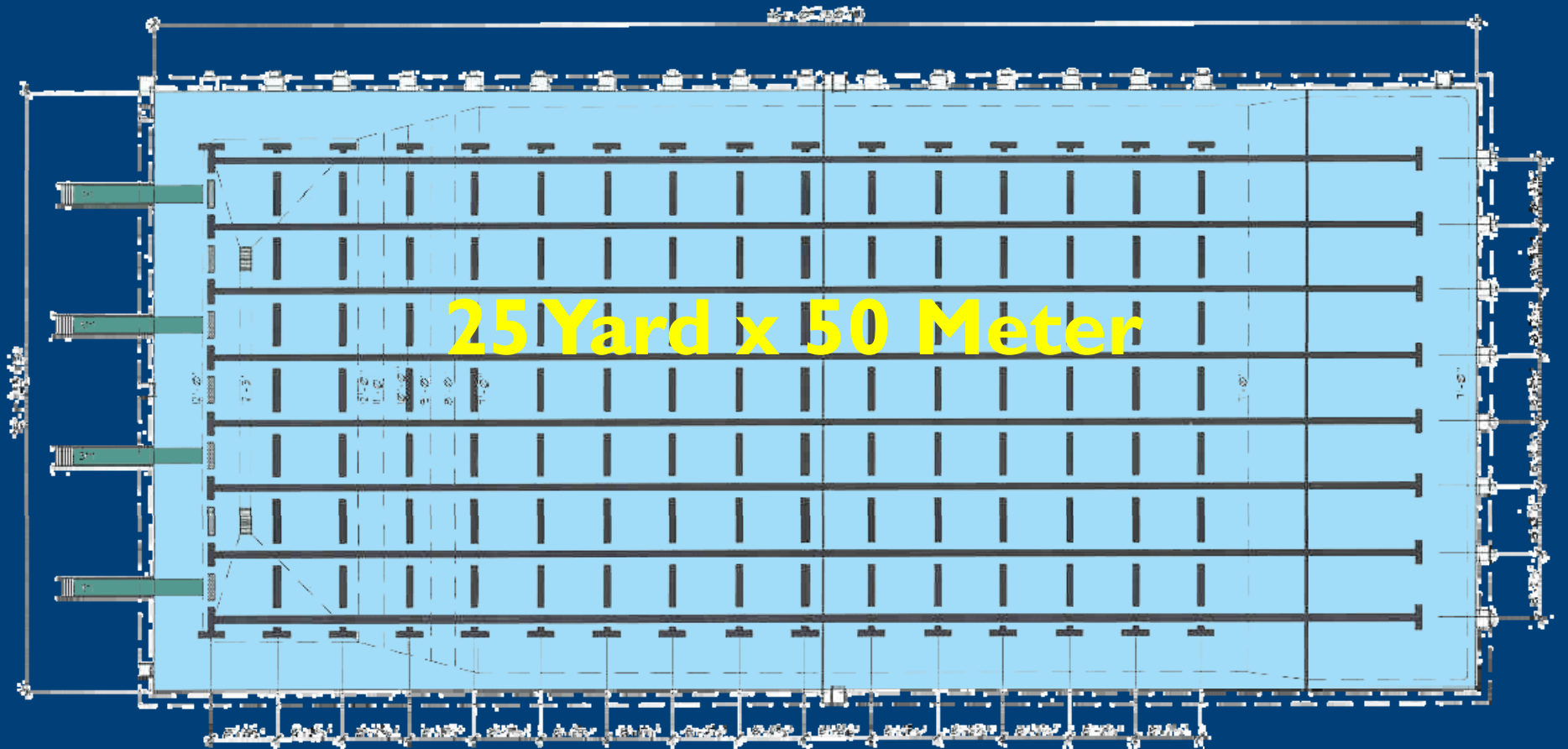
**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**

Instruction Programs

- Infant and Toddler
- Learn-to-Swim
- Age Group, Including Seniors
- Water Safety, Red Cross Certification
- Scuba Certification
- Disabled and Special Needs



Infant and Toddler Instruction

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Swim Lessons

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Age Group, Including Seniors

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Water Safety, Red Cross Certification

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Scuba Certification

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Disabled and Special Needs

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**

Recreation Programs

- Open Swimming and Diving
- Water Volleyball / Basketball
- Inner Tube Sports
- Kayaking
- Waterslide(s)
- Wet Playground(s)



Open Swimming and Diving

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Water Volleyball / Basketball

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Inner Tube Sports

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Kayaking

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Waterslides

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**



Wet Playgrounds

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #2**

Infrastructure

- Spectator Seating
- Timing System / Scoreboard
- Public Address System
- Overhead / Sports Lighting
- Classroom(s)

Infrastructure (cont'd)

- Fitness Room(s)
- Food Concession(s)
- Retail Concession(s)
- Lockers
- Family Change Room(s)

An outdoor swimming pool at night, illuminated by several tall stadium lights. The pool is filled with water and has lane lines. In the foreground, there are concrete steps leading down to the pool, flanked by grassy areas. The sky is dark blue, and a building is visible in the background.

QUESTIONS?



**Davis Community Pool
Feasibility Study
Community Meeting #3**

6:30 pm – 8:30 pm

Wednesday, May 23, 2012

Davis Senior Center, Multi-Purpose Room

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Meeting Outline

- Review of Survey Results
- Design Charrette
- Team Presentations
- Questions

Review of Survey Results

- ❑ Survey Produced by Survey Monkey
- ❑ Survey Dates: May 1 through May 17
- ❑ 742 Responses:
 - ❑ 535 Online
 - ❑ 207 at the Celebrate Davis Event
- ❑ 307 Comments

Competitive Programs

Category	Rating Average	Response Count	Skipped Question
Short Course 25 Yard	8.09	706	36
Short Course 25 Meter	7.53	698	44
Long Course 50 Meter	8.58	708	34
Platform Diving	6.14	701	41
Springboard Diving	6.29	697	45
Water Polo- USAWP Standard	7.48	705	37
Water Polo- NCAA / NFSHA	7.06	695	47
Synchronized Swimming	6.57	696	46

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #3**

Instructional Programs

Category	Rating Average	Response Count	Skipped Question
Infant and Toddler	6.37	709	33
Learn to Swim (All Ages)	7.20	716	26
Specialty Aquatic Classes	7.05	710	32
Water Safety Classes	7.41	711	31
Scuba Certification	5.19	713	29
Disabled and Special Needs	6.70	714	28

Recreation Programs

Category	Rating Average	Response Count	Skipped Question
Open Public Swimming	7.64	730	12
Open Public Diving	5.56	722	20
Lap Swimming	8.20	732	10
Water Oriented Youth Camps	7.44	727	15
Water Sports	5.95	722	20
Kayaking	4.12	719	23
Pool Rentals / Special Events	6.46	711	31
Waterslide(s)	5.35	716	26
Wet Playgroyunds	5.21	717	25
Lazy River	4.53	710	32

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #3**

Infrastructure

Category	Rating Average	Response Count	Skipped Question
Spectator Seating	8.22	706	36
Timing System / Scoreboard	8.13	708	34
Public Address System	7.89	702	40
Overhead Lighting	8.24	708	34
Classroom(s)	5.63	699	43
Fitness Room(s)	5.67	700	42
Food / Retail Concession(s)	6.47	705	37
Lockers	7.78	709	33
Family Change Room(s)	7.12	706	36
Shade Structures	8.90	713	29

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #3**

Design Charrette

- Produce Three (3) “Bubble” Diagrams:
 - Competition Only
 - Balance of Competition / Recreation
 - Recreation Only
- Three (3) Separate Groups
- Appoint Spokesperson for Each Group

Planning Guidelines

- ❑ Pools:
 - ❑ North – South Orientation for Diving and Water Polo
 - ❑ Shallow End Closest to Bathhouse
 - ❑ Separation of Competitors / Coaches / Officials from Spectators; Consider Spectator Seating When Locating Pools

Planning Guidelines (continued)

- Pool Decks:
 - 1:1 Ratio for Competition
 - 25' Width for Starting End and Diving End;
15' Width For All Other Sides
 - 20' Width Between Pools
 - 2:1 Ratio for Recreation
 - 20' Width for All Sides

Planning Guidelines (continued)

- ❑ Buildings:
 - ❑ Total Footprint = 50% of Water Surface Area
 - ❑ Rectilinear Configuration
 - ❑ 30' to 40' Building Depth
 - ❑ Access for Chemical Deliveries

Team Presentations

- Design Considerations
- Why We Did What We Did
- Pros and Cons of Design Scheme
- Why City Should Consider This Design Scheme

A photograph of an outdoor swimming pool at dusk or dawn. The pool is illuminated by several tall stadium lights, creating a bright glow against the dark sky. The pool is surrounded by a concrete deck and a grassy area. In the foreground, there are concrete steps leading down to the pool. The word "QUESTIONS?" is overlaid in large, bold, blue capital letters across the center of the image.

QUESTIONS?



**Davis Community Pool
Feasibility Study
Community Meeting #4**

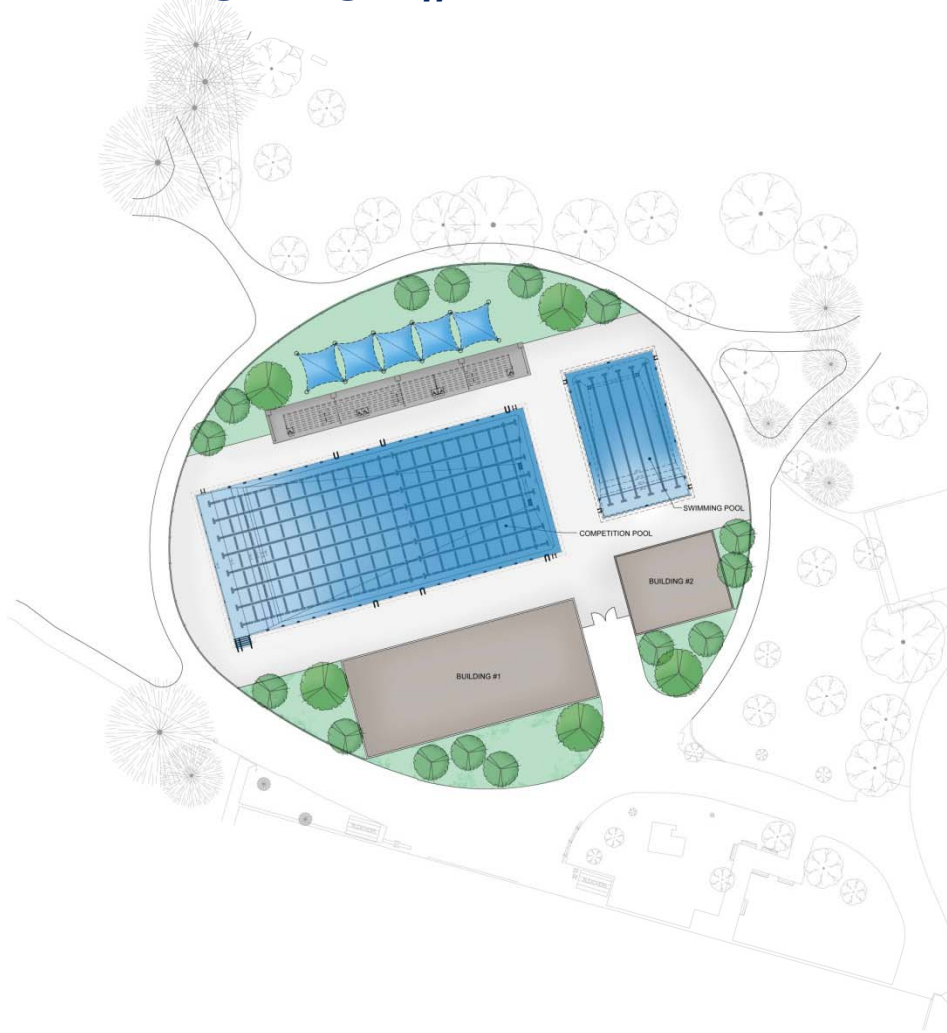
**6:30 pm – 8:00 pm
Wednesday, June 6, 2012
Davis Senior Center, Valente Room**

© 2011 Google

Meeting Outline

- Review of Site Plan Options
- Review of Preliminary Cost Estimates
- Discussion: Site Plan Revisions
- Questions

SITE PLAN OPTION #1



SITE	
TOTAL DECKS SURFACE AREA	= 19,258 SQ. FT.
TOTAL LANDSCAPE SURFACE AREA	= 14,231 SQ. FT.
TOTAL SITE SURFACE AREA	= 58,035 SQ. FT.
PERIMETER FENCE LENGTH	= 643 LINEAR FT.
BUILDINGS / STORAGE	
BUILDING #1	= 6,000 SQ. FT.
BUILDING #2	= 2,000 SQ. FT.
TOTAL BUILDING FOOTPRINT	= 8,000 SQ. FT.
POOLS / ATTRACTIONS	
COMPETITION POOL	= 12,826 SQ. FT.
SWIMMING POOL	= 3,379 SQ. FT.
TOTAL POOL SURFACE AREA	= 16,205 SQ. FT.



These drawings and specifications were prepared by Aquatic Design Group, Inc. for the project at Davis Community Pool. No part of these drawings or specifications shall be used for any other project without the written consent of Aquatic Design Group, Inc. All dimensions are in feet and inches. All dimensions are to the center of the object unless otherwise noted. Aquatic Design Group, Inc. is not responsible for any errors or omissions.

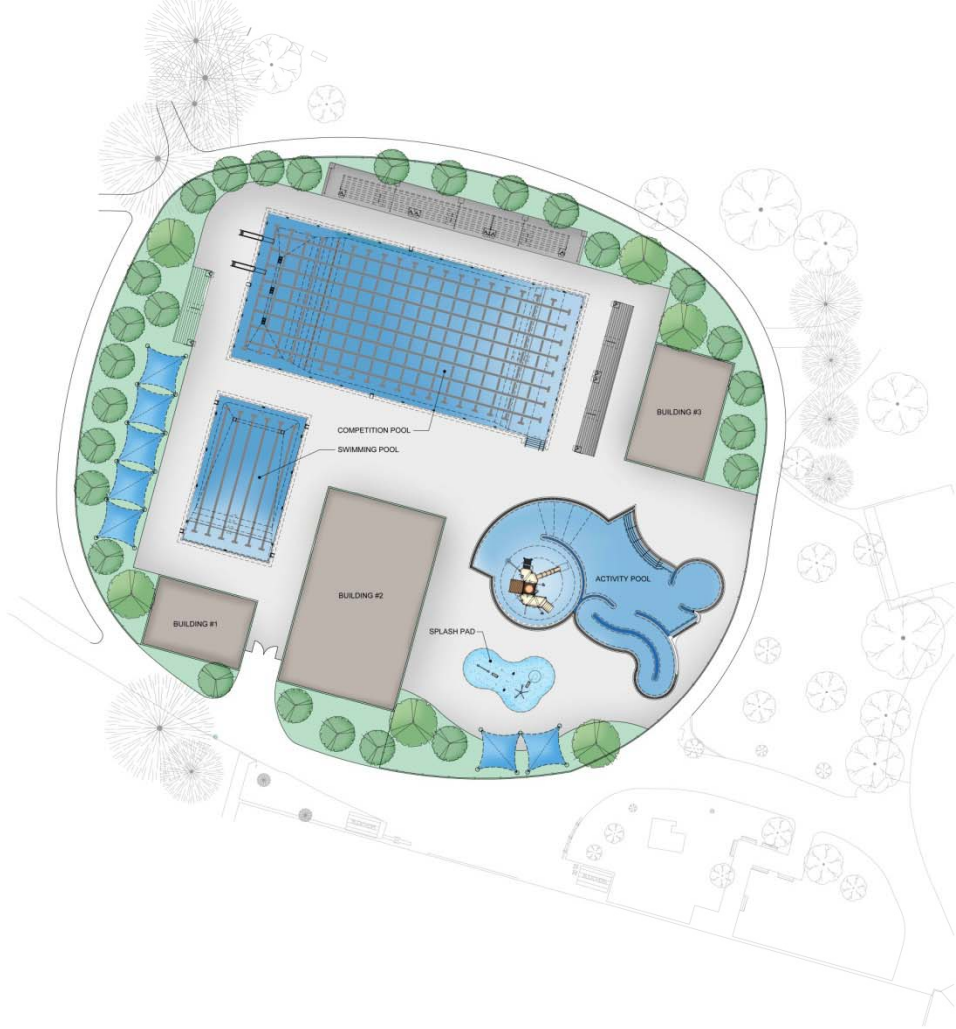
DATE:	DATE:	DATE:	DATE:
DRAWING TITLE:	SCALE:	NO.:	REVISION:
SITE PLAN OPTION #1			
JOB FILE:			
DAVIS COMMUNITY POOL			
314 EAST 10TH STREET			
DAVIS, CA 95616			
DRAWN BY:			
JSP			

DRAWING NO.:
SP-1

SITE PLAN OPTION #1 1" = 20'-0"

DAVIS COMMUNITY POOL FEASIBILITY STUDY COMMUNITY MEETING #4

SITE PLAN OPTION #2



SITE	
TOTAL DECKS SURFACE AREA	= 30,558 SQ. FT.
TOTAL LANDSCAPE SURFACE AREA	= 19,249 SQ. FT.
TOTAL SITE SURFACE AREA	= 87,245 SQ. FT.
PERIMETER FENCE LENGTH	= 952 LINEAR FT.
BUILDINGS / STORAGE	
BUILDING #1	= 1,750 SQ. FT.
BUILDING #2	= 6,000 SQ. FT.
BUILDING #3	= 2,400 SQ. FT.
TOTAL BUILDING FOOTPRINT	= 10,150 SQ. FT.
POOLS / ATTRACTIONS	
COMPETITION POOL	= 12,373 SQ. FT.
SWIMMING POOL	= 3,379 SQ. FT.
ACTIVITY POOL	= 6,655 SQ. FT.
SPLASH PAD	= 921 SQ. FT.
TOTAL POOL SURFACE AREA	= 22,728 SQ. FT.



These drawings and specifications were prepared by Aquatic Design Group, Inc. for the project at Davis Community Pool. No representation is made by Aquatic Design Group, Inc. that the drawings and specifications conform to the requirements of the Davis Community Pool. The drawings and specifications are the property of Aquatic Design Group, Inc. and shall not be used for any other project without the written consent of Aquatic Design Group, Inc.

DATE: 04/10/2021	DRAWING TITLE: SITE PLAN OPTION #2
SCALE: 1" = 20'-0"	JOB FILE: DAVIS COMMUNITY POOL
DRAWN BY: JDB/SUNSHINE	314 EAST 10TH STREET DAVIS, CA 95616
APP:	

DRAWING NO.: **SP-2**

SITE PLAN OPTION #2 1" = 20'-0"

DAVIS COMMUNITY POOL FEASIBILITY STUDY COMMUNITY MEETING #4

SITE PLAN OPTION #3



SITE	
TOTAL DECKS SURFACE AREA	= 40,553 SQ. FT.
TOTAL LANDSCAPE SURFACE AREA	= 6,900 SQ. FT.
TOTAL SITE SURFACE AREA	= 93,760 SQ. FT.
PERIMETER FENCE LENGTH	= 836 LINEAR FT.
BUILDINGS / STORAGE	
BUILDING #1	= 10,200 SQ. FT.
TOTAL BUILDING FOOTPRINT	= 10,200 SQ. FT.
POOLS / ATTRACTIONS	
LAZY RIVER	= 10,672 SQ. FT.
ACTIVITY POOL	= 3,363 SQ. FT.
RECEIVING POOL	= 1,088 SQ. FT.
SWIMMING POOL	= 3,379 SQ. FT.
SPLASH PAD	= 1,963 SQ. FT.
TOTAL POOL SURFACE AREA	= 20,465 SQ. FT.



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DATE:	10/20/16
DRAWING TITLE:	SITE PLAN OPTION #3
SCALE:	AS SHOWN
JOB FILE:	DAVIS COMMUNITY POOL
DRAWN BY:	JOB NUMBER:
314 EAST 10TH STREET DANIS, CA 95916	

DRAWING NO.:
SP-3

SITE PLAN OPTION #3 1" = 20'-0"

DAVIS COMMUNITY POOL FEASIBILITY STUDY COMMUNITY MEETING #4

Cost Estimate: Option #1

Site Work	\$677,067
Site Utilities	\$179,000
Buildings	\$2,260,000
Swimming Pools	\$2,673,000
Total Hard Costs	\$5,789,892
Design Contingency- 5%	\$289,495
Construction Contingency- 10%	\$607,939
A&E Fees- 10%	\$607,939
Soft Costs- 15%	\$911,908
GRAND TOTAL	\$8,207,172

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #4**

Cost Estimate: Option #2

Site Work	\$900,233
Site Utilities	\$179,000
Buildings	\$2,867,500
Swimming Pools	\$3,888,955
Total Hard Costs	\$7,835,688
Design Contingency- 5%	\$391,784
Construction Contingency- 10%	\$822,747
A&E Fees- 10%	\$822,747
Soft Costs- 15%	\$1,234,121
GRAND TOTAL	\$11,107,088

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #4**

Cost Estimate: Option #3

Site Work	\$931,755
Site Utilities	\$179,000
Buildings	\$2,550,000
Swimming Pools	\$3,784,010
Total Hard Costs	\$7,444,765
Design Contingency- 5%	\$372,238
Construction Contingency- 10%	\$781,700
A&E Fees- 10%	\$781,700
Soft Costs- 15%	\$1,172,550
GRAND TOTAL	\$10,552,954

**DAVIS COMMUNITY POOL FEASIBILITY STUDY
COMMUNITY MEETING #4**

Discussion: Site Plan Revisions

- Reduce pool scope
- As pools reduce in size, so do buildings
- Consider retaining existing spectator seating
- Keep all Site Plan Options in the range of \$6-\$8 million total development costs, preferably on the low side

An outdoor swimming pool at night, illuminated by several tall stadium lights. The pool is filled with water and has lane lines. In the foreground, there are concrete steps leading down to the pool, flanked by grassy areas. The sky is dark, and the overall scene is dimly lit by the artificial lights.

QUESTIONS?

APPENDIX 3

COMMUNITY SURVEY

Design Program Questionnaire - Davis Community Pool Feasibility Study

The City of Davis shall support the following competitive programs at Community Pool (please score from 1-10, with 10 being the highest possible score, showing the greatest support):

1. Short Course (25 yard) Swimming

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

2. Short Course (25 meter) Swimming

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

3. Long Course (50 meter) Swimming

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

4. Platform Diving (5, 7-1/2, and 10 meter)

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

5. Springboard Diving (1 and 3 meter)

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

6. Water Polo (U.S. 30 meter men's 25 meter women's)

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

7. Water Polo (N.C.A.A. / N.F.S.H.A. - 66' x 75')

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

8. Synchronized Swimming

	1	2	3	4	5	6	7	8	9	10
1-10 (10 showing the greatest support)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

The City of Davis shall incorporate the following infrastructure at Community Pool:

Design Program Questionnaire - Davis Community Pool Feasibility Study

Miscellaneous comments- Use the space below to address any items not covered in the questionnaire (i.e., special programs, facilities, etc) that you would like to have considered in the design process by the Aquatic Design Group consultants.

1. Comments:

2. Optional: If you would like to provide your contact information below, you will be entered in a drawing to win a free Ipad, donated by the Aquatic Design Group, as our way of thanking you for taking the time to complete this survey. Winners will be announced in early June 2012.

Name:

Address:

Address 2:

City / Town:

State:

ZIP:

E-mail Address:

Phone Number:

1. Open Public Swimming

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	8.2% (60)	3.6% (26)	3.0% (22)	2.7% (20)	6.8% (50)	4.8% (35)	6.0% (44)	8.8% (64)	7.0% (51)	49.0% (358)	7.64	730
answered question												730
skipped question												12

2. Open Public Diving

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	15.9% (115)	6.9% (50)	8.6% (62)	6.1% (44)	14.5% (105)	7.3% (53)	8.4% (61)	8.6% (62)	4.4% (32)	19.1% (138)	5.56	722
answered question												722
skipped question												20

3. Lap Swimming

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	4.0% (29)	2.0% (15)	2.2% (16)	2.3% (17)	6.6% (48)	4.1% (30)	6.4% (47)	10.0% (73)	10.1% (74)	52.3% (383)	8.20	732
answered question												732
skipped question												10

4. Water Oriented Youth Camps

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	7.8% (57)	3.2% (23)	4.3% (31)	2.3% (17)	7.7% (56)	4.0% (29)	9.4% (68)	11.4% (83)	10.9% (79)	39.1% (284)	7.44	727
answered question												727
skipped question												15

5. Water Sports - Volleyball/Basketball/Innertube Sports

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	15.5% (112)	8.0% (58)	6.1% (44)	4.6% (33)	11.5% (83)	7.2% (52)	6.2% (45)	9.4% (68)	7.1% (51)	24.4% (176)	5.95	722
											answered question	722
											skipped question	20

6. Kayaking

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	34.9% (251)	8.5% (61)	8.2% (59)	6.0% (43)	11.7% (84)	5.4% (39)	5.6% (40)	6.3% (45)	2.9% (21)	10.6% (76)	4.12	719
											answered question	719
											skipped question	23

7. Pool Rentals/Special Event Space

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	12.0% (85)	4.5% (32)	5.8% (41)	5.1% (36)	11.7% (83)	6.9% (49)	8.3% (59)	11.1% (79)	6.8% (48)	28.0% (199)	6.46	711
answered question											711	
skipped question											31	

8. Waterslide(s)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	26.7% (191)	6.3% (45)	6.0% (43)	4.1% (29)	9.8% (70)	4.3% (31)	5.0% (36)	9.9% (71)	7.0% (50)	20.9% (150)	5.35	716
answered question											716	
skipped question											26	

9. Wet Playground/Sprayground(s)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	26.4% (189)	7.8% (56)	5.3% (38)	4.9% (35)	9.5% (68)	6.3% (45)	6.6% (47)	7.3% (52)	6.7% (48)	19.4% (139)	5.21	717
answered question												717
skipped question												25

10. Lazy River

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	36.1% (256)	8.6% (61)	5.9% (42)	2.5% (18)	9.3% (66)	3.8% (27)	5.5% (39)	6.9% (49)	5.4% (38)	16.1% (114)	4.53	710
answered question												710
skipped question												32

11. Infant and Toddler Lessons

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	15.0% (106)	5.4% (38)	5.2% (37)	5.1% (36)	9.9% (70)	5.9% (42)	8.2% (58)	8.0% (57)	4.7% (33)	32.7% (232)	6.37	709
answered question												709
skipped question												33

12. Learn to Swim - Lessons for all ages

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	10.9% (78)	2.9% (21)	3.5% (25)	3.1% (22)	8.2% (59)	4.9% (35)	9.9% (71)	8.9% (64)	6.8% (49)	40.8% (292)	7.20	716
answered question												716
skipped question												26

13. Specialty Aquatic Classes (age specific - including seniors)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	8.5% (60)	3.8% (27)	3.5% (25)	5.2% (37)	9.9% (70)	6.9% (49)	8.7% (62)	11.3% (80)	7.2% (51)	35.1% (249)	7.05	710
answered question											710	
skipped question											32	

14. Water Safety Classes - American Red Cross Certification

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	7.5% (53)	2.1% (15)	2.5% (18)	3.8% (27)	10.1% (72)	5.9% (42)	9.7% (69)	11.4% (81)	8.0% (57)	39.0% (277)	7.41	711
answered question											711	
skipped question											31	

15. Scuba Certification

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	20.6% (147)	7.9% (56)	6.5% (46)	5.6% (40)	15.6% (111)	7.7% (55)	7.9% (56)	8.3% (59)	4.8% (34)	15.3% (109)	5.19	713
answered question												713
skipped question												29

16. Disabled and Special Needs

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	9.7% (69)	3.4% (24)	5.0% (36)	2.9% (21)	15.0% (107)	7.8% (56)	9.1% (65)	11.6% (83)	5.9% (42)	29.6% (211)	6.70	714
answered question												714
skipped question												28

17. Short Course (25 yard) Swimming

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	5.5% (39)	0.8% (6)	2.5% (18)	1.7% (12)	8.8% (62)	3.5% (25)	6.9% (49)	9.3% (66)	9.2% (65)	51.6% (364)	8.09	706
answered question												706
skipped question												36

18. Short Course (25 meter) Swimming

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	8.2% (57)	1.6% (11)	3.7% (26)	2.4% (17)	9.6% (67)	4.6% (32)	7.9% (55)	11.0% (77)	8.5% (59)	42.6% (297)	7.53	698
answered question												698
skipped question												44

19. Long Course (50 meter) Swimming

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	3.8% (27)	0.7% (5)	1.7% (12)	1.7% (12)	5.9% (42)	3.4% (24)	5.4% (38)	7.6% (54)	5.6% (40)	64.1% (454)	8.58	708
answered question											708	
skipped question											34	

20. Platform Diving (5,7-1/2, and 10 meter)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	14.0% (98)	5.0% (35)	4.4% (31)	4.4% (31)	14.4% (101)	7.8% (55)	9.8% (69)	11.6% (81)	6.6% (46)	22.0% (154)	6.14	701
answered question											701	
skipped question											41	

21. Springboard Diving (1 and 3 meter)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	11.5% (80)	5.0% (35)	4.2% (29)	4.7% (33)	15.2% (106)	9.8% (68)	8.9% (62)	10.9% (76)	6.6% (46)	23.2% (162)	6.29	697
answered question												697
skipped question												45

22. Water Polo, U.S. (30 meter men's, 25 meter women's course)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	6.5% (46)	1.7% (12)	3.3% (23)	2.8% (20)	11.1% (78)	5.5% (39)	9.6% (68)	12.6% (89)	8.2% (58)	38.6% (272)	7.48	705
answered question												705
skipped question												37

23. Water Polo, N.C.A.A./N.F.S.S. (66' X 75')

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	8.6% (60)	1.7% (12)	3.5% (24)	4.7% (33)	14.2% (99)	5.3% (37)	8.8% (61)	11.2% (78)	8.6% (60)	33.2% (231)	7.06	695
answered question											695	
skipped question											47	

24. Synchronized Swimming

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	11.6% (81)	3.4% (24)	4.3% (30)	5.0% (35)	14.7% (102)	6.3% (44)	8.0% (56)	11.1% (77)	5.3% (37)	30.2% (210)	6.57	696
answered question											696	
skipped question											46	

25. Spectator Seating

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	3.0% (21)	0.8% (6)	2.3% (16)	2.3% (16)	7.1% (50)	5.1% (36)	7.9% (56)	13.2% (93)	9.5% (67)	48.9% (345)	8.22	706
											answered question	706
											skipped question	36

26. Timing System/Scoreboard

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	4.8% (34)	1.4% (10)	2.1% (15)	2.0% (14)	6.8% (48)	4.7% (33)	8.3% (59)	9.6% (68)	8.9% (63)	51.4% (364)	8.13	708
											answered question	708
											skipped question	34

27. Public Address System

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	4.4% (31)	1.9% (13)	2.3% (16)	2.4% (17)	10.1% (71)	4.8% (34)	8.1% (57)	11.1% (78)	9.0% (63)	45.9% (322)	7.89	702
answered question												702
skipped question												40

28. Overhead Lighting

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	3.2% (23)	1.3% (9)	2.4% (17)	2.5% (18)	5.5% (39)	5.6% (40)	5.9% (42)	12.1% (86)	12.0% (85)	49.3% (349)	8.24	708
answered question												708
skipped question												34

29. Classroom(s)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	13.6% (95)	5.4% (38)	8.0% (56)	6.0% (42)	17.2% (120)	8.7% (61)	10.3% (72)	10.9% (76)	6.2% (43)	13.7% (96)	5.63	699
answered question												699
skipped question												43

30. Fitness Room(s)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	15.0% (105)	6.3% (44)	7.0% (49)	7.3% (51)	16.3% (114)	6.3% (44)	6.6% (46)	11.3% (79)	6.3% (44)	17.7% (124)	5.67	700
answered question												700
skipped question												42

31. Food/Retail Concession(s)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	10.2% (72)	4.1% (29)	5.0% (35)	4.8% (34)	13.8% (97)	7.2% (51)	10.9% (77)	14.3% (101)	5.5% (39)	24.1% (170)	6.47	705
											answered question	705
											skipped question	37

32. Lockers

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	4.5% (32)	1.8% (13)	2.5% (18)	2.7% (19)	9.2% (65)	5.9% (42)	9.7% (69)	13.0% (92)	7.8% (55)	42.9% (304)	7.78	709
											answered question	709
											skipped question	33

33. Family Change Room(s)

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	7.4% (52)	2.0% (14)	3.5% (25)	3.8% (27)	13.3% (94)	6.8% (48)	9.5% (67)	13.7% (97)	8.6% (61)	31.3% (221)	7.12	706
											answered question	706
											skipped question	36




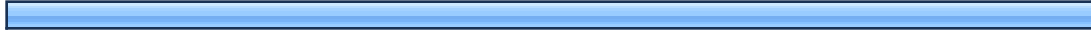




34. Shade Structures

	1	2	3	4	5	6	7	8	9	10	Rating Average	Response Count
1-10 (10 showing the greatest support)	1.3% (9)	0.7% (5)	0.7% (5)	0.4% (3)	4.2% (30)	2.7% (19)	5.3% (38)	14.0% (100)	9.4% (67)	61.3% (437)	8.90	713
											answered question	713
											skipped question	29

35. Comments:

	Response Count
	306
answered question	306
skipped question	436

36. Contest Drawing Information

		Response Percent	Response Count
Name:		99.4%	502
Address:		94.1%	475
Address 2:		3.8%	19
City/Town:		94.9%	479
State:		94.9%	479
ZIP:		93.7%	473
Email Address:		91.7%	463
Phone Number:		87.5%	442
		answered question	505
		skipped question	237

Comments:

	Response Count
	306
answered question	306
skipped question	436

Page 6, Q1. Comments:

1	Davis is HOT - we are not all wealthy enough to have our own backyard pool. We need community cooling off resources with available shade.	May 18, 2012 3:43 PM
2	Build a pool in South Davis as promised in 1973	May 18, 2012 3:36 PM
3	Heated/Indoor pool for winter use	May 18, 2012 2:59 PM
4	All good ideas to some extent	May 18, 2012 2:55 PM
5	good ideas!	May 18, 2012 2:50 PM
6	Our aquatic programs are in need of a decent facility. None of the pools in Davis can accomodate swim meets or other large events. Existing pools should be converted to recreation only and a facility sound be devoted solely for aquatic events (Competition, practices for swimming, waterpolo, synchronized swimming, etc) or they should use Community Pool. From my experience attending swim meets in Folsom, Roseville, Redding much business is brought into town by the hundreds of families that attend. It is a win-win situation for the teams, the community and the city. Build an Aquatic Training and Competition Facility.	May 18, 2012 2:47 PM
7	shade structures are important! more yoga	May 18, 2012 2:41 PM
8	community yoga or meditation centers - please**	May 18, 2012 2:39 PM
9	My daughter had lessons at Manor Pool from age 4-12 yrs. She learned so much and loves swimming. Now she is on the Davis Waterpolo Club team. The lessons there were great!	May 18, 2012 2:36 PM
10	Now do it!	May 18, 2012 2:31 PM
11	Lessons specifically for women. No men	May 18, 2012 2:24 PM
12	We need an aquatics complex. I fully support al aquatics programs!	May 18, 2012 1:25 PM
13	Shade structures	May 18, 2012 1:23 PM
14	strong support of all aquatic programs - would hate to see any pool closed	May 18, 2012 1:16 PM
15	Dog Swimming area	May 18, 2012 12:59 PM
16	We need more lap swim time without being bothered by sports and kids jumping on our heads!	May 18, 2012 12:54 PM

Page 6, Q1. Comments:

17	Shade, especially at Arroyo pool is inadequate. I prefer shade trees to structures	May 18, 2012 12:52 PM
18	It might be a good idea to use the space for a water park.	May 18, 2012 12:45 PM
19	What a great idea!	May 18, 2012 12:42 PM
20	Swimming lessons are a big hit. I have children and I would like if a pool center had lessons	May 18, 2012 12:33 PM
21	More grass area	May 18, 2012 12:29 PM
22	Need more pools! for people to swim in! should consolidate some of the smaller ones into a centra pool area place	May 18, 2012 12:24 PM
23	Shade	May 18, 2012 12:16 PM
24	More summer lap hours	May 18, 2012 11:57 AM
25	everything is good	May 18, 2012 11:44 AM
26	Our town would benefit having a long course pool	May 18, 2012 11:42 AM
27	Great for Davis people - hoorah!!	May 18, 2012 11:37 AM
28	Love the ideas but not sure I want to pay for all of them!	May 18, 2012 11:17 AM
29	Great program - we used lots throughout the years with our 3 kids.	May 18, 2012 11:14 AM
30	This is a bit ridiculous as a 'survey" - if you support any aspect of these amenities, you have to support all of it. Not very good for fact finding...	May 18, 2012 11:12 AM
31	Priority to general public use - extras if can fund (self or grants), swim lessons**	May 18, 2012 10:55 AM
32	Flooring surrounding pool - cool to feet - prevents running accidents! Need Shade	May 18, 2012 10:50 AM
33	Needs parking	May 18, 2012 10:46 AM
34	Must be dark sky friendly - stop light pollution!! Design any lighting system to conform to Davis' dark sky ordinance and standards from the International Dark Sky Association. Prevent light pollution before it happens! Any sound system should not be as loud as DHS stadium and their lights are examples of how NOT TO DO IT.	May 18, 2012 10:42 AM

Page 6, Q1. Comments:

35	We are neighbors. Please respect us when you use PA and lights. Consider IDA light design guidelines	May 18, 2012 10:38 AM
36	Lots of shade structures!!!	May 18, 2012 10:36 AM
37	Keep open for lap swim all year	May 18, 2012 10:34 AM
38	Thank you	May 18, 2012 10:32 AM
39	We need a pool for competitive swim meets for all levels.	May 18, 2012 10:27 AM
40	We want to use and have a great swimming pool (50m) are with lots of shade for swim meets in Davis!!	May 18, 2012 10:25 AM
41	Need lap pool for competition swimming	May 18, 2012 10:15 AM
42	I enjoy myself at Davis pools	May 18, 2012 10:00 AM
43	Affordable monthly passes for mid-income people	May 18, 2012 9:55 AM
44	We love the pools and programs that the City offers. I would love to see a pool in south Davis.	May 18, 2012 9:51 AM
45	We want to keep teh community pool open!	May 18, 2012 9:43 AM
46	Triatholon Events	May 18, 2012 9:38 AM
47	It would be nice to have one	May 18, 2012 9:34 AM
48	Food/retail concessions - only if healthy and goes to community Adult classes and adult swim times would be nice (evenings and w/ends)	May 18, 2012 9:07 AM
49	Bathrooms for everyone...Clean and safe!!	May 18, 2012 9:03 AM
50	Water sports/activities have always been important to our family. We have been residents of Davis for 30+ years. We believe that access to quality water sports has made Davis a highly desirable family oriented community.	May 17, 2012 2:31 PM
51	Water Quality: Fitness/competitive swimming requires water temperatures not in excess of 79 degrees. Many of us who swim fitness also swam competitively in high school/college before the effects of chlorine were known, without goggles. Now we are sensitive to high levels of chlorine. Very important to avoid high chlorine levels associated with public swim areas. public swim and fitness/competitive swim pools should be separated and water quality managed differently. There	May 17, 2012 6:31 AM

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is not the need for high chlorine levels associated with public swim in pools managed for comp./fitness swimming. The borine/salt pool at U.C. Schall is our preferred swim area for this reason. We are currently experiencing cloudy water conditions due to poor maintenance procedures in Davis pools. The fitness/ competitive aquatics community feels there is much room for improvement in the staffing/ maintenance procedures, not just the equipment. Access: As the population of fitness/comp swimmers in Davis ages we are noticing more and more swimmers who have problems with entry/egress when they swim. There are days , after a strenuous swim, when a ladder for egress is very much appreciated, especially in a high wall pool. Obviously, competitive swimmers need starting blocks. The anti slip runners used at Civic pool are avoided by most swimmers who walk around them because they are very rough on the feet. Current locker rooms are very crowded when thirty swimmers exit the pool simultaneously. The benches, which are needed by older swimmers, are placed too close to the lockers. So more space, more shower heads are needed. The number of comp./fitness swimmers is growing exponentially and everything from swim lanes to locker space is currently stressed to the limit, making the program less attractive to potential swimmers who could benefit from the experience. Parking: many swimmers also exercise by riding their bicycles to and from workouts. Ample bicycle parking, not just vehicle parking, should be a priority. The civic center pool parking lot currently has approximately 30 empty employee parking spaces and a dearth of visitor spaces when I swim 10:00 am and 11:00 am workouts. Very poor logistical planning.

52	I strongly support the incorporation of alternative energy into the design of the complex such as microturbine or fuel cell cogeneration, solar thermal, and photovoltaic panels. Make this a facility that we can be proud of on all levels.	May 16, 2012 4:50 PM
53	If a new pool is designed I would like to see the needs of the city's children given priority as far as the design and usage.	May 16, 2012 4:38 PM
54	It would be great if the AquaMonsters swim team also had the ability to use the facility, if needed by the team. If the facility is available for swim meets/water polo matches, etc, then I think having covered spectator seating/bleachers would be fantastic. Even something portable or removable would be great. Thank you.	May 16, 2012 4:16 PM
55	Davis is an organized swim town. Teams need a place to practice and hold meets. Community is the perfect place for such events.	May 16, 2012 4:11 PM
56	Since this is a city facility there needs to be more openness regarding pool availability to user groups. There currently is a monopoly in town with DAM and Aquadarts in pool space. This is not a fair use policy.	May 16, 2012 3:59 PM
57	More pools please!	May 16, 2012 3:39 PM
58	Plan for the Long Term. The complex will be there for decades. It will serve at any one time generations of Davis citizens, from the very young to mature. I can't think of anything that competes with (well coached) swimming activities that build high spirit and a sense of well being through a life. The complex will be a bargain by any standard of measurement. Signed, A DAM member since the beginning, about 38 years ago.	May 16, 2012 3:39 PM

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59	Kids triathlon, masters swimming	May 16, 2012 3:25 PM
60	We need more room in the pools which are used by the high school, Aquadarts, and Masters groups. It is ridiculous that the high school groups need to split into two groups. The Masters and Aquadarts have too many swimmers to fit into their workouts. Arroyo and Manor pools are already available for public fun use, we need more space devoted to the year-round swimmers!	May 16, 2012 3:24 PM
61	It would be nice to have a city pool open in the morning. All pools open at 1 pm, which is the hottest part of the day and worst time to be in the sun.	May 16, 2012 3:17 PM
62	I think we should try to build a pool that would encompass as many of the sports and specific activities as we can. Having a community that thrives on recreational diversity is a hallmark of Davis.	May 16, 2012 3:16 PM
63	A competition pool for swimming and water polo would be a tremendous benefit to the City and could be a driver for economic growth. My family would be very much in support of a 50 meter x 25 yard competition pool.	May 16, 2012 3:03 PM
64	Davis is a swimming community, home to one of the largest and best adult swimming programs, Davis Aquatic Masters, as well as not one but two fantastic childrens' swim teams - the Davis AquaMonsters and the AquaDarts. All three of these programs swim year round and swim competitively with other city teams year round. While we have several wonderful summer pools for the community (Arroyo, Manor, UCDavis Rec Pool to name a few), there are not many pools where these Davis swim teams can compete (Schaal, when available, is prohibitively expensive to rent) and Arroyo (too small a venue for competitions, with poor parking and very little shade available.) Davis genuinely needs a competition 50 meter pool, with a PA system, digital time board, stands with shade, a snack bar and locker rooms with showers. The revenue that we would generate from renting this out for year round competitions would be remarkable.	May 16, 2012 2:59 PM
65	The pools already in Davis are great for little kids. There are a lot of specific activities that need bigger, deeper pools. Competitive swimming needs deeper water than 4 feet.	May 16, 2012 2:42 PM
66	I would like to see something similar to Frankfurt's Rebstockbad: http://www.bbf-frankfurt.de/Pdf/Rebstockflyer.pdf	May 16, 2012 2:40 PM
67	We desperately need a large pool that can house swimming and water polo events. There is no adequate space right now where water polo can hold events or swim team host meets. Arroyo is just too small.	May 16, 2012 2:32 PM
68	I grew up in the Sacramento area and swam and played water polo against Davis High School. I attended UCD and swam for them. I now run the aquatics facility at UCD. To me, Davis has always had a great tradition of competitive aquatics program. It's a shame to to that they do not have a pool that matches the standards they hold for their teams. A 50 meter pool would not only increase the local teams' ability to practices efficiently, but could also be used to hose large scale events which would not only bring money into the facility, but the local hotels, restaurants and other vendors as	May 16, 2012 2:21 PM

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well.

69	Davis needs a world class Aquatics Facility that can host events like swim meets and waterpolo tournaments. A 50 meter pool with a movable bulkhead is a must.	May 16, 2012 2:21 PM
70	50M pool will allow Davis to host many events that we would not be able to.	May 16, 2012 2:16 PM
71	The location of Community is key. I enjoy the other city pools but they are on the periphery of Davis; Community Pool (& park) is central and as such is a key gathering spot in Davis. I would love to see it revived, in any way, for public access. I would assume it is also important for the High School. That being said, I also hope there is a lot of collaboration with UCD/Schaal and other private organization and the communal use of pools in Davis that suit the needs of the community (whether it be water polo, kayaking, water sports innertube, basketball, etc), or lap swimming. Thanks for taking interest in what the community has to say re: this matter.	May 16, 2012 2:11 PM
72	hope the city pool can have longer hours for lap swimmers, so people who work can have a chance to swim for evening exercise. right now, they close too early!	May 16, 2012 12:56 PM
73	strongly want a pool that fully supports organized lap swimming programs	May 16, 2012 12:43 PM
74	I think it is important to have a deep water pool that can make Davis a very diverse water community. Lap swimming, swimming lessons and recreational swimming can be accomodated in Manor and Arroyo Pools. Davis needs a deep pool for diving, synchronized swimming, water polo and SCUBA lessons.	May 16, 2012 12:22 PM
75	The wording of the question was weird. Strange survey. Why didn't you just ask what things would you like to see the community pool be used for?	May 16, 2012 12:22 PM
76	I believe our town needs to be support the use of all our pool facilities. It would be fantastic if the community pool, being central to the city, is designated for us for swim lessons, teams, sports and certifications, as well as rentals for parties. I would also like to suggest that our other two main pools, Manor & Arroyo have better hours for families. Closing the pool for 2 or 3 hours, during prime swim times (5-7) or closing down at 5/6 for the day has kept many of us from buying yearly swim passes or many times even getting the energy to go. When I was a child the pool opened at 12 noon and closed at 9pm at night. All swim lessons were in the morning 6 days a week. This was one pool for a city of 75K people. Every parent bought a pass for their family to enjoy, and the dads would come straight from work and we'd all have sandwiches for lunch. I truly believe you would have more money for your facilities if at least one pool offered this type of service. Pool times of 1 -5 are too restrictive in use for most of us to even bother to go.	May 16, 2012 11:28 AM
77	It appears that most aquatic sports require at least a rectangular pool that is at least 25 meters long and 9 feet deep. Please make this a priority.	May 16, 2012 11:24 AM

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78	Northern CA is a swim center for the US, Davis in particular. It is surprising that there is NOT currently a regulation (50 meter, dive well, polo) facility to attract national events. Congratulations for starting the process. It could be a wonderful venue to attract national attention and continue to support the multiple nationally ranked water sport groups in this community.	May 16, 2012 11:13 AM
79	Davis really needs a competitive pool for that will serve the strong aquatic community. It would be great if the configuration would work to include water polo as well.	May 16, 2012 11:08 AM
80	The pool needs to be deep enough for synchronize swimmers and waterpolo. They are 2 of the fastest growing aquatic sports in the City. This is a swimmer town where children learn how to swim before riding their bicycle. We're not looking for Lazy River or Kayaking. We can do that in the ocean or Roosevelt. These recreational items don't support the long term goals of most parents who want their kids fit and love swimming in the long run. We've already lost our beloved Community pool. We need to plan a new pool that would support all of the aquatic sport programs that have shown many benefits to the residents.	May 16, 2012 10:41 AM
81	Pools are very important. We need to have a lot of hours available for the community to use the pools.	May 16, 2012 10:19 AM
82	It needs to be as flexible to all needs as possible, including the deep water needs of diving and synchronized swimming.	May 16, 2012 10:16 AM
83	Davis has a very strong aquaquatic program. If a new facility is built or existing facilities are built I hope the city will take into consideration building a top facility. If Davis has a top facility it will draw in revenue not only from the general public but also from the ability to rent it for swim meets, water polo tournaments, sychronized swimming events, etc - The city needs to collaborate with those in the community that understand what a top swim facility would encompass and may need to travel to look at facilities, such as the facility at Folsom.	May 16, 2012 10:08 AM
84	I think converting Community into a state of the art competetion 50M facility is the best thing that could happen to Davis. There is an avid aquatics community here for swimming (age group, masters) and waterpolo that is in dire need of this facility. If you need the proof, come and see how crowded the practices are for water polo at Schaal and over at Civic for swimming. We are constantly driving OUTSIDE of Davis to similar facilities for meets and tournaments at 50M pools (Roseville, Clovis, Moraga, even just over to Woodland). We should be hosting these sorts of events in Davis and reaping the financial benefits of doing so.	May 16, 2012 10:07 AM
85	Davis aquatics programs would benefit significantly from a quality 50m x 25y pool. clearly, 25m and 30m courses can be achieved by installing one or two bulkheads. of particular importance to a good competetive pool are large (HUGE) capacity gutters with constant overflow from the pool into the gutter/filtration system, and an all-deep competition course (aka, a deep (12+ ft) diving end, 9-8' 25 yd primary race course, and then a 6'-5' shallow end if necessary. shallower sections for swim instruction can be achieved by using platforms. also, with respect to competetive swimming applications -- good starting blocks. by the time the pool is built, the cost of quality starting blocks, while not trivial, is small	May 16, 2012 10:05 AM

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	compared to the cost of the project.	
86	As an annual family and individual pass holder, and son in team sport swimming (water polo and Aquamonsters, and school swim team), we utilize all pools facilities year round. He is also in Boy Scouts and there are items in this survey that would serve those areas that he would otherwise never have experience/education in, ie kayaking, scuba, lifesaving/guard skills, etc. This complex's centralized location and adjacent to the high school warrants the need to serve the community as a whole. As a home owner WITHOUT a pool, I completely support this project!	May 16, 2012 9:54 AM
87	We are interested in a swimming complex that can be used by the Davis Aquamonsters for their swim meets.	May 16, 2012 9:52 AM
88	Many of the questions ask about activities that present facilities are capable of supporting - swim lessons, kayaking, scuba, recreation, lap swimming, etc. However, a 50-meter pool is capable of supporting a far greater number of lap swimmers and lap swimming-related activities, including youth, high-school, and adult swim teams. A long course pool is also capable of hosting events, particularly swim meets. Davis presently has no facility capable of such purposes. In addition, a 50-meter pool can meet the demands that would otherwise require multiple, smaller facilities. The difference is that a single facility, though larger, is likely less expensive than two or more smaller facilities.	May 16, 2012 8:30 AM
89	Allow high school sports and clubs more access to facilities. 50meter pool!!!	May 16, 2012 8:22 AM
90	The heaviest, and most consistent use for our aquatic facilities is competitive swimming. it brings a lot of dollars into the community in food and gas for visiting competitors. We have 2 other community pools that are bikable from north davis, arroyo and manor. Make community a mostly competitive space for swimming and waterpolo. with good seating, timing, and facilities tailored for that, and the \$ will roll in in rentals for events as well as year round practice.	May 16, 2012 8:17 AM
91	We have arroyo which provides services for little kids- the water slide is great! Now what we need is a competitive swim/water polo complex. The arroyo pool is just too small. Neighbors to the arroyo pool are also negatively impacted by water polo whistles which would not be a problem at community. The close proximity to the high school would also keep our children safer when they are going to practice. Many of our children have swim or water polo practice everyday.	May 16, 2012 7:58 AM
92	I support the Community Pool, but I'd really like to see a pool complex in South Davis. Everyone on the south side of I-80 has to travel, usually by car, to Manor Pool. If there was a South Davis pool, families with children could bike there, and it would be a nice addition to this growing area.	May 16, 2012 7:47 AM
93	With close proximity to the Davis High School and the central location of Community Pool, this facility should be the main pool for all competitive aquatics programs; water polo, high school swimming, aquadarts, DAM, etc. Manor and Arroyo are better suited to serve the needs of childrens swim lessons, birthday parties, and family free swim given their locations within neighborhoods. Community could be used for summer camp needs and other specialty uses.	May 16, 2012 7:41 AM

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94	I hope all swim teams in the city are given equal access to these facilities: DAM, Aquamonsters, AquaDarts, AquaStars	May 16, 2012 7:11 AM
95	Any decision made should attempt to accomodate all of the competing programs in town as much as possible. When it comes to swimteams, there is clearly not enough space for everyone. It is an important exercise option for our youth. Any allocation of times for swimteams should be fair and include all of the programs in town.	May 16, 2012 7:06 AM
96	I think it is critical that the pool be setup to host Davis High competitive aquatic events since the school does not have a pool like most high schools.	May 16, 2012 6:43 AM
97	I think a lazy river and splash zone with fountains and things for small children would be great along with a really nice new pool. Shade is critical! Thanks for surveying and hopefully finding a way to save this amazing asset for our community!	May 15, 2012 11:06 PM
98	Davis has an aquatic town, and will fill a 50 meter complex. The pool should be open to all youth groups that are interested.	May 15, 2012 10:35 PM
99	Pool should be open to all youth user groups not just ones who have monopoly on city pools.	May 15, 2012 10:34 PM
100	My primary concern is fitness swimming; therefore, better locker room facilities, a long pool (50 yards/meters), and a shade structure are my highest priorities. A vented roof structure with open sides would be very helpful given the general recommendation to persons of all ages to avoid too much sun exposure.	May 15, 2012 10:18 PM
101	Schaal pool is an amazing facility that is only open to the public for a small window. By having a comparable pool available Davis could generate a strong following in competitors and the largest aquatic masters program in the U.S.	May 15, 2012 10:11 PM
102	We are a family of swimmers, a 10 year old and 13 year old that swim for Aquadarts and a mom that swims for Masters (DAM). Not sure if I filled out the questionnaire correctly, I do not believe the city needs more "fun" pools rather a pool that will suffice for swim practice and swim meets. We need shade, bleachers and the ability to have competition in Davis for swimming. And the High School to have a place for the team to practice.	May 15, 2012 9:23 PM
103	Restrooms at Community facility are inadequate for swim and water polo competition meets and swim work outs. Do not make it cute like Manor or Arroyo where life guarding takes a big crew. Also there is no place to put your stuff during work out. A 50 meter x 25 yard pool is the most versatile pool set up. Woodland High School/City of Woodland has had a 50 meter x 25 yard pool for for more than 30 years.	May 15, 2012 9:20 PM
104	don't waste money on slides, waterfalls, etc. there's arroyo & manor for all that. this should be a nice big pool for swim practice & swim meets. big wide lanes, nice depth, and it would be really nice if it had an infinity edge, or splash-control of some sort. also, if you can do a chlorine free filtration system that would be incredible. that would especially help those	May 15, 2012 9:08 PM

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with sensitivity to chlorine that prevents them from swimming at all.

105	This city needs a 50 meter pool. Schaal is too impacted and too hard to use.	May 15, 2012 8:54 PM
106	I'm mostly concerned that the city pools be open to the public for swimming as much as possible - in an ideal world that would be all year 'round! But certainly all summer. I am so sad that Sacramento pools and other nearby communities' pools may not all be open during the summer. I swim with DAM and love it and know a high priority for many avid swimmers is a 50 meter pool and water polo facilities. I support these, also. But public swimming should be our first responsibility.	May 15, 2012 8:52 PM
107	Dedicated and accessible lap swimming, heated year around, short and long course, underwater speakers, shade structure are all high priorities.	May 15, 2012 8:42 PM
108	Davis needs a championship-caliber competition swimming facility to support the 1000+ competitive swimmers of all ages (age group, high school, masters) involved in aquatic programs in the community.	May 15, 2012 8:38 PM
109	It's time for a long course pool! Thanks for getting input.	May 15, 2012 8:33 PM
110	It would be a shame to close the community pool complex as it has supported Davis Aquatics for 30 plus years which includes one of the largest Masters Swim teams in the country as well as many youth programs that have produce collegiate level swimmers. From a personal experience swimming and water polo taught me many skills that I continue to use in my day to day as a 33 year old.	May 15, 2012 8:26 PM
111	The City of Davis has a great need for a 50 meter pool for all aquatics programs. In order for these programs to remain ongoing and be able to fundraise and hold events that will bring in revenue from other sports teams attending events hosted by Davis we need to have a 50 meter pool with better access than Schaal Aquatic Center where we are at the bottom of the chain. At present time all aquatic programs are struggling for pool space and time. We need to be able to have access to a 50 meter pool for said aquatics groups, water polo, aquadarts, summerdarts, aquatic masters, synchronized swim, dive teams etc. We need to have ample locker room space for teams to have access to shower and change, especially when groups are coming and going.	May 15, 2012 8:25 PM
112	Davis needs a facility that is a destination for large competitions and that is spectator friendly. This would be a big benefit to the local economy.	May 15, 2012 8:19 PM
113	It would be nice to have a pool for competitions.	May 15, 2012 3:41 PM
114	It's not clear what the best way is to answer this survey. WE NEED A GOOD SWIMMING FACILITY WITH GOOD LOCKER ROOMS. Ideally all of the features on the survey would be nice but not at the expense of getting the pool built.	May 15, 2012 2:56 PM

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I tried to give stuff high scores that would be most useful but it wasn't always that clear. For example, it is important to have aquatic programs for disabled people but it doesn't necessarily have to be at the new pool. It is important to have learn to swim programs for people of all ages but they don't necessarily all have to be at the new pool. I'm not familiar enough with water polo and diving to know about the requirements for those activities but I believe they are important components for the new facility.

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|-----|--|----------------------|
| 115 | It is wonderful to have Arroyo and Manor pool for leisure activities. Additionally, what Davis does NOT offer is an adequate venue for REVENUE GENERATING AQUATIC EVENTS due to the inadequate number of lanes or depth of the pools. Davis' Co-Sponsored User Groups consist of swimming, water polo, and synchronized swimming groups, both youth and adult, who rent aquatic facilities ALL YEAR. These groups pay thousands of dollars to other clubs in our area to participate in USMS meets for short and long courses for local or championship events, High School Water Polo and Swimming trials and championships, USA Swimming Junior Olympics (under 14 years old), USA Water Polo zones or Junior Olympic events (18 and under), or synchronized swimming performances. These events draw 200-1000 FAMILIES to watch and participate in the events. Not only are the User Groups unable to benefit from this revenue, but the City of Davis and its merchants are also unable to benefit. Our swim community currently lacks: a competition pool for swimming (50m x 25yd), water polo, and synchronized swimming, with access for spectators. Thank you. We hope this helps in your planning. | May 15, 2012 9:29 AM |
| 116 | Imp't to have facilities for kids to learn to swim then to compete in age group swimming, synch swimming and water polo, and then to be able to join masters. masters has the largest age range and thus serves probably the greatest number of people. It would be nice to have facilities for water polo, diving and synch swimming and disabled but age group, youth and masters serves the greatest numbers of people. Also if you have facilities for competition, this would help with monetarily support the facilities and bring more people from different areas to Davis. I understand the need to have facilities for disabled, but they are a minority of the popln NOT the majority; this comment is more about if you are rationing use. | May 15, 2012 8:36 AM |
| 117 | Davis does not have a venue for hosting revenue generating adquatics events due to the inadequate number of lanes or depth of pool. Davis User Groups, including swimming, water polo and synchronized swimming pay thousands of dollars to other clubs in our area to participate in USMS (Masters) meets, high school water polo and swimming, USA Swimming Junior Olympics, USA Water Polo zones or Junior Olympics or sychronized swimming performances. These events draw 200-1000 familes to watch and participate. The City of Davis and local business would benefit from hosting events listed above to draw in visitors who will pay to participate in the events and spend money locally. After recently travelling to Morgan Hill for a four day USA Swimming meet, I can tell you from personal experience, that such travel is very expensive. Hotel, three meals out a day and entertainment during down time multiplied by 500-1000 families is a signicant amount of money for the host city. I hope that the City of Davis will consider the importance of a state-of-the-art swimming complex to support both the city and business. Thank you for the opportunity to comment. | May 14, 2012 1:42 PM |

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118	We need a pool that can be used for competitions. We have plenty of recreation pools in Davis, but they are not useful for competitive swimming. We have swimmers training for Olympic trials without the needed facilities. Being able to host high level competitions would help bring in money to the city. We need a 50 meter x 25 yard pool with an additional warm up area. TtHE ADDITIONAL WARM UP SPACE IS ESSENTIAL IN ORDER TO HOLD A LONG COURSE MEET . Davis is definitely lacking in useful pool space for competitive swimming, especially considering how many people are involved in swimming. The city spends too much money on recreational facilities that are not functional for competitions. Let's do it right this time and build a useful pool! 25 YARDS X 50 METERS WITH ADDITIONAL WARM UP AREA.	May 14, 2012 8:13 AM
119	Try not to spend money on an idea that will not or does not work. Please remember the wasted money spent on the co-generator at the Civic Center Pool. Ask for donations from the community. Who wants their name on a seat? Be creative.	May 14, 2012 1:20 AM
120	Given the interest in swimming that Davis has, there should be a pool operated by the city which can support competitions for youth and adults. We have some of the largest programs, but no place for meets. We have Olympic caliber swimmers, but no 50 meter pool for them to get the needed practice.	May 13, 2012 8:18 PM
121	It would be great for Davis to have an Aquatic Center that would be an adequate venue for REVENUE GENERATING AQUATIC EVENTS	May 13, 2012 3:06 PM
122	Some of the amenities listed at the end would be nice but are not critical. Just seems as if you're planning a complex that could host events and out-of-town guests, it should be as nice as possible. The cost of the facility itself will already be quite expensive, so it doesn't seem like a good investment to skimp on the extras. As a Davis swimmer for 20 years, I have enjoyed every public pool in Davis and would appreciate a 50-meter pool for my own swimming, especially if money can be earned to help pay for the facility and its upkeep by hosting events for out-of-town swimmers, water polo players, et al. The pool should have some type of handicapped access and excellent restrooms for WOMEN. Thank you for encouraging me to contribute and good luck with your plans. This facility will bring our town some excellent attention in a popular sport. LN	May 13, 2012 2:51 PM
123	I think it's most important to have a pool that can be used for swimming, waterpolo, sychronized swimming and diving. Skip the frills and thrills and provide the basics for the community.	May 13, 2012 5:53 AM
124	Specialized aquatic sports are growing in Davis and urgently need to be supported. One example is Synchronized swimming, now an olympic sport. Unlike most other sport programs "Synchro" includes swimmers in a large age range, under 8 years to 18+ years, cooperating and working together as a TEAM! It is one of the only sports teams that offers within-team mentoring and opportunities to advance over many years as skills build. It is a strenuous and demanding sport. The required figures, on which swimmers are judged in meets, can only be done in a deep water (9 feet) pool. All aquatic sports require spectator stands and these are badly needed for Davis teams to participate in leagues. Recreational swimming is wonderful, but there are already good recreational pools in Davis; we do not need more of the	May 12, 2012 1:54 PM

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same at Community Pool. Because Manor and Arroyo Pools are used extensively for recreational purposes and lessons, team users are forced to swim very early in the morning or late in the evening/night. This gives the message that serious swimming is not encouraged or valued in Davis. What we do not have is a good facility for competitive water sports. Our youth deserve this and I urge the City to make this its priority for Community Pool. I also strongly urge that the particular needs of various teams be included in any plans, and that means providing deep water for synchronized swimming. Thank you very much for soliciting views from the community.

125	the pool is of value if it is close to campus	May 12, 2012 1:39 PM
126	In Davis we already have pools for family fun. What we need is a 50 meter pool built to hold competitive swim/water polo meets. That kind of facility would bring in money for high school swim meets, water polo meets and sections. long and short course meets, masters meets. These all charge entrance fees, and the competitive swim community supports many other towns and their aquatics centers for all these events. The pool needs to be deep(for water polo and synchronized swimming) and built to specifications for swim meets. Community Pool already has spectator stands that are shaded. We have a huge competitive swim community in Davis that travels everywhere to participate in these events.	May 11, 2012 9:55 PM
127	We are badly in need of a 25 yard by 50 meter swimming facility where the masters and youth swim teams can swim without fighting over times and spaces with other user groups at the other very crowded and inadequate facilities around Davis. In addition to practicing there, an olympic sized pool with the necessary seating, lighting, locker rooms etc could enable our teams to have swim meets there where we can bring in money from outside of Davis.	May 11, 2012 9:11 PM
128	Davis has a number of recreational pools. We need something for competitive events that will give our local teams more opportunity and generate money for the city. Examples are swim meets, water polo games, synchronized swimming for children and adults. It would also be good to have more than the one lone electrical plug that works in the women's locker room.	May 11, 2012 9:08 PM
129	I believe that Davis really needs a professional quality swimming pool facility that can draw in money for events involving competetive adult/youth swimming, diving, and other events. We need to provide and fill a space that currently does not adequately exist in Davis. We have no Olympic 50-meter pool other than Shaal. \ People who might argue that Davis needs another kid-friendly pool already has a nice facility at Slide Hill/Manor Pool. I feel that it is totally adequate. Davisites relish their opportunity to remain active and engage in sports. What this town needs is an Olympic-style pool facility to adequately address the many needs of this community.	May 11, 2012 6:02 PM
130	has the possibility of a natatorium indoor pool been considered?	May 11, 2012 5:27 PM
131	Multi-pool complex geared toward high school and adult fitness/competitive swimming is what we really need at Community Park. Ideally there would be a 50-meter pool and also a 25-yard pool or separate water-polo pool. Master	May 11, 2012 5:07 PM

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swimmers (like me) use the pool year-round, unlike school sports like water polo and swimming. Adequate changing/shower rooms with lockers, a fitness room, modern timing and PA systems, and spectator seating (with shade) are essential for a successful facility. Without those, at a minimum, it would be difficult for to host any type of competitive event. There are other pools in Davis with facilities geared more toward families and children, like Manor, Arroyo (and the UCD Rec Pool), although we could use another one. Its proximity to the high school makes this Community Park site an optimal location for a competitive facility.

132	I believe the City of Davis needs and can support a competition pool. They already have 2 great recreation pools but are lacking a place for swim teams and water polo teams to practice and host meets/matches. Swimming in the City of Davis is quite popular and improving the venue will only strengthen the program and enable more meets to be held in Davis. This could also generate additional revenue for the City. There is a definite need for both competition and recreational pools. Since the city has a couple of great rec pools I think it's time to focus on the competition pool this time!	May 11, 2012 4:26 PM
133	Demographics in Davis	May 11, 2012 2:22 PM
134	Davis has amazing competitive aquatics programs that are so incredibly beneficial to kids and families in so many way. Please, please provide the support needed to keep these programs going! We desperately need a competitive pool before another under used recreational pool. Thank you!	May 11, 2012 12:48 PM
135	I believe it's very important that Davis have a facility that can meet the current needs of the aquatic community and look forward to future growth.	May 11, 2012 12:31 PM
136	Davis really needs a pool facility that can support events like swim meets - if we had this there would be a LOT of \$\$\$ to gain from hosting competitive swim events, from concessions to admission prices. Right now all the swim groups, from Masters swimming, to Aquadarts and AquaMonsters, are making do but there is a lot to be gained from having an extra pool, especially since our summers are so long and hot!! Please consider building a competitive-quality deep pool facility in Davis, with adequate parking and shade structures and stadium seating!! Thank you for considering this very important need in our town.	May 11, 2012 10:46 AM
137	The needs of our amazing competitive sports groups (swimming, waterpolo, diving, syncro, etc.) should be paramount. We need top facilities for spectators and competitors to promote the growth of our teams and bring in revenue to the city when we sponsor regional events.	May 10, 2012 10:44 PM
138	Davis should invest in a high level competition pool that will bring in events and support not only the swimming community but also Davis businesses. The Aquatic Facility should be able to host long course, short course, water polo, diving and synchro swimming events.	May 10, 2012 9:46 PM
139	Davis already has two great facilities geared toward families of all ages for open, recreational swimming. What we really	May 10, 2012 8:41 PM

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need is an aquatics center that can be used for water related sports like sychronized swimming, water polo, competitive swimming, etc. These uses should be the priority (in design and access) with other money making uses supporting the aquatics center but not superceding the aquatic sports. Davis (and its restaurants, hotels, etc.) would benefit greatly from having a facility that can host large aquatic events. Also, adequate open space around the pool complex is needed for the large numbers of athletes (and family members) who attend aquatic events but are waiting for their specific event/game/performance. Stands are not the only places people will be.

140	This city needs a 50 meter competitive pool for it's outstanding aquatic programs.	May 10, 2012 6:48 PM
141	Davis needs to have a first rate olympic size pool suitable for hosting competitive swimming, including appropriate spectator area, parking, locker and shower facilities. It should be suitable for year round use as site for youth and adult swim training and competition. This should be the priority for community. Other existing neighbor hood pools can meet other aquatic related activity needs.	May 10, 2012 11:16 AM
142	There are many swimming needs in Davis but many are already being met. We have one of the biggest masters club in the country -- it would great if our City could build a pool and facility that would highlight the accomplishments of this group as well as take care of other needs as well. A large pool facility could mean revenue for the city through rentals, etc.	May 10, 2012 9:20 AM
143	PLEASE, PLEASE, PLEASE give the city of Davis a 50 meter pool with proper facilities to host competitive events! UC Davis pool is not adequate and they DO NOT support Davis community competitive sports well. This can be a revenue source for the city and finally, the high school and age group teams in swimming and water polo will have the facility to support and host their own regional events. We have premier swimming and water polo programs here in the community (including the largest master swimming program in the nation with many national awards). We need to support these programs and make some money for the city. We have plenty of community pools with water slides and other stuff for rec swimming. Let's do something different this time!	May 10, 2012 9:20 AM
144	A facility capable of hosting long-course (50m) or short course (25yard) competitive events would provide something that is currently impossible within the city. Manor and Arroyo are currently decent public swim facilities. A functional competitive venue would enable both age group and masters events to bring regional and national events to the city.	May 10, 2012 9:06 AM
145	This survey makes it difficult to prioritize uses. So many choices are good, but you cannot rank them relative to other uses. Why would you not want to have all the program uses? But if you knew if you had toddler classes you could not have synchronized swimming, or any other two elements, you could make a then rank or prioritize those two elements relative to each other. That is even more problematic with the amenities questions - every thing sounds good, and there is no way to say "If I can only have one, which would it be....". This has been a problem in the recreation studies that Davis has done for the past 15 years - since the original Master Plan. Everyone wants everything, and then nothing can be well accomodated.	May 9, 2012 6:21 PM

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146	We have enough pools in Davis that offer general recreation options for youth (i.e., shallow entry, play structures, water slides). We have no city venue for competition that includes adequate lane space for warmup and warmdown activities required for a swim meet. In addition, we cannot even run two 25 yard courses. A pool that offers the possibility of 25 yard and 50 meter competition would be ideal. It would bring revenue to the city via events that do not happen now. Continuing to invest in repair of civic and community pools does not make sense, given their ages. Neither does an expensive renovation (like Manor) that only yields a 25 yard pool.	May 9, 2012 5:13 PM
147	Davis has two great rec pools- Arroyo and Manor. In addition, the UC Davis Rec Pool is a great recreational attraction for many Davis residents. It's mind-boggling that the City of Davis doesn't have a first-rate competition and training facility given the high number of elite-level athletes and coaches in the city and surrounding areas. And the incredibly large volume of competitive swimmers young and old. A well-designed facility would benefit the local economy in big ways by attracting events from literally all around the region, State, and World. There's no reason Davis could not be a national draw for competition swimming/water sports events- it's a great place to visit and people love a good reason to come here and spend some time. We have enough rec pools and swim-lesson facilities. We really need a first-rate competition and training facility. Give great athletes and their families another good reason to relocate to and/or remain in Davis.	May 9, 2012 2:52 PM
148	We definitely NEED an Olympic size pool to improve our aquatic programs.	May 9, 2012 12:49 PM
149	The Community Pool should be designed to serve the largest number of people who live in Davis as possible - so less of a showcase facility with lazy river, etc. and more public facility for the many aquatic groups that are in Davis. This pool should also have event-oriented amenities such as a PA, seating, and snack-bar, so it could potentially earn income from hosting local events.	May 9, 2012 12:40 PM
150	I favor constructing a 50 meter pool that provides an excellent competition facility AND also meets needs of recreational swimmers, fitness users, and families with young children. I would, therefore, want the facility to offer open lap swimming all day, water aerobics, and swim lessons for children and adults -- truly a multipurpose, multiuse facility that should not be taken over by one or two programs (i.e., masters, aquadarts).	May 9, 2012 11:06 AM
151	Davis currently has two pool facilities (Manor pool and Arroyo pool) which cater to public swimming, lessons, camps, rentals, and general water enjoyment. What Davis does not offer is an adequate facility for aquatic events that can generate revenue for the city due to the inadequate number of lanes or depth of the pools. Competitive swimming, water polo, and synchronized swimming groups, both youth and adult, groups pay thousands of dollars to other clubs in our area on a year round basis to participate in meets for short and long courses for local or championship events, high school water polo and swimming trials and championships, USA Swimming Junior Olympics, USA Water Polo zones or Junior Olympic events, or synchronized swimming performances. These events draw hundreds of families to watch and participate in the events. This revenue would not only benefit local Davis teams of this kind, but the City of Davis and its merchants too.	May 9, 2012 10:52 AM

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152	I'd really like to see a facility where competitive swimming and more so, synchronized swimming could be practiced and teams could have presentations with audience seating. In completing the survey I tried to prioritize which would be the most pressing needs/wants for aquatic facilities. So, in short, the requests I mention above would be best to see. Having said that, the entire question of another swimming facility should be secondary to education funding. If we're looking to prioritize, more funds should be given to the schools to prevent teacher layoffs, cutting programs and increasing class sizes.	May 9, 2012 10:09 AM
153	We already have 2 very nice facilities that offer water recreation (Slides, family swimming, etc.). There is a VERY large population in Davis that is currently using the pool facilities for exercise and sports. I am part of this population. The pools used for sports, exercise, etc. are very outdated. We need to spend money on updating our facilities for sports, exercise and teaching. Recreation swimming needs are already covered by Manor and Arroyo. The Davis Aquatics Masters swim team and Davis Aquadarts are huge teams that continue to grow (My family belongs to both groups). I know that with updated facilities, even more people would be inspired to join these groups (which run year round, unlike recreation), bringing in more money for the city. A Lazy River would be nice, but it would only run 3 months out of the year; it would be a waste of money. Investing in competition-worthy facilities would bring in more people from the surrounding community and beyond, generating money all year long. Plus, you would be supporting these groups which have been a huge part of Davis culture for many, many years. Don't let us down!	May 9, 2012 10:08 AM
154	Ability to host US Swimming sponsored events (and similar competitions) under national sanctioning will enable greatest use by groups and out-of-town weekend visitors. These groups will also support use of local merchants and hotels/restaurants as part of the competition-associated events.	May 9, 2012 10:04 AM
155	Keep the competitive swimming program. it is low cost for us compared to other sports and is the healthiest exercise for kids. It is for the kids which is what this program is about.	May 9, 2012 9:54 AM
156	I support a 50 meter pool project and facilities to encourage paid spectator activities and events.	May 9, 2012 9:25 AM
157	I have been involved in the swimming community for over 20 years, both as a swimmer and a parent of competitive swimmers. When the city asked for feedback for the Arroyo pool complex, the swimming community spent hours of time at meetings about what amenities are minimum and which are desirable and which are ideal. Well, we got the bare minimum and it has been very disappointing. The locker rooms and showers are grossly inadequate (DAM fills the pool with 40 swimmers at a workout), although the pool itself is nice. I hope the city is really committed to building a class aquatic center with a 50m by 25 yd pool. Yes, it will cost money, both to build and to maintain. And yes, it will be used around the clock. Check out the Civic Pool. Groups seem to use it 24/7. Davis has a large and diverse aquatic community and it would be refreshing to see a commitment to a sport that is not football, baseball or basketball. Swimming is a sport for all ages and all body types and it will lead to lifelong physical fitness. I can't think of a better investment!	May 9, 2012 8:53 AM
158	keep the basics that helps the public not minor speicific classes that only help a few.	May 9, 2012 8:40 AM

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159	City of Davis has two fantastic recreational pools for summer swimming. We need a pool that will better accommodate swim clubs, competitive swimming, water polo.	May 9, 2012 8:01 AM
160	Davis is in need for a competition pool for swimming (50m x 25yd), water polo, and synchronized swimming, with access for spectators. We need a pool that meets the needs of the aquatic user groups year round. Our family attend events for competitive swimming, and these events bring in up to 1000 people per event which last several days. Davis is missing out on the revenue that these events could bring to the city (hotels, restaurants, etc.) We do NOT need another Arroyo, Manor pool! We need a competition pool!	May 9, 2012 7:51 AM
161	The City of Davis needs income generating facilities. For example a swim complex that will attract groups from the California and Nevada region for multi-day events such as water polo Junior Olympics, USA Junior Olympics, USA Far Westerns, and Synchronized swimming events.	May 9, 2012 7:20 AM
162	I believe this upgrade will bring money to Davis	May 9, 2012 5:22 AM
163	I am a former Davis Aquadart, DHS swimmer, and swimmer for Claremont McKenna College. It is high time that the city of Davis put together an aquatic facility that it can be proud of - one that could rival California facilities in Aquatics. There are plenty of "family friendly" pools in Davis, and the Davis Aquadarts, the lone competitive swim program that consistently tries to raise the quality of training for its athletes, always gets denied swimming time or training time in favor of the city. In fact, the city loses out on not being able to draw the strong revenue that major athletic events like swimming or water polo bring. Having a prime indoor competition 25 yard x 50 meter pool would allow for Swimming NCAAS, (which must be indoors - see venues like the IUPUI complex at the University of Indiana, etc). Even if not, it would provide a fantastic training facility for many of our youths. Many of these athletes consistently work their hardest to achieve their goals - Olympic Trials, Nationals, etc. Yet it is incredibly difficult when 95% of training facilities that legitimate clubs use make the city of Davis look like an absolute joke. Schaal pool was supposed to be the beginning of that - but the University has failed immensely in it's duties of taking care of the pool, and even yet, the city's club team struggles to get training time there. This is the club team that represents DAVIS. When they compete, they wear the name of this city on their caps and race their hardest. So do what is right. Make a facility that allows for these many athletes to achieve their goals. Manor, Community, and Arroyo all have their own slides, etc. You do not need to waste another complex for frivolities. Thank you sirs (or madams), for your time. If you have any questions about my input or my feelings towards the necessity to have a legitimate, olympic-sized training facility in Davis, feel free to contact me. Most sincerely and respectfully, Brian C. Nadler Claremont Mckenna College 2011 (530) 902-3509	May 9, 2012 12:26 AM
164	It would be great if the City actually listened to the primary user groups of the pool facilities. We do not need another Manor or Arroyo. I've lived here over a decade and aquatic groups such as the Aquadarts and Masters, who swim ALL year round have tried to get a 50 meter pool. Swim meets can generate great revenue for the city if they are able to host regional meets. As it is now, Arroyo is limited in the kind of meet it can support. Please, look where you have the most	May 8, 2012 11:15 PM

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	committed number of swimmers and aquatic users, who are not just there for the summer and that is who you should consult with and take into consideration when determining the future of Community.	
165	Pools need to be handicapped accessible. Use of a "swing" isn't acceptable. Need steps in the pool and a ladder so handicapped people can walk in and then swim or do water exercises. This need will increase in importance as we have an aging population.	May 8, 2012 9:18 PM
166	DAVIS NEEDS A COMPETITION POOL -- WE HAVE MANY SWIMMERS IN THE COMMUNITY WHO TRAVEL TO MEETS TWICE MONTHLY AND SPEND LARGE AMOUNTS OF MONEY AT THOSE VENUES. THE AQUADARTS ARE A WELL RECOGNIZED, VERY SUCCESSFUL TEAM AND NEED TO BE ABLE TO HOST MEETS. THE MEETS WOULD BRING ATTENTION TO THE COMMUNITY AND, UNFORTUNATELY BUT PERHAPS MOST IMPORTANTLY, REVENUE!	May 8, 2012 8:46 PM
167	Facilities adequate to bring 50 meter swim meets into town. Good for the swim teams and for the town (revenues).	May 8, 2012 8:40 PM
168	Make an Olympic size pool facility similar to Shaal pool at UCD.	May 8, 2012 8:37 PM
169	We need a pool that can be used for events such as swim meets, water polo tournaments, synchronized swimming competitions, and other competitive events. A 50-meter pool would allow Davis teams to host events that would bring significant tax revenue to the city, as high level swim meets, water polo tournaments, and syncro swimming competitions would attract competitors from Central California, the Bay Area, Southern Oregon, and Nevada. We have been to competitions within a 60-mile radius that pull in competitors and their families, from these areas. We have raised local talent to the level of Olympic trials, and we need a place to continue to nurture our Davis aquatic athletes. Please support the building of a 50-meter pool, as it will provide rewards for our aquatic athletes as well as additional revenue to our downtown merchants and city coffers.	May 8, 2012 8:37 PM
170	Davis has two community recreation pools. Davis has an enormous number of families with one or more members involved in competitive swimming, water polo player, and diving. Resources devoted to Community Pool should aim to create a pool that meets the needs of the Davis aquatic groups, rather than duplicating what the city already has. Thank you	May 8, 2012 8:35 PM
171	Davis does not have enough 50 meter poolz	May 8, 2012 8:22 PM
172	An underwater viewing room for coaches to be able to watch from underwater. Also it would be nice to have underwater speakers for the synchro swimmers.	May 8, 2012 6:55 PM
173	Davis needs a competition pool for 50m long course, 25m short course, and water polo. A moving bulkhead would be excellent if possible. The ability to host meets and competitions would be a huge financial benefit to the community,	May 8, 2012 6:41 PM

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	<p>much more so than the recent stadium project, since these sports compete year-round and there are multiple groups that can utilize the facility (Aquadarts, Aquamonsters, Davis Water Polo, Davis Aquatic Masters, and Aquastarz). The facility would be used for training during the week and competitions on the weekend, making it a very well-utilized complex. In addition, swimming and water polo are the only varsity sports at the high school that are required to practice and compete at an off-campus facility. Access to this facility for competitions at a minimum would be much more equitable than the current situation.</p>	
174	<p>Folsom's Aquatic Center is amazing. We need one similar.</p>	May 8, 2012 6:13 PM
175	<p>We need a pool that fufills the growing needs of our Aquatic Groups (e.g. DAM, Aquadarts, Aquastarz, etc.). We DO NOT need an attempt at building a Waterpark, nor do we need yet another 25 yard pool. If we are going to build a new pool or renovate one, the City of Davis should make a 50M by 25Y pool, so that our aquatic groups can use it throughout the year, and so that said groups do not need to go to UC Davis to train at an Olympic size pool.</p>	May 8, 2012 5:13 PM
176	<p>a large lockerroom with a lot of bench space and big lockers. a large grass area would be great also. giving the aquadarts prime pool times should be the number 1 priority.</p>	May 8, 2012 4:41 PM
177	<p>Davis needs a competitive swim/diving/water polo facility. We have enough "community" swim facilities, but lack one that can support (and allow for growth of) our competitive programs.</p>	May 8, 2012 4:31 PM
178	<p>Our family fully supports the creation of a 50 meter pool. It would obviously be a huge asset to the training of our various athletes in swimming, and it would also be a source of revenue to the city by providing an avenue to support highly competitive meets. After years of attending big swim meets in various cities, I have been very impressed by the money generated to the hosting communities in terms of retail, food and hotels. It would be wonderful if Davis was able to benefit in the same way, and also support the training of our swimming community.</p>	May 8, 2012 4:24 PM
179	<p>Davis has very strong and competitive youth swimming program. We've produced high caliber swimmers who have competed at the Olympic trials, NCAA Division 1, etc. The City of Davis has great aquatic centers for public recreational swimming (Arroyo, Manor; plus the UCD rec pool). However, other than the university Schaal Center, which has only limited availability to the public, there isn't a good competitive swimming pool in the City of Davis. We need to support our youth swimming program with an official olympic-sized pool, 50m long. This would simultaneously be able to support official water polo events. Our youth programs should have priority access to such a pool. Such a pool could generate revenue by holding regional competitive swim meets, but could be available to the public at other times. While I support lazy river, water slide, and playpark for kids at public pools, existing pools have them and/or could be modified to accommodate them. I would like to see Community Pool dedicated to supporting swim teams (especially youth) and swim programs geared towards competitive ends, rather than recreational ones.</p>	May 8, 2012 4:11 PM
180	<p>We need a non-chlorinated disinfecting system, ie, at Schaal. Also, we need a complex devoted to competitive Masters</p>	May 8, 2012 4:10 PM

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	swimming that could generate revenue for the city!! Thank you.	
181	We are currently lacking a 50 meters pool but we have plenty of recreational pools.	May 8, 2012 4:03 PM
182	Let's build a 50 Meter pool that can have long course swimming, short course swimming, water polo, and synchronized swimming, and diving if possible.	May 8, 2012 4:01 PM
183	I believe Community Pool's primary use should be fore high school and club sports competitions and practices. Aquadarts and Summerdarts should have priority use of the pool during summer hours. By doing this, it opens up Manor and Arroyo pools to be used for city recreational use during the summer. By designating Community Pool for aquatic sport competitions (and practices), the competitions will bring money to local businesses from visiting teams. The teams can also save money by hosting meets, tournaments, and shows locally.	May 8, 2012 3:46 PM
184	We have a huge aquatic community and space for a 50 M pool. Lets give the aquatic user groups a chance to have events and bring travel revenue to town. We spend, on average, \$400.00-\$600.00 per weekend when traveling out of town to swim meets. Hotels, restaurants, drug/convenience and grocery stores all benefit from a regional aquatic event. We are also good guests, no drinking or partying for athletes!	May 8, 2012 3:38 PM
185	Please put in the new pool! Aquadarts need a long course training pool	May 8, 2012 3:35 PM
186	The current pool situation is clearly not adequate to serve the diverse needs of this community. Another pool offering similar services to Arroyo/Manor would not significantly improve the diversity or quality of community aquatics programs. It is clear to me that a 50m swim complex able to host swimming/water polo/synchro/diving would be most beneficial. 1) It would alleviate the demand for Arroyo and Manor, allowing these pools to be used for more recreational time. 2) It would allow the hosting of events that bring money to the community. Currently hosted events are done in other towns, drawing money out of Davis to them. 3) It would be next to the high school, reducing the number of trips students make for practices at Arroyo. 4) It would allow the closing of Civic pool, which is old and in need of repair, allowing that property to be sold or redeveloped. Also, please consider an indoor pool. A modern well-designed indoor pool will be more energy efficient than an outdoor pool, will attract a lot of wintertime use, and will reduce skin cancers.	May 8, 2012 3:34 PM
187	Arroyo pool and manor are pools mainly used for public swimming. Community is next to the high school and should be a base for high school aquatics. During the summer, large user groups such as Summerdarts and aquadarts should have priority over this pool.	May 8, 2012 3:32 PM
188	Davis needs a competition pool that can accommodate long course 50 M swimming events, water polo competition, and sychronized swimming. The City is missing out on the economic development benefits of hosting regional competitions. A pool that has the characteristics of hosting competitive events needs to have a scoreboard, spectator seating, lighting, locker rooms, and food concessions. We already have two recreation pools, but we need a competition facility that can	May 8, 2012 3:20 PM

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serve regional events.

189	The really nice thing about community pool is that it is the only pool in Davis with spectator seating for events. This is really nice for both lessons and swimming events like swim meets or synchronized swimming. It would be great to have a 50m pool available to host large swim meets that would help generate revenue for the city. While Schaal is an option, the swimming groups in Davis are at the whim of the university.	May 8, 2012 3:13 PM
190	The Davis Community needs a real competition pool along the lines of what they have in Roseville or Folsom. A swim meet held at one of these facilities brings hundreds of families to Roseville or Folsom which in turn brings added revenue to these cities and their businesses.	May 8, 2012 3:11 PM
191	Would like the pool complex to support large aquatic user groups to host large meets, tournaments, and programs. Would also like 50 meter pool available year round for training for age group and adults.	May 8, 2012 3:06 PM
192	Davis does not offer an adequate venue for aquatic events that will generate revenue due to the inadequate number of lanes or depth of the pools. Davis' Co-Sponsored User Groups consist of swimming, water polo, and synchronized swimming groups, both youth and adult, who rent aquatic facilities all year. These groups pay thousands of dollars to other clubs in our area to participate in USMS meets for short and long courses for local or championship events, High School Water Polo and Swimming trials and championships, USA Swimming Junior Olympics (under 14 years old), USA Water Polo zones or Junior Olympic events (18 and under), or synchronized swimming performances. These events draw 200-1000 families to watch and participate in the events. Not only are the User Groups unable to benefit from this revenue, but the City of Davis and its merchants are also unable to benefit.	May 8, 2012 3:01 PM
193	I don't think Davis needs a 50-meter pool. There is Schaal, so I don't see the need for this. Woodland has a 50M pool. It's nice that Community Pool is open for the swim team, but frankly it is kind of a dump pool. I'm not happy that we are swimming there this summer instead of Schaal for the Aquadarts. Our fees for the Aquadarts have been raised a lot because we are supporting Community Pool.	May 8, 2012 2:59 PM
194	Established swim programs - Aquadarts, Masters, High School Water Polo, Summer rec swimming should have priority. Actual swim meets, health-problem related activities, diving should have second priority. Certification classes (WSI, scuba, kayak, etc) fit in as available. There are slides at other pools - don't need any here.	May 8, 2012 2:56 PM
195	I believe that if the centerpiece of this facility was a single pool that accommodated both 25 yard AND 50 meter courses, a majority of swimming needs would be satisfied. The City should keep in mind the "ripple effect" that such a venue will have on local business. A state-of-the-art facility will allow the user organizations to attract "big" events whereas (now) they are unable to.	May 8, 2012 2:44 PM
196	Hello, The Community pool is ideally situated immediately next to Davis High School and is thereby the perfect location	May 8, 2012 2:42 PM

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for a true swim center to be built. Ideally, the City and School district would participate in the design and construction of a true competition level facility. Taken one level further, a first class Natatorium would be ideal for all year round and allow for swimmers to fully enjoy competition under a controlled environment and also allow for spectators to enjoy events as well, whether they be swimming competitions, water polo, and synchronized swimming. Such a facility that is either open to the weather or superior would be highly used by this community! Please build it soon. Cheers, Jim

197	Pool for competitive swimming, water polo much needed in the Davis community. We travel to various cities throughout the region and the Bay area to attend swim meets and water polo tournaments (and spend our money) at these other venues. We have several competitive teams with many competitive swimmers and water polo players eager to swim and play in their own backyard. Davis is in desperate need of a competition size pool. We could host many large events (meets, tournaments) and bring revenue to our city.	May 8, 2012 2:42 PM
198	If we have another pool that supports competitive aquatics, more revenue will come to the City of Davis. Many families in northern CA travel to different cities for meets. Let's have Davis be one of those destinations. I spend a lot of funds on food, lodging, and other items when I go out of town to meets. I would like to spend those funds in Davis!	May 8, 2012 2:41 PM
199	we have recreation pools like arroyo and manor but we need a lap swimming and water polo facility with stands like community has.	May 8, 2012 2:40 PM
200	Davis has plenty of pools for seasonal, recreational use by children, and not enough for the user groups that use the pool all year round. Davis is missing out on a lot of opportunities by not having a single pool to host revenue-generating competitive events.	May 8, 2012 2:35 PM
201	All the aquatic programs in Davis need to be considered, Masters, aquadarts etc	May 8, 2012 2:29 PM
202	My kids participate on swim teams. There is no place in Davis, aside from the university, where spectators have a place they can sit and see the competition. The stadium seating is essential. There are several pools in town with water slides and play areas for kids. The city could have lots of swim meets at this new facility and utilize a concession stand to help generate funds. When I initially heard community pool was closed I was so disappointed. Civic pool is the one that should have been closed. There is no place there for anyone to sit!	May 8, 2012 2:29 PM
203	A pool that can host swim meets and water polo tournaments would need to allow extra room for warm-ups. Most competitive pools have an additional pool for this purpose. Also for water polo, if you want to run two 25 meter courses, you would either need a pool longer than 50 meters or wider than 25 meters.	May 8, 2012 2:29 PM
204	We need an Olympic sized pool in Davis.	May 8, 2012 2:26 PM
205	Please consider a full Aquatic Center. Folsom and Roseville has really benefitted from theirs. Davis is a very swim	May 8, 2012 2:24 PM

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	oriented community. Thank you	
206	Davis needs a competition pool. We have rec pools, and a competition pool will not only help the many citizens of Davis who swim/play on a team (Davis Aquatic Masters, Aquadarts, Aquamonsters, Water Polo, Aquastars, and heck, who hasn't been a Summerdart?!), but the City as well with hotel stays, restaurant meals and shoppers who come to Davis for meets--meets can be huge money-makers for the City.	May 8, 2012 2:23 PM
207	Davis needs a viable option to host large-scale aquatic events. Manor and Arroyo pools serve the general public's interest, but no pool currently serves the needs of the very large number of people in Davis that are part of large aquatic organizations.	May 8, 2012 2:21 PM
208	Highly recommend the space for the current Aquatic groups in town. Davis supports the largest masters swim team and one of the largest youth swim teams in the country. Let's support our citizens by supporting a life long fitness plan with multiple well respected co-sponsored aquatic programs.	May 8, 2012 2:20 PM
209	The City of Davis should not support a replication of the Mannor nd Arroyo pools facilities. Community pool shoul serve water sport that require state of art 50 meters pool to host sport events.	May 8, 2012 2:20 PM
210	adequate parking & bike racks	May 8, 2012 2:17 PM
211	The city of Davis has some of the most competitive aquatic teams in the state, but we lack the facilities to be able to bring in revenue to our community fby hosting large aquatic events (water polo, swimming, synchronized swimming). A top notch aquatic facility would allow us to do just that.	May 8, 2012 2:06 PM
212	Please fashion this pool after the Schaal Aquatic Center at UC Davis. There is a gluttony of recreational facilities in Davis, but there is nowhere for serious competitions and competitors. Accordingly, a pool and facility capable of hosting competitions is needed and demanded. I have 30 years of competitive swimming experience and I have never seen such a strongly competitive swimming community as Davis without an appropriate and adequate facility. A facility similar to the Schaal Center is needed. The Masters program currently runs practices from 5:45 am until 7:15 pm every hour at three different pools in order to accommodate their members. A competition pool would allow the Masters team to consolidate practices and accommodate the Davis Aqua Darts. I cannot emphasize enough how needed a competition pool is.	May 8, 2012 2:06 PM
213	I urge the city to consider building a a competition pool for swimming (50m x 25yd) and water polo, with access for spectators. This type of facility is something the city currently lacks and could be a substantial source of revenue given the wide range of events that could be accommodated. Currently I commute from Woodland to participate in the Davis Aquatic Master's program because of the superior quality of this program as compared to those available in my city. While the program is first-class, the available facilities are not, and our team hosts events in other cities with the type of	May 8, 2012 2:01 PM

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	facilities I've described.	
214	This is a huge opportunity to take advantage of the tremendous community involvement in competitive and fitness swimming and other water sports (polo, diving) to be the site for major competitive events that could bring revenue to Davis. There are plenty of other opportunities for family/child/recreational summer-swimming and lessons; Davis needs a pool to accommodate it's nationally-ranked swim club and create a venue for staging major sporting events. Let's do it!	May 8, 2012 1:44 PM
215	I would like to see a shade structure over the lap swimming section of the pool.	May 8, 2012 12:55 PM
216	Given the large number of high-caliber aquatic programs in Davis, the participants and broader community would benefit from finally developing a 50 meter complex appropriate for competitive events.	May 8, 2012 11:08 AM
217	We need a 50m x 25yd pool with diving boards/platforms in Davis to attract any revenue generating water polo, swimming, or diving competitions. I believe that club and high school events at a new complex can offset a big portion (if not all) the extra costs associated with maintaining a larger facility.	May 8, 2012 9:48 AM
218	I am a DAM member and depend on Davis pools for my exercise. I support a 50 meeter pool in the strongest possible terms. I also support a shade structure in the strongest possible terms. A shade structure would provide an invaluable health (anti-skin cancer) advantage.	May 8, 2012 9:46 AM
219	A 50 meter pool would increase the training capacity of all of our aquatic teams.	May 8, 2012 9:45 AM
220	Indoor pool facilities to accommodate for winter periods.	May 8, 2012 9:40 AM
221	thank you for doing this. We need this in DAVIS, water sports are great and having to use the University pool is not an option.	May 8, 2012 9:39 AM
222	Davis needs a 50 meter pool!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!	May 8, 2012 9:07 AM
223	We need a facility that can host big swimming events and practices in a long course 50 meter pool with an additional warm up area. The city already has plenty of recreational pool space at Arroyo and Manor, but those pools are not designed to be useful for large swimming competitions. Between Masters and Aquadarts and other user groups, there are many, many people involved in competitive swimming in Davis, but we do not have a facility to meet our needs.	May 8, 2012 8:11 AM
224	Non-chlorine water treatment system.	May 7, 2012 11:29 PM
225	A facility capable of hosting competitive events would allow groups to host large scale events to an extent to which Arroyo and Manor pools are inadequate. Revenue generating competitive events, i.e. swim meets, would benefit the community	May 7, 2012 11:05 PM

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	but require at least a 50 meter X 25 yard pool. In the same way that city facilities are capable of hosting other large sporting events that bring in many competitors from out of town, such as the AYSO World Cup tournament, a new pool should be able to fulfill a similar role.	
226	Davis needs a 25 yard by 50 meter pool for our great swim programs.	May 7, 2012 10:35 PM
227	The most important thing is a competition pool for swimming (50 meter by 25 yards) and water polo with access for spectators. The city of Davis needs the equivalent of Schaal pool. Please!!	May 7, 2012 9:55 PM
228	A complex of a 50 m pool and a 25 yard or meter diving tank would provide the greatest flexibility and accomodate many programs; e.g. open public swimming, coached lap swimming and synchronized swimming all at the same time. The 50 m pool should have a moveable baulkhead for the greatest flexibility of use.	May 7, 2012 9:40 PM
229	Davis really needs competition pools for youth and adult swim meets!	May 7, 2012 9:29 PM
230	I think Davis is an ideal site for a 50 meter competitive aquatic facility given the tremendous community involvement in swimming programs (age group, high school, masters) and the potential for generating revenue by hosting championship meets.	May 7, 2012 9:26 PM
231	This could be a great addition to Davis. If designed well, it would be in all day and evening throughout the year. It would provide jobs and stimulate commerce with restaurants and motels and sports shops.	May 7, 2012 8:58 PM
232	Seems there should be consideration of partnership and collaboration with UCD and Schaal Aquatic Center.	May 7, 2012 8:08 PM
233	Davis is in need of a facility for large scale swimming and water polo events. We have large Masters and age-group clubs and water polo clubs that are capable of putting on big events, but no facilities in Davis. None of our current facilities is adequate for this purpose. We do NOT need another family recreation pool.	May 7, 2012 7:54 PM
234	Davis does not have, but needs, an adequate venue for revenue generating aquatic events. Current pools aren't deep enough or don't have enough lanes. Currently, groups for swimming, water polo, and synchronized swimming, both youth and adult, rent aquatic facilities all year and pay thousands of dollars to other clubs in our area to participate in USMS meets for short and long courses for local or championship events, High School Water Polo and Swimming trials and championships, USA Swimming Junior Olympics (under 14 years old), USA Water Polo zones or Junior Olympic events (18 and under), or synchronized swimming performances. That money could instead be coming to Davis and to its local merchants.	May 7, 2012 7:47 PM
235	1. I've swum in all Davis and UCD pools during the past 30+ years. PLEASE see the locker rooms at all sites. The BEST are at Hickey Gym, UCD. The floors are textured to avoid slipping and eliminate the need for mats that grow mold. A	May 7, 2012 7:44 PM

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radiant heat system was built into the floor to reduce utility costs. The locker rooms are spacious for handicapped access and competition/event crowds. 2. Hopefully solar panels will be considered. 3. Aquatic specialty programs for seniors require water temperatures that are much too high, and costly(!) to heat that volume of water. The other, more shallow pools in Davis can be used for senior programs, or programs requiring warmer water. 4. As a board member for Davis Aquatic Masters, I have raised more \$\$ on behalf of our program than all others. I would be very happy to help raise funds for this swimming complex.

236	In making my comments, I am assuming that Arroyo (and probably Manor) will continue to be used, so I did not support those things that they can do. We need a 50M pool that can host swimming meets and water polo tournaments to generate revenue for business and for aquatics programs. Of course, such a pool will also be a community resource for recreation and lessons, but it cannot be all things to all people.	May 7, 2012 6:42 PM
237	The need for a venue to host aquatic events is great. In addition, it is a potentially significant income-generating prospect for our city. Furthermore, aquatic sports and activities are part of a family's healthy lifestyle.	May 7, 2012 6:29 PM
238	I think Davis with it great Aquatic clubs deserves a 50m lane pool.	May 7, 2012 6:27 PM
239	Head over to Schaal pool at UCD during a summer evening and you will see 3-4 different competitive aquatic user groups at the pool. There have been tens of thousands of swimmers/water polo players turned out by the city of Davis over the past 50 years and I bet 95% of them will tell you that their aquatic experience was a pivotal experience in their life. The city of Davis is geographically located in a perfect location between Sacramento and even the Bay Area to host big-time, revenue generating events. If you build it, they will come.	May 7, 2012 6:12 PM
240	A quality competition pool in this community is long overdue.	May 7, 2012 6:09 PM
241	I support an aquatic complex that includes at a minimum a 25 yard by 50 meter pool that can host both 25 yard and 50 meter swim meets. It should have an additional 25 yard pool for swimmers to warm up and cool down in before and after their races. It should be able to accommodate water polo games, synchronized swimming and diving competitions. If Davis has a top notch aquatic sports complex, Davis teams will host many regional swim meets and water polo tournaments. This will attract visitors to Davis and will benefit many local businesses. The Davis High School teams and PE classes will also benefit from this as well as the many local aquatic teams. I hope that Davis Blue and White Foundation and the many local aquatic groups help with fund raising to make this a reality.	May 7, 2012 6:07 PM
242	What Davis does not have is a pool that works for both lessons, lap swim, and kids' activities AND for invitational competitive events. I recently visited New Zealand and swam in several local Aquatic Centers in Fiordland. The all have a 50 meter pool with movable bulkheads. These accomodate all school teams, school classes (all NZ kids are required to take swim classes, paid for by public education funds, as part of the naional P.E. curriculum), Masters teams. One lane is always available for deep water aerobics. These aquatic centers also have a small teaching pool, a large lesiure pool, a	May 7, 2012 5:50 PM

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hot spa with jets, a diving pool, and a very shallow baby play pool similar to what Arroyo and Manor have. The large leisure pool can be sectioned (it's free form) for aquathenics, and other group activities. Several centers (Queenstown, Dunedin) have a river pool as well. Davis already has pools to accomodate kids' lessons, life saving, parent and baby, free swim for kids. What the city does not have is a pool to accomodate year round lap swim (with all day availability of at least 4 lanes, such as I found in NZ, and also at the Monterey Sports center) or a pool that could accomodate competitive events (income generators) held by local groups such as DAM and Aquadarts, as well as the H.S. swim teams and water polo groups.

243	The City of Davis has a historically rich swimming program from teaching toddlers to swim, to collegiate competition, to maintaining health for seniors with lap swim. The only lacking facility (pool) in Davis to suit these needs is a 50 meter pool.	May 7, 2012 5:41 PM
244	Our family would greatly benefit from the addition of a long course and short course pool in Davis as we have Masters swimmers and Aquadart swimmers. To have that kind of facility, our clubs could host more events, which would bring visitors and revenue to this town and make our traveling expenses less, and would bring pride to our teams.	May 7, 2012 5:38 PM
245	The ability to host major swim meets for both US Masters Swimming and USA Swimming; the ability to host other major aquatic events; in addition to a 50-meter pool, a separate pool for warm-up and warm-down for swim meets that could have multiple uses as a diving well, water polo pool, etc; state-of-the-art technology to ensure the desirability of the pool for world-class swimming competition.	May 7, 2012 5:37 PM
246	Davis needs aa competition pool for swimming (50m x 25yd). This is critically important	May 7, 2012 5:34 PM
247	I would like to see a two pool complex, with a couple of 50M x 25yd pools, locker rooms with showers, electronic timing and shaded spectator seating. Take a look at the City of Irvine's facilities on Walnut Ave. at Ravenwood. It attracts large youth swimming and water polo competitions as well as national events. If we build a facility that attracts large swim meets and water polo competitions, it will bring a lot of revenue to the community for hotels and restaurants. You must look at the economic benefit to the community as an offset to the cost. Take a look at what something like Davis AYSO World Cup does. That tournament attracts about 150 out of town soccer teams plus their families, and fills every hotel bed in town and just about every restaurant seat for three nights (Mem. Day weekend). A great pool complex can do the same.	May 7, 2012 5:30 PM
248	I think Davis is specifically lacking in a competition pool! A 50m x 25 yard, with access for spectators, that can be used for swim races, water polo, and the like. While community usage of the manor pool and the arroyo pool is fine, there are no possibilities for revenue-generating events. There is no pool with enough lanes and/or deep enough to house events such as Swimming Trials, high school water polo, synchronized swimming, US Masters swimming, Junior Olympic events, etc. These events would necessarily draw revenue and attention to the sport, and Davis, in general.	May 7, 2012 5:25 PM

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249	If the city commits to finding the capital to build a facility, there should be a concomitant commitment to long-term funding of operating and maintenance costs.	May 7, 2012 5:24 PM
250	The pool structure should be shaded - Skin cancer is preventable. Avoid litigation against the City of Davis. Construct a shade structure over the pool structure.	May 7, 2012 5:18 PM
251	resilient tiles for head/neck protection from accidental wall collisions during backstroke; easy entrance/exit for seniors and disabled--graded steps, not ladder at one end--I would like to volunteer to provide safety input	May 7, 2012 5:17 PM
252	Having a 50m pool available for competition and training would be a godsend. The Davis Aquatic Masters are getting crammed into the existing pools (I swam with 5 others in my lane on Saturday morning), and the desire to swim long-course is definitely there. During the summer, the Schaal workouts are well-attended. It seems to me that Davis has a decent number of "rec" pools, but is missing a real "serious" pool with either lots of 25y lanes, or fewer 50m lanes. Thanks for the opportunity to input	May 7, 2012 5:12 PM
253	Focus community pool on meeting the needs of the City's partner aquatics programs, particularly in providing a site for 50 meter training and competition. Other aquatic needs are being met adequately at Arroyo, Manor, Rec Pool at UCD, and other private club pools in Davis. Also please conduct outreach to the Davis Aquamonsters swim club, which represents an additional potential user group, which is currently utilizing space rented from UCD and from private club pools.	May 7, 2012 5:09 PM
254	Survey should include questions about ability of the pool to generate revenue running big swim meets for master's or age group swimming, or special olympics, year round.	May 7, 2012 5:06 PM
255	It would be wonderful to have a pool to host meets. Both Masters and youth levels.	May 7, 2012 5:06 PM
256	The City of Davis needs an Aquatic Center for it's aquatics teams including Water Polo, Masters Swimming and Synchronized Swimming	May 7, 2012 4:54 PM
257	I would love to see the complex be for club and competition use not recreation. Davis needs a real nice pool for those purposes for our teams to be proud of!!!	May 7, 2012 4:49 PM
258	We need a pool to host a swim meet to bring in revenue to the City of Davis. We need a pool that is 25yd. x 50 meter for competition as well as a place for swimmers to warm up and cool down. If you only build a competition pool with no warm up/down lanes, we can not host any meets. The city of Davis could greatly benefit from a natatorium, a venue for competitive events and training. We have some of the best swim teams in California, Davis Aquadarts and DHS. We have the largest Masters Club in the united states and we need to give these swimmers somewhere to train and compete. Davis Aquadarts has had to limit it's growth due to limited pool space. Davis Aquadarts is attracting swimmers from many surrounding communities since the hiring of coach Billy Doughty because he has done amazing things with this club. We	May 7, 2012 4:47 PM

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need a facility where all Aquadart workouts can be held so the coaches can collaborate and the team will feel unified. Right now, the coaches are driving all over town to coach different groups at different pools. Six months of the year, Aquadarts race in a 50 meter pool but must train in a 25 yd. pool. It is very difficult to go to a 50 meter long course meet when you're only training in a 25 yd. pool. We have an Aquadart swimmer who has qualified for the Olympic trials and I don't know how she'll prepare. As it is now, we must travel to other cities for all competitions. It's important to keep spectators in mind when planning a facility. Community park is the perfect place for a large aquatic venue because the parking is already there and the surrounding park is a nice place for families to hang out during the meet. I don't feel we need special programs at this pool because there is adequate space at the other city pools. I am unfamiliar with diving and waterpolo needs. THANK YOU!

259	Our city has multiple "recreational aquatic facilities but does not have a competitive facility suitable for our many organized aquatics teams.	May 7, 2012 4:46 PM
260	A deep water competition pool cannot support many of the uses posed in this survey. We already have family/public splash pools that have NO relation to the practical uses of a 50 meter/25 yard competition pool. The main pool CANNOT be some sort of one size fits all facility. It just won't work...	May 7, 2012 4:45 PM
261	A decent sized locker room, sufficient number of lockers and showers that work [ie. all of them have sufficient water pressure when they are all turned on]. Preferably a locker room that is not freezing cold in the winter due to gaps between the roof and the walls and a locker room with showers intended for people over 4 feet tall. Ever tried to take a shower in the locker room at Manor in the winter?	May 7, 2012 4:45 PM
262	A 50 m x 25 yd pool with sufficient spectator seating and shade structures would allow revenue-generating swimming competitions to be held and would allow for serious competitive training for various aquatic groups such as Masters, Aquadarts, water polo, and synchro groups.	May 7, 2012 4:39 PM
263	The city already has multiple pools that cater to the public's needs re: aquatics. What the city doesn't have and yet has a demand for is a competitive pool for the multiple groups in the city who compete in aquatic sports and who generate revenue for the city. Focusing on catering a new pool to their needs while reserving the existing pools for the general public's needs makes the most sense here.	May 7, 2012 4:36 PM
264	Davis needs a new aquatic sports center that includes a 50m deep pool for club swimming, youth programs, water polo, synchronized swimming and competition in all aquatic sports..	May 7, 2012 4:34 PM
265	Davis is lacking an adequate venue for large aquatic events and if built appropriately the facilities could be a great revenue generator both for the city and clubs that co sponsor them. As a long time Davis resident and tax payer I strongly support building a large aquatic facility in our city.	May 7, 2012 4:29 PM

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266	strong support for a 25 yard by 50 meter pool for revenue generating aquatic events. water polo for seniors.	May 7, 2012 4:27 PM
267	We need space for revenue generating aquatic events -- ie swim meets, H2o polo, sync swimming,. These events draw many people and could help the city. DAM swimmer.	May 7, 2012 4:27 PM
268	We really need a place to compete in Davis. Both adults and kids! Schaal is so prohibitively expensive that swim groups "double up meets" to save money. That's not good for the kids. Half of the adult and kids swim season is long course, a pool that allows long course and short course competition is necessary! Let us know how to help this process.	May 7, 2012 4:25 PM
269	Must be at least 10 feet deep.	May 7, 2012 4:08 PM
270	We would like to have a deep pool, 10 feet deep, for at least 25 meters.	May 7, 2012 4:07 PM
271	I believe the pool at community should be a specialized pool for swim team, polo and synchronized swimming. We already have two city pools in town that are oriented toward recreational swimming, plus one at the University. We have an incredibly high number of competitive aquatic teams in town, many of which are being severely hurt by the current lack of availability of rentable pool space. The location of Community Pool, away from single family residences and close to ample parking, makes it perfect for this type of pool use.	May 7, 2012 10:47 AM
272	My child uses the pools for synchronized swimming. For this sport, the pool needs to be deep enough and large enough to allow the swimmers to perform both the required figures and to cover the required amount of the pool during a routine. Please consider these needs when designing a new pool complex. Right now we are limited to only Arroyo pool for appropriate practice space and with limited accessibility, our practices are running at odd and sometimes very late hours, making it difficult for the younger swimmers to participate.	May 6, 2012 8:36 PM
273	this should be a 50 Meter pool for competitive use, not recreational use. We don't need the city to spend 5 Million again (Manor) on a pool that is only used by the community 3 months a year. Our competitive swimming groups are in the pool 12 months a year and their needs should be a priority!	May 6, 2012 7:29 PM
274	I think the pool should support primarily Aquadarts, Aquastarz,, DAM, Diving and Water polo Club, high school swimming, diving and water polo. The space for the complex should be increased in size.	May 6, 2012 9:04 AM
275	Please make this pool usable for the AquaStarz. It is currently the most suitable pool for our team and we would love to see it to continue to be used this way.	May 6, 2012 3:14 AM
276	I think it is very important to support all the competitive sports in Davis. Manor and Arroyo can support the recreational swim but synchronized swimming, water polo and competitive swimming needs to be supported in Davis.	May 5, 2012 8:49 PM

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277	Make a good Synchronized swimming pool.	May 5, 2012 8:27 PM
278	Please support synchronized swimming!	May 5, 2012 7:41 PM
279	Davis children swim before they walk. This is a very swimming-competitive town. We need a deep pool, at least 25 meters, with bleachers for spectators. The community pool complex was fine as it is now, but if something new is to be put in place, we need a pool for all kinds of swim meets to meet the needs of the ever-growing swimming community.	May 5, 2012 5:44 PM
280	I strongly support the need for a pool that can be used for synchronized swimming -- deep, 25 meters long, with bleachers for competitions, Thanks,	May 5, 2012 5:38 PM
281	I think a recreational/competition combination facility would be a great addition to the community and would get attendance from a variety of different constituencies. I noticed that in the consultants analysis that competition pool would get zero attendance from outside 25 miles away. But that seems patently incorrect. Such a pool would draw both large swim competition and water polo tournaments that would draw competitors from across Northern California and occasionally from across the State. Our highest need is a competition facility. That's why I feel strongly that a 50 meter long course pool must be a component of the facility. There shouldn't been any scenario where a rec. only facility is built. It may be a profit center for the City but profit shouldn't be what drives decisionmaking. Moreover, I wouldn't want the traffic and congestion such a regional attraction would bring with it on a regular basis throughout the Summer. Ultimately, a combination competition and recreational facility would add enormous value to the community and service the widest cross-section of Davis residents.	May 5, 2012 12:21 PM
282	The complex is centrally located. The civic center pool is not usable by the general public. A "kiddie" pool is always needed.	May 5, 2012 7:50 AM
283	Why not make the Community pool area into a destination with mini golf, a lazy river, water slides, splash play area, etc. People would come from surrounding areas then spend money in our retail/restaurants. There is ample parking if high school lot is utilized.	May 4, 2012 9:52 PM
284	It would be WONDERFUL to have family open swim times at least one morning per week at each pool (a different day at each would be splendid!). Some people's kids/toddlers sleep in the afternoon, but they have time in the morning to swim. If that's not possible, what if the water spray area were actually a attraction that could be outside? If not outside at the pool, many communities have integrated these water play areas at parks. That would be another alternative to a pool. Davis is land locked and the hot summer days either require a pool or some sort of water play!	May 4, 2012 12:07 PM
285	I think the City of Davis should have a world class competitive pool where high school and club swim, dive, water polo & synchro teams can host and practice in high level competitions. We have plenty of rec options. It would be nice to have high school aquatics near the actual school.	May 4, 2012 10:53 AM

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286	We currently have two aquatic facilities open to the public for public swimming, lessons, camps, and rentals. What DAVIS DOES NOT OFFER is an adequate venue for REVENUE GENERATING AQUATIC EVENTS. The current pools do not offer enough lanes or the depth to allow the USER GROUPS CURRENTLY RENTING FACILITIES to have enough lanes or a deep enough pool. Our Co-Sponsored User Groups currently pay other clubs to participate in High School Section trials and championships for water polo and swimming; USA Swimming Junior Olympics (under 14 years old) for short and long courses; United States Masters Swimming meets for short and long courses (not for local or championship events); USA Water Polo zone or championship events. These events draw 200-1000 FAMILIES to watch and participate in the events. Not only are the User Groups unable to benefit from this revenue, but the CITY OF DAVIS and its merchants are unable to benefit. Please consider the needs to the Co-Sponsored User Groups who rent facilities ALL YEAR above the general public wants.	May 4, 2012 9:19 AM
287	As a senior I do not use all the programs- I like to go over to Manor when it isn't too busy and just swim to cool off. It was easier when the lap lanes were not moved to the center area. Manor Pool is very nice with all the places for the kids to play and take lessons.	May 4, 2012 4:53 AM
288	Multi-use competitive aquatic complex is the next step to facilitate the high demand for pool use by the Davis Aquatics community. Youth water polo and swimming programs require a larger (50 Meter pool) to host long course swim meets and water polo tournaments. Currently, swim practices are limited due to lack of a dedicated 50 meter pool for training. The Davis Water Polo Club cannot use the current facilities to host tournaments due to the lack of regulation facilities. Davis has the largest and most accomplished youth and masters aquatics programs in the greater Sacramento region. A swim complex that can host water polo tournaments and long course meets will not only benefit our local programs, but will increase hotel/restaurant use in Davis. Great City funded Aquatic Complexes in Northern California: Roseville Aquatics Center, Folsom Aquatics Center, Morgan Hill Aquatics Center, Soda Aquatics Complex (Moraga). Make it happen in Davis!	May 3, 2012 11:26 PM
289	more place to change after swimming. Snack bar or at least drink	May 3, 2012 7:08 PM
290	All deep Schaal like pool with movable bulkhead. 25yd x 60+ M. Additional 25yd x 25yd all deep pool. Removable platforms can be used for shallow needs or third shallow pool.	May 3, 2012 6:17 PM
291	I believe there is a critical need for an aquatic center to provide swim lessons, fitness classes, and lap swimming. The site should also be configured to host large competitive swim events and water polo tournaments. The project should be done in collaboration with the school district and local aquatic clubs who should contribute to the ongoing maintenance of the facility. It seems that recreational needs are sufficiently covered by the Arroyo and Manor pool, but if adding those additional features such as a water slide will help the project pencil-out then it should be considered. However, I don't think the recreational components should be done in lieu of designing a competition capable facility. To me that's where the highest need is and that should be the highest priority. Dan Reeves 3618 Alegre Way Davis, CA 95618 (530) 753-	May 3, 2012 4:18 PM

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5718		
292	I encourage use of facilities for all age groups without the need to encourage activities (like food on the premises) which detract the functionality of the premises which should b mainly to provide the venue for such activities and these activities alone.	May 3, 2012 11:40 AM
293	no comments	May 3, 2012 8:05 AM
294	I know studies have shown that the more recreation swimming a pool has, the better it performs, financially. However, Davis, in its never-ending goal to be different, is truly a swimming town. Kids learn to swim here, sometimes before they walk. They then go into soccer, baseball or softball or swimming or more than one (or three) sports. The success of the Davis swim teams is no accident. So, the recreation vs. competition uses of pools in Davis may not be the same as that of most other communities of the same size/income.	May 2, 2012 9:40 PM
295	I like the way it is now but I'd like to see what ideas they come up with. It better not break the budget or cause cut backs to other park maintenance in the city.	May 2, 2012 9:18 PM
296	For spread-out locations and traffic concerns, the new city swimming pool should be relocated to South Davis, not downtown.	May 2, 2012 8:53 PM
297	Can opne services by charge in front of the pool.	May 2, 2012 7:56 PM
298	Make it affordable so that something reasonable actually happens. Don't need it over done. What existed before wasn't that bad.	May 2, 2012 6:45 PM
299	It would be great if Davis had a city indoor pool!	May 2, 2012 5:37 PM
300	teaching and summer programs for young swimmers are most important - like the mini-darts, summer-darts, aquadarts, aquastarz, youth water polo, youth diving, etc. Masters and Aquadarts need a pool to do 50 meter training. The City does not have that now, and UCD has not been very cooperative in sharing their 50 m pool.	May 2, 2012 5:22 PM
301	If this survey and will be analyzed well :) so nice and gets excellent job to the City of Davis. Good Luck.	May 2, 2012 5:14 PM
302	I am very interested in adult lap swim lessons that are not part of a swimming club or competition.	May 2, 2012 5:13 PM
303	the Pool at the City of Folsom's complex is awesome. filled to capacity all summer with the in water spray ground. People would come from woodland and dixon to come play in the pool. Thats what you should build. It would bring in revenue.	May 2, 2012 4:59 PM

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304	I support the full development of a water park style swim complex. It would be wonderful to improve our community in such a positive manner. Our long warm season justifies such a water complex and this vision will excite and motivate our already active Davis community to be even more active and proud. Even for those that do not swim the complex can be an inviting place to cool off, relax under the shade and become a spectator of a swim meet or a water polo match. How exciting this proposal is! I hope the residents of Davis back this idea, it will be money well spent. All the best!	May 2, 2012 4:54 PM
305	I think Community pool should and could be a destination park for neighboring communities and has the potential to be heavily supplemented by fees paid by non-Davis residents. A Lazy River and child/family friendly play space would be ideal. It could be the centerpiece of a mini outdoor recreation space with a mini golf course, shuffle board, ping pong, etc. It could also be a space that replaces the lost teen center with its location next to tennis courts, soccer and baseball fields and the skate park. There are top quality lap pool, diving and water polo options on campus and at other pools so though I think accommodating the High School needs for a competitive pool and swimmers like myself who want to get in some exercise is important, the most unmet need currently is a space that is a real family destination. Concessions, rental space, etc. seem to be good options for supplementing the cost of the space.	May 2, 2012 4:53 PM
306	This facility should be oriented towards sports swimming - Masters, Aquadarts, Water Polo, Synchro, with lap swimming as an option, while recreational uses should be focused at the other pools.	May 1, 2012 6:13 PM

**APPENDIX 4
PRELIMINARY COST
ESTIMATES
SITE PLAN OPTIONS 1-3**

NO.	DESCRIPTION	QTY.	UNIT	UNIT COST	EXTENSION
1.0	General:				
1.1	General Conditions	1	LS	\$75,000	\$75,000
1.2	Demolition	1	LS	\$150,000	\$150,000
				Subtotal	\$225,000
2.0	Misc. Site Work:				
2.1	Decks / Walkways	19,258	SF	\$15	\$288,870
2.2	Landscape / Irrigation	14,231	SF	\$7	\$99,617
2.3	Perimeter Fencing	643	LF	\$60	\$38,580
2.4	Site Lighting	1	LS	\$75,000	\$75,000
				Subtotal	\$502,067
3.0	Site Grading:				
3.1	Cut	5,910	CY	\$5	\$29,550
3.2	Fill	3,420	CY	\$5	\$17,100
3.3	Export or Additional Fill	2,490	CY	\$5	\$12,450
				Subtotal	\$59,100
4.0	Potable Water:				
4.1	Extend existing service	150	LF	\$20	\$3,000
4.2	Connect to existing	1	EA	\$1,500	\$1,500
				Subtotal	\$4,500
5.0	Sanitary Sewer:				
5.1	Demo existing 6" sewer	240	LF	\$30	\$7,200
5.2	8" sewer to new building	390	LF	\$50	\$19,500
5.3	Manhole	2	EA	\$2,000	\$4,000
5.4	Connect to existing	1	EA	\$1,750	\$1,750
5.5	Restore existing surface	1,200	SF	\$5	\$6,000
				Subtotal	\$38,450
6.0	Storm Drainage:				
6.1	Extend existing service	150	LF	\$50	\$7,500
6.2	Manhole	2	EA	\$2,000	\$4,000
6.3	Connect to existing	1	EA	\$1,500	\$1,500
				Subtotal	\$13,000

NO.	DESCRIPTION	QTY.	UNIT	UNIT COST	EXTENSION
7.0	Electrical:				
7.1	Replace existing 208 volt PG&E transformer and main switchboard with new 480 volt PG&E transformer and main switchboard. New 150 KVA transformer and 208 volt switchboard to serve existing park loads to remain. New feeders to the existing park loads to remain, to the new pool equipment, and to the new pool buildings.	1	EA	\$220,000	\$220,000
7.2	New 150 KVA transformer and 208 volt, 600 amp panel to serve the new pool buildings	1	EA	\$20,000	\$20,000
				Subtotal	<u>\$240,000</u>
8.0	Buildings:				
8.1	Building #1	6,000	SF	\$300	\$1,800,000
8.2	Building #2	2,000	SF	\$200	\$400,000
8.3	Spectator Seating	2,500	SF	\$75	\$187,500
8.4	Shade Structures	2,000	SF	\$50	\$100,000
				Subtotal	<u>\$2,487,500</u>
9.0	Swimming Pools:				
9.1	Competition Pool	12,826	SF	\$175	\$2,244,550
9.2	Swimming Pool	3,379	SF	\$175	\$591,325
				Subtotal	<u>\$2,835,875</u>

SUMMARY OF ALL COSTS:

1.0	GENERAL	\$225,000
2.0	MISC. SITE WORK	\$502,067
3.0	SITE GRADING	\$59,100
4.0	POTABLE WATER	\$4,500
5.0	SANITARY SEWER	\$38,450
6.0	STORM DRAINAGE	\$13,000
7.0	ELECTRICAL	\$240,000
8.0	BUILDINGS	\$2,487,500
9.0	SWIMMING POOLS	\$2,835,875

TOTAL HARD COSTS	\$6,405,492
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PLUS DESIGN CONTINGENCY AT 5%	\$320,275
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PLUS CONSTRUCTION CONTINGENCY AT 10%	\$640,549
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PLUS A/E FEES AT 10%	\$640,549
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PLUS SOFT COSTS AT 15%	\$960,824
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GRAND TOTAL**\$8,967,689**

NO.	DESCRIPTION	QTY.	UNIT	UNIT COST	EXTENSION
1.0	General:				
1.1	General Conditions	1	LS	\$75,000	\$75,000
1.2	Demolition	1	LS	\$150,000	\$150,000
				Subtotal	\$225,000
2.0	Misc. Site Work:				
2.1	Decks / Walkways	18,774	SF	\$15	\$281,610
2.2	Landscape / Irrigation	16,971	SF	\$7	\$118,797
2.3	Perimeter Fencing	643	LF	\$60	\$38,580
2.4	Site Lighting	1	LS	\$75,000	\$75,000
				Subtotal	\$513,987
3.0	Site Grading:				
3.1	Cut	5,910	CY	\$5	\$29,550
3.2	Fill	3,420	CY	\$5	\$17,100
3.3	Export or Additional Fill	2,490	CY	\$5	\$12,450
				Subtotal	\$59,100
4.0	Potable Water:				
4.1	Extend existing service	150	LF	\$20	\$3,000
4.2	Connect to existing	1	EA	\$1,500	\$1,500
				Subtotal	\$4,500
5.0	Sanitary Sewer:				
5.1	Demo existing 6" sewer	240	LF	\$30	\$7,200
5.2	8" sewer to new building	390	LF	\$50	\$19,500
5.3	Manhole	2	EA	\$2,000	\$4,000
5.4	Connect to existing	1	EA	\$1,750	\$1,750
5.5	Restore existing surface	1,200	SF	\$5	\$6,000
				Subtotal	\$38,450
6.0	Storm Drainage:				
6.1	Extend existing service	150	LF	\$50	\$7,500
6.2	Manhole	2	EA	\$2,000	\$4,000
6.3	Connect to existing	1	EA	\$1,500	\$1,500
				Subtotal	\$13,000

NO.	DESCRIPTION	QTY.	UNIT	UNIT COST	EXTENSION
7.0	Electrical:				
7.1	Replace existing 208 volt PG&E transformer and main switchboard with new 480 volt PG&E transformer and main switchboard. New 150 KVA transformer and 208 volt switchboard to serve existing park loads to remain. New feeders to the existing park loads to remain, to the new pool equipment, and to the new pool buildings.	1	EA	\$220,000	\$220,000
7.2	New 150 KVA transformer and 208 volt, 600 amp panel to serve the new pool buildings	1	EA	\$20,000	\$20,000
				Subtotal	\$240,000
8.0	Buildings:				
8.1	Building #1	4,400	SF	\$300	\$1,320,000
8.2	Building #2	2,450	SF	\$200	\$490,000
8.3	Spectator Seating	2,500	SF	\$75	\$187,500
8.4	Shade Structures	1,600	SF	\$50	\$80,000
				Subtotal	\$2,077,500
9.0	Swimming Pools:				
9.1	Competition Pool	8,684	SF	\$175	\$1,519,700
9.2	Activity Pool	5,835	SF	\$125	\$729,375
9.3	Wet Play Structure	1	LS	\$150,000	\$150,000
9.4	Splash Pad	921	SF	\$125	\$115,125
9.5	Wet Play Elements	1	LS	\$50,000	\$50,000
				Subtotal	\$2,564,200

SUMMARY OF ALL COSTS:

1.0	GENERAL	\$225,000
2.0	MISC. SITE WORK	\$513,987
3.0	SITE GRADING	\$59,100
4.0	POTABLE WATER	\$4,500
5.0	SANITARY SEWER	\$38,450
6.0	STORM DRAINAGE	\$13,000
7.0	ELECTRICAL	\$240,000
8.0	BUILDINGS	\$2,077,500
9.0	SWIMMING POOLS	\$2,564,200

TOTAL HARD COSTS	\$5,735,737
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PLUS DESIGN CONTINGENCY AT 5%	\$286,787
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PLUS CONSTRUCTION CONTINGENCY AT 10%	\$573,574
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PLUS A/E FEES AT 10%	\$573,574
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PLUS SOFT COSTS AT 15%	\$860,361
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GRAND TOTAL**\$8,030,032**

NO.	DESCRIPTION	QTY.	UNIT	UNIT COST	EXTENSION
1.0	General:				
1.1	General Conditions	1	LS	\$75,000	\$75,000
1.2	Demolition	1	LS	\$150,000	\$150,000
				Subtotal	\$225,000
2.0	Misc. Site Work:				
2.1	Decks / Walkways	40,553	SF	\$15	\$608,295
2.2	Landscape / Irrigation	6,900	SF	\$7	\$48,300
2.3	Perimeter Fencing	836	LF	\$60	\$50,160
2.4	Site Lighting	1	LS	\$50,000	\$50,000
				Subtotal	\$756,755
3.0	Site Grading:				
3.1	Cut	5,910	CY	\$5	\$29,550
3.2	Fill	3,420	CY	\$5	\$17,100
3.3	Export or Additional Fill	2,490	CY	\$5	\$12,450
				Subtotal	\$59,100
4.0	Potable Water:				
4.1	Extend existing service	150	LF	\$20	\$3,000
4.2	Connect to existing	1	EA	\$1,500	\$1,500
				Subtotal	\$4,500
5.0	Sanitary Sewer:				
5.1	Demo existing 6" sewer	240	LF	\$30	\$7,200
5.2	8" sewer to new building	390	LF	\$50	\$19,500
5.3	Manhole	2	EA	\$2,000	\$4,000
5.4	Connect to existing	1	EA	\$1,750	\$1,750
5.5	Restore existing surface	1,200	SF	\$5	\$6,000
				Subtotal	\$38,450
6.0	Storm Drainage:				
6.1	Extend existing service	150	LF	\$50	\$7,500
6.2	Manhole	2	EA	\$2,000	\$4,000
6.3	Connect to existing	1	EA	\$1,500	\$1,500
				Subtotal	\$13,000

NO.	DESCRIPTION	QTY.	UNIT	UNIT COST	EXTENSION
7.0	Electrical:				
7.1	Replace existing 208 volt PG&E transformer and main switchboard with new 480 volt PG&E transformer and main switchboard. New 150 KVA transformer and 208 volt switchboard to serve existing park loads to remain. New feeders to the existing park loads to remain, to the new pool equipment, and to the new pool buildings.	1	EA	\$220,000	\$220,000
7.2	New 150 KVA transformer and 208 volt, 600 amp panel to serve the new pool buildings	1	EA	\$20,000	\$20,000
				Subtotal	\$240,000
8.0	Buildings:				
8.1	Building #1	10,200	SF	\$300	\$3,060,000
				Subtotal	\$3,060,000
9.0	Swimming Pools:				
9.1	Lazy River	10,672	SF	\$125	\$1,334,000
9.2	Activity Pool	3,363	SF	\$125	\$420,375
9.3	Wet Play Structure	1	LS	\$150,000	\$150,000
9.4	Waterslides / Tower	1	LS	\$450,000	\$450,000
9.5	Receiving Pool	1,088	SF	\$125	\$136,000
9.6	Lap Swimming Pool	3,379	SF	\$175	\$591,325
9.7	Splash Pad	1,963	SF	\$125	\$245,375
9.8	Wet Play Elements	1	LS	\$75,000	\$75,000
				Subtotal	\$3,402,075

SUMMARY OF ALL COSTS:

1.0	GENERAL	\$225,000
2.0	MISC. SITE WORK	\$756,755
3.0	SITE GRADING	\$59,100
4.0	POTABLE WATER	\$4,500
5.0	SANITARY SEWER	\$38,450
6.0	STORM DRAINAGE	\$13,000
7.0	ELECTRICAL	\$240,000
8.0	BUILDINGS	\$3,060,000
9.0	SWIMMING POOLS	\$3,402,075

TOTAL HARD COSTS	\$7,798,880
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PLUS DESIGN CONTINGENCY AT 5%	\$389,944
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PLUS CONSTRUCTION CONTINGENCY AT 10%	\$779,888
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PLUS A/E FEES AT 10%	\$779,888
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PLUS SOFT COSTS AT 15%	\$1,169,832
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GRAND TOTAL**\$10,918,432**

APPENDIX 5
ESRI DEMOGRAPHIC AND
INCOME COMPARISON
PROFILES



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
Donuts: 0-5, 5-10, 10-15 miles radii

Latitude: 38.55609
Longitude: -121.74779

	0 - 5 miles	5 - 10 miles	10 - 15 miles
2000 Summary			
Population	67,690	69,177	209,284
Households	24,868	23,043	85,817
Families	12,699	17,309	48,678
Average Household Size	2.49	2.95	2.37
Owner Occupied Housing Units	11,232	14,276	41,900
Renter Occupied Housing Units	13,636	8,767	43,917
Median Age	24.9	32.5	35.4
2010 Summary			
Population	74,761	86,966	265,536
Households	27,376	28,279	107,911
Families	13,702	21,035	61,798
Average Household Size	2.49	3.02	2.41
Owner Occupied Housing Units	11,535	17,234	55,155
Renter Occupied Housing Units	15,842	11,045	52,756
Median Age	25.9	33.4	36.7
2015 Summary			
Population	78,473	93,144	285,217
Households	28,809	30,160	115,661
Families	14,257	22,290	65,943
Average Household Size	2.50	3.04	2.42
Owner Occupied Housing Units	12,009	18,480	60,030
Renter Occupied Housing Units	16,800	11,680	55,631
Median Age	26.4	33.7	36.9
Trends: 2010-2015 Annual Rate			
Population	0.97%	1.38%	1.44%
Households	1.03%	1.30%	1.40%
Families	0.80%	1.17%	1.31%
Owner Households	0.81%	1.41%	1.71%
Median Household Income	3.64%	2.08%	3.12%

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

March 29, 2012



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
 Donuts: 0-5, 5-10, 10-15 miles radii

Latitude: 38.55609
 Longitude: -121.74779

2000 Households by Income	0 - 5 miles		5 - 10 miles		10 - 15 miles	
	Number	Percent	Number	Percent	Number	Percent
<\$15,000	5,195	20.9%	2,579	11.2%	15,892	18.5%
\$15,000 - \$24,999	3,063	12.3%	2,706	11.7%	10,940	12.7%
\$25,000 - \$34,999	2,583	10.4%	2,865	12.4%	11,452	13.3%
\$35,000 - \$49,999	2,786	11.2%	4,325	18.8%	13,888	16.2%
\$50,000 - \$74,999	3,761	15.1%	5,257	22.8%	15,964	18.6%
\$75,000 - \$99,999	2,549	10.2%	2,895	12.6%	7,923	9.2%
\$100,000 - \$149,999	3,046	12.2%	1,834	8.0%	6,786	7.9%
\$150,000 - \$199,000	1,106	4.4%	338	1.5%	1,688	2.0%
\$200,000+	789	3.2%	248	1.1%	1,339	1.6%
Median Household Income	\$42,518		\$46,337		\$39,191	
Average Household Income	\$61,337		\$54,464		\$51,899	
Per Capita Income	\$22,877		\$18,648		\$21,710	

2010 Households by Income	0 - 5 miles		5 - 10 miles		10 - 15 miles	
	Number	Percent	Number	Percent	Number	Percent
<\$15,000	4,350	15.9%	2,028	7.2%	13,734	12.7%
\$15,000 - \$24,999	2,904	10.6%	2,250	8.0%	10,952	10.1%
\$25,000 - \$34,999	2,363	8.6%	2,187	7.7%	9,705	9.0%
\$35,000 - \$49,999	3,041	11.1%	4,759	16.8%	17,442	16.2%
\$50,000 - \$74,999	4,185	15.3%	7,150	25.3%	24,196	22.4%
\$75,000 - \$99,999	3,085	11.3%	4,516	16.0%	14,172	13.1%
\$100,000 - \$149,999	4,165	15.2%	4,084	14.4%	11,508	10.7%
\$150,000 - \$199,000	1,605	5.9%	696	2.5%	3,360	3.1%
\$200,000+	1,677	6.1%	610	2.2%	2,840	2.6%
Median Household Income	\$55,119		\$60,032		\$51,810	
Average Household Income	\$79,003		\$70,121		\$64,891	
Per Capita Income	\$30,599		\$23,264		\$26,817	

2015 Households by Income	0 - 5 miles		5 - 10 miles		10 - 15 miles	
	Number	Percent	Number	Percent	Number	Percent
<\$15,000	3,733	13.0%	1,680	5.6%	11,942	10.3%
\$15,000 - \$24,999	2,562	8.9%	1,927	6.4%	9,678	8.4%
\$25,000 - \$34,999	1,971	6.8%	1,730	5.7%	8,042	7.0%
\$35,000 - \$49,999	2,933	10.2%	3,706	12.3%	14,679	12.7%
\$50,000 - \$74,999	4,414	15.3%	8,267	27.4%	27,606	23.9%
\$75,000 - \$99,999	3,228	11.2%	5,295	17.6%	17,536	15.2%
\$100,000 - \$149,999	5,557	19.3%	5,649	18.7%	17,048	14.7%
\$150,000 - \$199,000	2,076	7.2%	974	3.2%	4,952	4.3%
\$200,000+	2,336	8.1%	932	3.1%	4,178	3.6%
Median Household Income	\$65,916		\$66,549		\$60,403	
Average Household Income	\$92,214		\$79,216		\$74,929	
Per Capita Income	\$35,599		\$26,178		\$30,861	

Data Note: Income is expressed in current dollars.

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

March 29, 2012



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
 Donuts: 0-5, 5-10, 10-15 miles radii

Latitude: 38.55609
 Longitude: -121.74779

	0 - 5 miles		5 - 10 miles		10 - 15 miles	
2000 Population by Age						
Age 0 - 4	3,142	4.6%	5,543	8.0%	13,178	6.3%
Age 5 - 9	3,554	5.3%	5,947	8.6%	14,806	7.1%
Age 10 - 14	3,620	5.3%	5,840	8.4%	14,704	7.0%
Age 15 - 19	9,329	13.8%	5,312	7.7%	13,631	6.5%
Age 20 - 24	14,386	21.3%	4,472	6.5%	14,453	6.9%
Age 25 - 34	9,990	14.8%	10,184	14.7%	32,452	15.5%
Age 35 - 44	8,086	11.9%	11,017	15.9%	33,202	15.9%
Age 45 - 54	7,432	11.0%	8,958	13.0%	29,869	14.3%
Age 55 - 64	3,677	5.4%	5,023	7.3%	17,107	8.2%
Age 65 - 74	2,225	3.3%	3,374	4.9%	13,221	6.3%
Age 75 - 84	1,691	2.5%	2,516	3.6%	9,478	4.5%
Age 85+	558	0.8%	991	1.4%	3,182	1.5%
2010 Population by Age						
	Number	Percent	Number	Percent	Number	Percent
Age 0 - 4	3,586	4.8%	7,119	8.2%	17,496	6.6%
Age 5 - 9	3,438	4.6%	6,854	7.9%	16,518	6.2%
Age 10 - 14	3,282	4.4%	6,462	7.4%	15,754	5.9%
Age 15 - 19	10,005	13.4%	6,481	7.5%	17,151	6.5%
Age 20 - 24	15,780	21.1%	5,925	6.8%	19,293	7.3%
Age 25 - 34	12,951	17.3%	12,563	14.4%	40,222	15.1%
Age 35 - 44	7,238	9.7%	11,873	13.7%	35,987	13.6%
Age 45 - 54	7,940	10.6%	12,078	13.9%	37,948	14.3%
Age 55 - 64	5,469	7.3%	8,865	10.2%	31,642	11.9%
Age 65 - 74	2,580	3.5%	4,539	5.2%	17,038	6.4%
Age 75 - 84	1,687	2.3%	2,751	3.2%	11,224	4.2%
Age 85+	804	1.1%	1,457	1.7%	5,261	2.0%
2015 Population by Age						
Age 0 - 4	3,828	4.9%	7,590	8.1%	18,966	6.7%
Age 5 - 9	3,730	4.8%	7,383	7.9%	18,043	6.3%
Age 10 - 14	3,471	4.4%	7,095	7.6%	17,268	6.1%
Age 15 - 19	9,788	12.5%	6,327	6.8%	16,018	5.6%
Age 20 - 24	16,376	20.9%	6,216	6.7%	19,992	7.0%
Age 25 - 34	13,024	16.6%	13,821	14.8%	45,188	15.8%
Age 35 - 44	8,802	11.2%	12,287	13.2%	37,228	13.1%
Age 45 - 54	7,640	9.7%	11,795	12.7%	36,901	12.9%
Age 55 - 64	5,800	7.4%	10,019	10.8%	34,944	12.3%
Age 65 - 74	3,414	4.4%	6,148	6.6%	23,385	8.2%
Age 75 - 84	1,766	2.3%	2,982	3.2%	11,708	4.1%
Age 85+	835	1.1%	1,482	1.6%	5,576	2.0%

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

March 29, 2012

Made with Esri Business Analyst



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
 Donuts: 0-5, 5-10, 10-15 miles radii

Latitude: 38.55609
 Longitude: -121.74779

2000 Race and Ethnicity	0 - 5 miles		5 - 10 miles		10 - 15 miles	
	Number	Percent	Number	Percent	Number	Percent
White Alone	46,955	69.4%	47,180	68.2%	114,681	54.8%
Black Alone	1,594	2.4%	1,021	1.5%	23,714	11.3%
American Indian Alone	433	0.6%	916	1.3%	2,589	1.2%
Asian Alone	12,106	17.9%	2,453	3.5%	31,632	15.1%
Pacific Islander Alone	151	0.2%	191	0.3%	1,359	0.6%
Some Other Race Alone	3,101	4.6%	14,026	20.3%	22,547	10.8%
Two or More Races	3,351	5.0%	3,389	4.9%	12,762	6.1%
Hispanic Origin (Any Race)	6,897	10.2%	25,631	37.1%	45,915	21.9%

2010 Race and Ethnicity						
	Number	Percent	Number	Percent	Number	Percent
White Alone	45,984	61.5%	54,409	62.6%	133,718	50.4%
Black Alone	2,426	3.2%	1,840	2.1%	28,405	10.7%
American Indian Alone	522	0.7%	1,135	1.3%	3,329	1.3%
Asian Alone	16,932	22.6%	4,321	5.0%	44,770	16.9%
Pacific Islander Alone	269	0.4%	447	0.5%	2,126	0.8%
Some Other Race Alone	4,197	5.6%	19,828	22.8%	34,763	13.1%
Two or More Races	4,431	5.9%	4,987	5.7%	18,425	6.9%
Hispanic Origin (Any Race)	9,185	12.3%	36,123	41.5%	70,810	26.7%

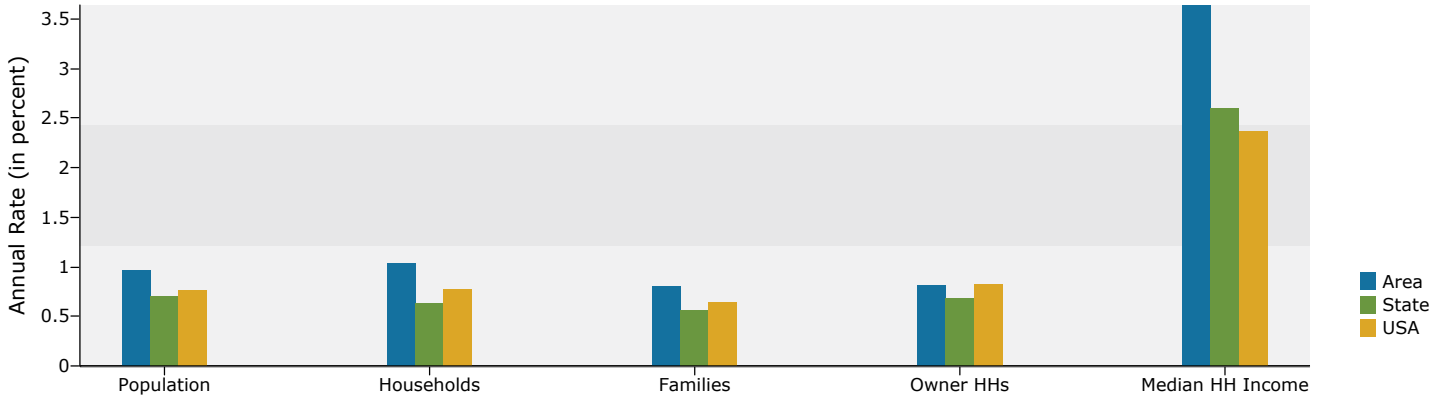
2015 Race and Ethnicity						
	Number	Percent	Number	Percent	Number	Percent
White Alone	45,432	57.9%	55,769	59.9%	139,956	49.1%
Black Alone	2,877	3.7%	2,225	2.4%	29,039	10.2%
American Indian Alone	556	0.7%	1,218	1.3%	3,527	1.2%
Asian Alone	19,578	24.9%	5,234	5.6%	49,890	17.5%
Pacific Islander Alone	274	0.3%	493	0.5%	2,187	0.8%
Some Other Race Alone	4,761	6.1%	22,514	24.2%	39,948	14.0%
Two or More Races	4,996	6.4%	5,690	6.1%	20,670	7.2%
Hispanic Origin (Any Race)	10,362	13.2%	40,961	44.0%	81,599	28.6%

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

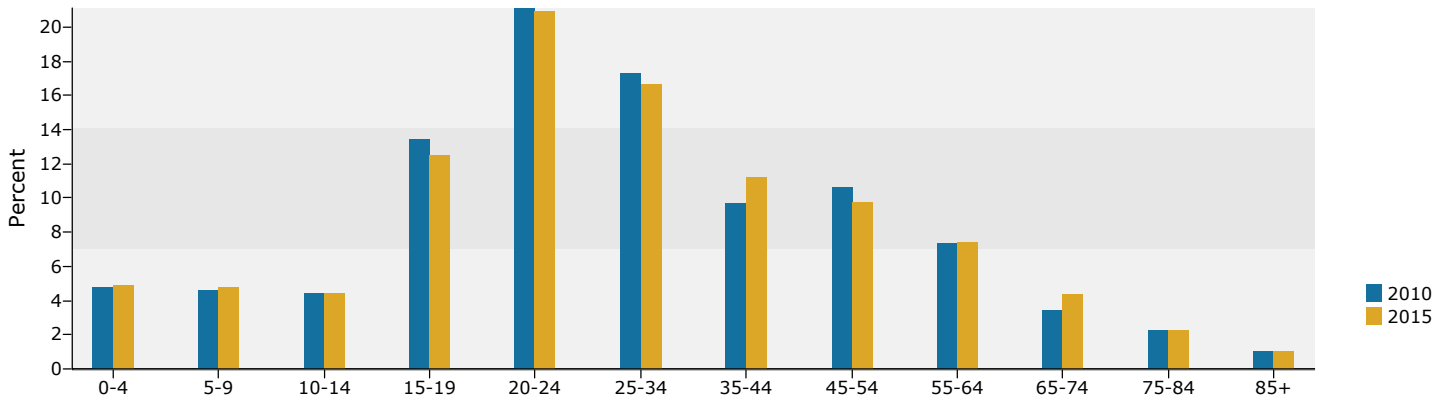
March 29, 2012

0 - 5 miles

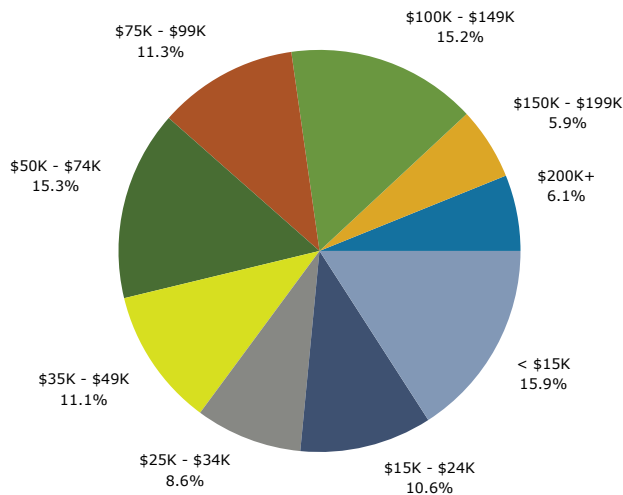
Trends 2010-2015



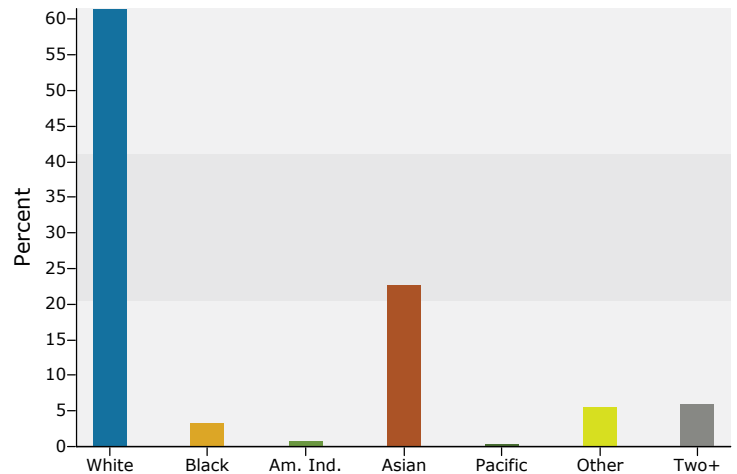
Population by Age



2010 Household Income



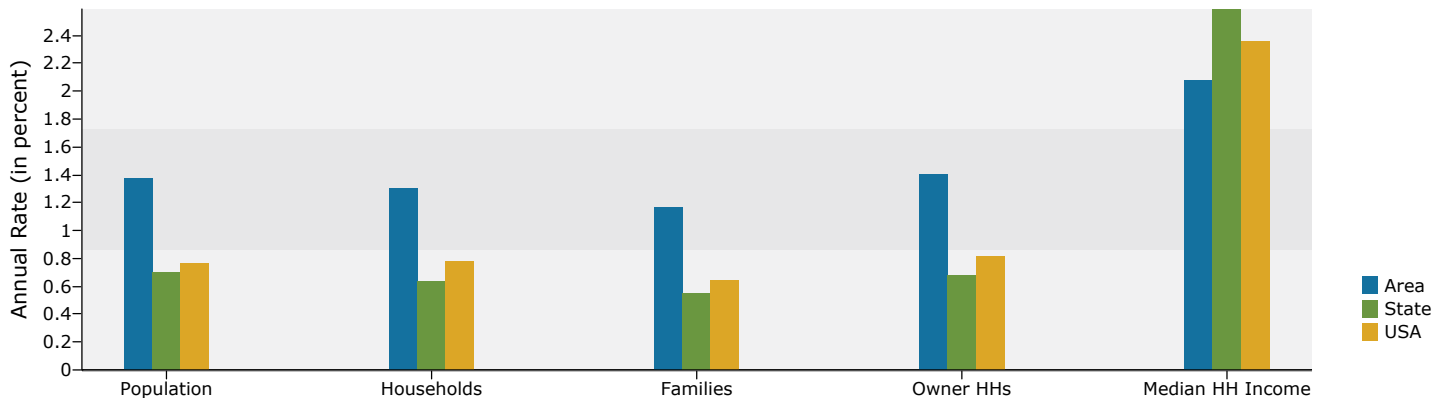
2010 Population by Race



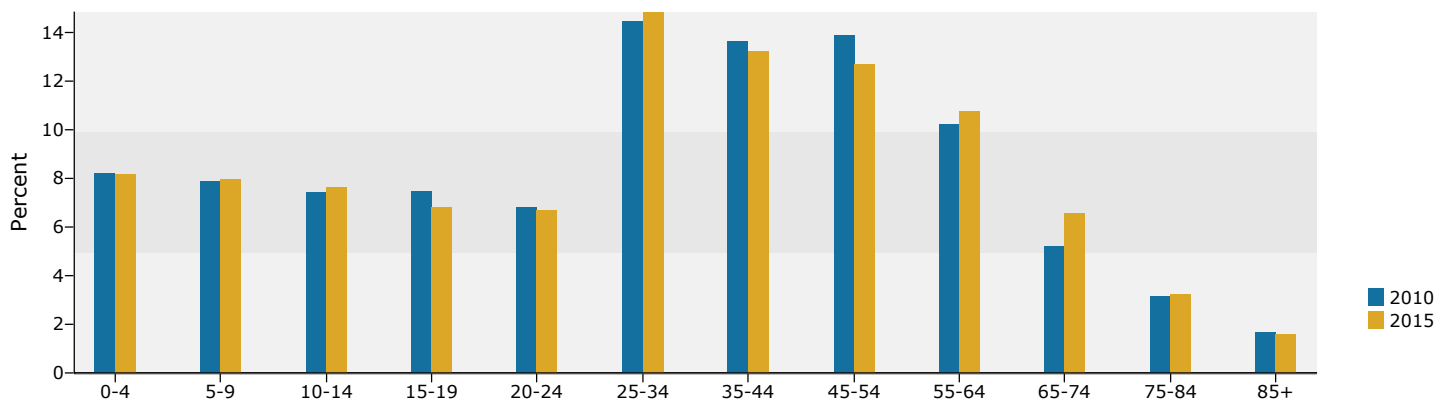
Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

5 - 10 miles

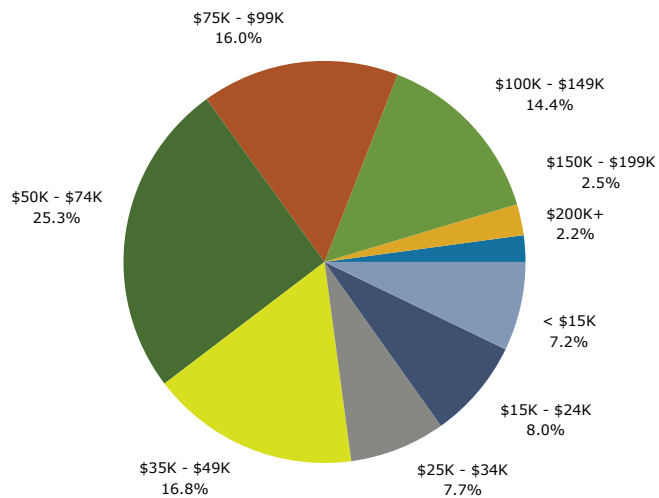
Trends 2010-2015



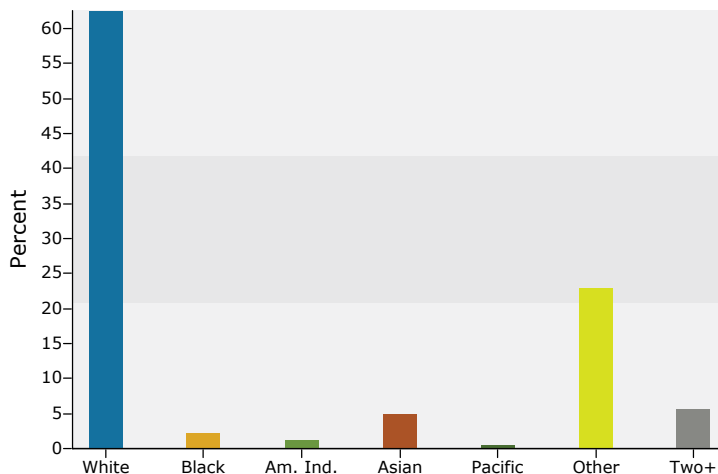
Population by Age



2010 Household Income



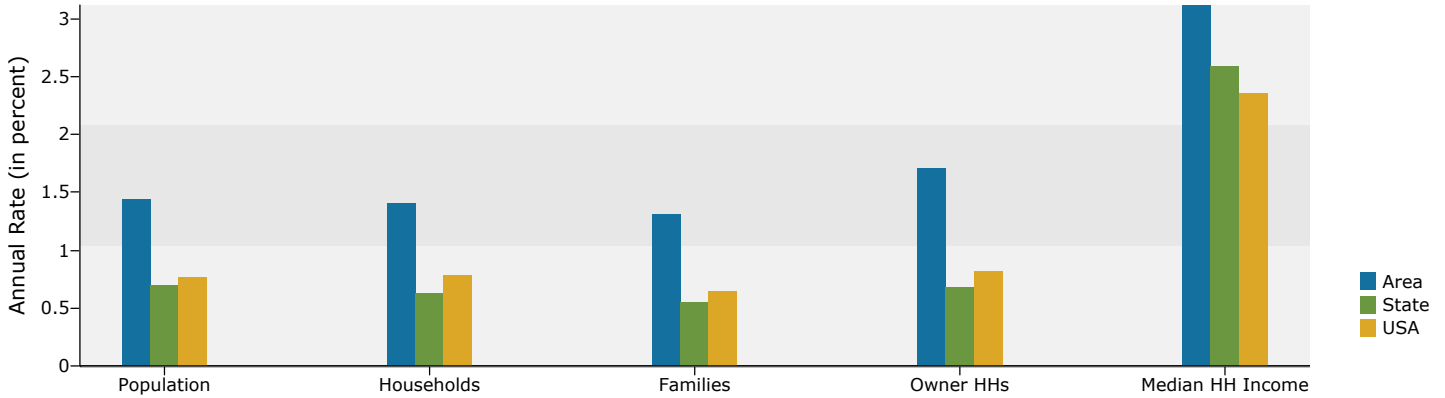
2010 Population by Race



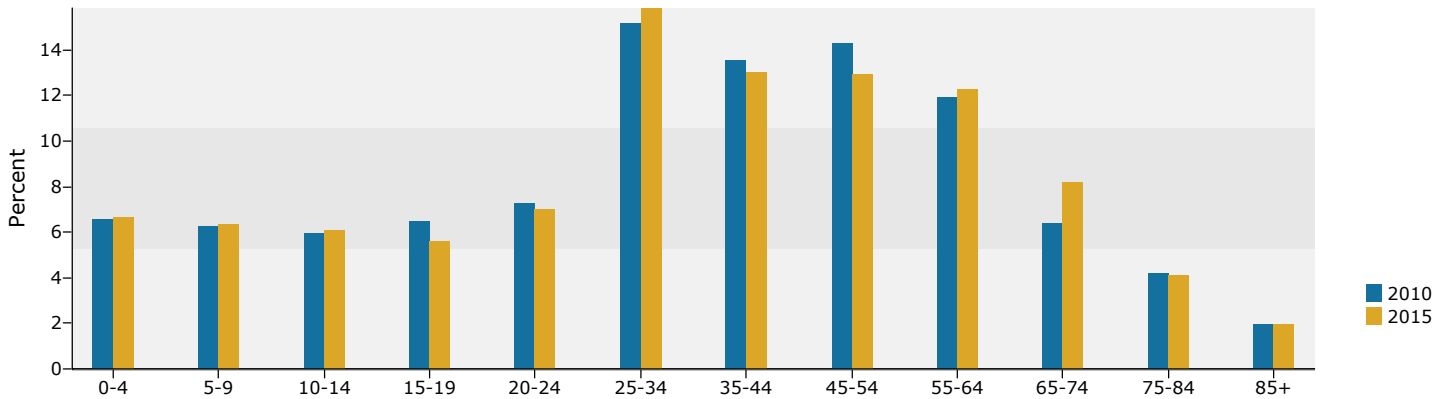
Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

10 - 15 miles

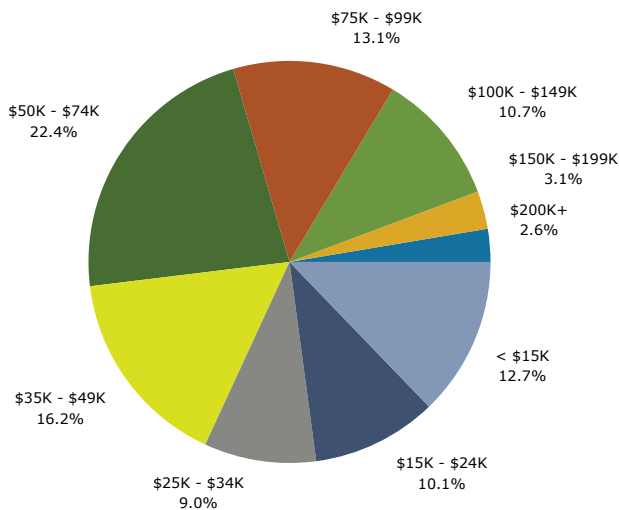
Trends 2010-2015



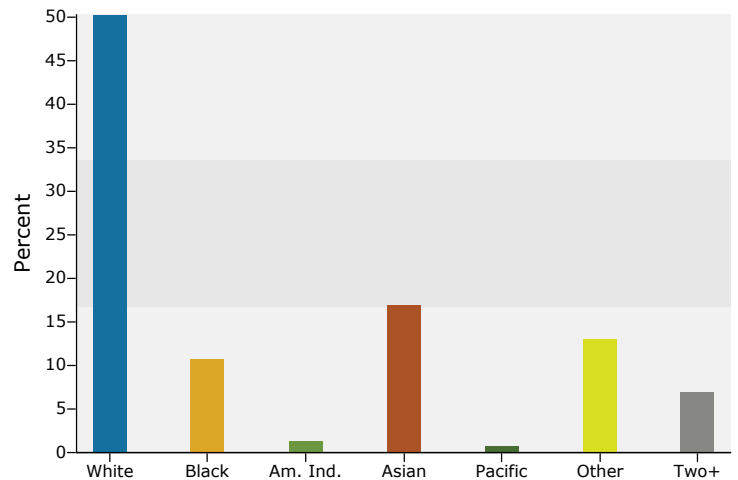
Population by Age



2010 Household Income



2010 Population by Race



Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
Donuts: 0-15, 15-20, 20-25 miles radii

Latitude: 38.55609
Longitude: -121.74779

	0 - 15 miles	15 - 20 miles	20 - 25 miles
2000 Summary			
Population	346,152	499,402	442,313
Households	133,728	176,656	156,058
Families	78,687	116,212	110,333
Average Household Size	2.50	2.79	2.73
Owner Occupied Housing Units	67,408	97,624	96,378
Renter Occupied Housing Units	66,320	79,032	59,680
Median Age	32.8	31.6	33.6
2010 Summary			
Population	427,263	563,561	520,828
Households	163,566	196,228	180,960
Families	96,535	128,809	128,469
Average Household Size	2.53	2.84	2.79
Owner Occupied Housing Units	83,923	106,080	111,711
Renter Occupied Housing Units	79,643	90,148	69,249
Median Age	33.8	32.2	34.8
2015 Summary			
Population	456,834	586,861	548,997
Households	174,630	203,520	190,027
Families	102,491	132,929	134,379
Average Household Size	2.54	2.85	2.80
Owner Occupied Housing Units	90,519	110,223	117,858
Renter Occupied Housing Units	84,110	93,297	72,169
Median Age	34.2	32.5	35.1
Trends: 2010-2015 Annual Rate			
Population	1.35%	0.81%	1.06%
Households	1.32%	0.73%	0.98%
Families	1.20%	0.63%	0.90%
Owner Households	1.53%	0.77%	1.08%
Median Household Income	2.97%	3.07%	2.55%

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

March 29, 2012



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
 Donuts: 0-15, 15-20, 20-25 miles radii

Latitude: 38.55609
 Longitude: -121.74779

2000 Households by Income	0 - 15 miles		15 - 20 miles		20 - 25 miles	
	Number	Percent	Number	Percent	Number	Percent
<\$15,000	23,666	17.7%	30,154	17.1%	16,698	10.7%
\$15,000 - \$24,999	16,709	12.5%	23,809	13.5%	17,326	11.1%
\$25,000 - \$34,999	16,900	12.6%	23,016	13.0%	20,181	12.9%
\$35,000 - \$49,999	21,000	15.7%	30,573	17.3%	27,979	17.9%
\$50,000 - \$74,999	24,982	18.7%	34,291	19.4%	34,821	22.3%
\$75,000 - \$99,999	13,367	10.0%	17,238	9.8%	19,513	12.5%
\$100,000 - \$149,999	11,666	8.7%	12,421	7.0%	14,326	9.2%
\$150,000 - \$199,000	3,132	2.3%	2,975	1.7%	3,040	1.9%
\$200,000+	2,376	1.8%	2,287	1.3%	2,240	1.4%
Median Household Income	\$41,107		\$40,068		\$47,450	
Average Household Income	\$54,096		\$51,151		\$58,167	
Per Capita Income	\$21,326		\$18,329		\$21,074	

2010 Households by Income	0 - 15 miles		15 - 20 miles		20 - 25 miles	
	Number	Percent	Number	Percent	Number	Percent
<\$15,000	20,112	12.3%	23,641	12.0%	12,162	6.7%
\$15,000 - \$24,999	16,106	9.8%	20,910	10.7%	13,363	7.4%
\$25,000 - \$34,999	14,256	8.7%	18,734	9.5%	14,907	8.2%
\$35,000 - \$49,999	25,242	15.4%	31,860	16.2%	27,399	15.1%
\$50,000 - \$74,999	35,531	21.7%	43,238	22.0%	43,667	24.1%
\$75,000 - \$99,999	21,773	13.3%	27,653	14.1%	31,324	17.3%
\$100,000 - \$149,999	19,757	12.1%	20,403	10.4%	26,094	14.4%
\$150,000 - \$199,000	5,661	3.5%	5,480	2.8%	7,081	3.9%
\$200,000+	5,128	3.1%	4,309	2.2%	4,963	2.7%
Median Household Income	\$53,655		\$51,508		\$62,695	
Average Household Income	\$68,158		\$63,385		\$74,324	
Per Capita Income	\$26,756		\$22,279		\$26,559	

2015 Households by Income	0 - 15 miles		15 - 20 miles		20 - 25 miles	
	Number	Percent	Number	Percent	Number	Percent
<\$15,000	17,355	9.9%	20,216	9.9%	9,770	5.1%
\$15,000 - \$24,999	14,167	8.1%	18,206	8.9%	11,126	5.9%
\$25,000 - \$34,999	11,743	6.7%	15,596	7.7%	11,789	6.2%
\$35,000 - \$49,999	21,318	12.2%	26,972	13.3%	22,084	11.6%
\$50,000 - \$74,999	40,286	23.1%	47,117	23.2%	45,840	24.1%
\$75,000 - \$99,999	26,059	14.9%	32,719	16.1%	36,171	19.0%
\$100,000 - \$149,999	28,254	16.2%	28,979	14.2%	36,552	19.2%
\$150,000 - \$199,000	8,002	4.6%	7,560	3.7%	9,525	5.0%
\$200,000+	7,446	4.3%	6,155	3.0%	7,171	3.8%
Median Household Income	\$62,125		\$59,924		\$71,123	
Average Household Income	\$78,522		\$72,199		\$84,125	
Per Capita Income	\$30,720		\$25,259		\$29,924	

Data Note: Income is expressed in current dollars.

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

March 29, 2012



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
 Donuts: 0-15, 15-20, 20-25 miles radii

Latitude: 38.55609
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	0 - 15 miles		15 - 20 miles		20 - 25 miles	
2000 Population by Age						
Age 0 - 4	21,864	6.3%	39,803	8.0%	32,545	7.4%
Age 5 - 9	24,308	7.0%	44,428	8.9%	35,916	8.1%
Age 10 - 14	24,164	7.0%	41,782	8.4%	34,686	7.8%
Age 15 - 19	28,271	8.2%	38,816	7.8%	31,966	7.2%
Age 20 - 24	33,311	9.6%	35,905	7.2%	30,703	6.9%
Age 25 - 34	52,627	15.2%	74,392	14.9%	65,077	14.7%
Age 35 - 44	52,305	15.1%	78,233	15.7%	75,011	17.0%
Age 45 - 54	46,259	13.4%	60,055	12.0%	57,241	12.9%
Age 55 - 64	25,806	7.5%	34,927	7.0%	33,376	7.5%
Age 65 - 74	18,820	5.4%	25,988	5.2%	25,009	5.7%
Age 75 - 84	13,685	4.0%	18,904	3.8%	16,230	3.7%
Age 85+	4,732	1.4%	6,169	1.2%	4,553	1.0%

2010 Population by Age	Number	Percent	Number	Percent	Number	Percent
Age 0 - 4	28,201	6.6%	47,029	8.3%	39,470	7.6%
Age 5 - 9	26,809	6.3%	44,220	7.8%	37,518	7.2%
Age 10 - 14	25,499	6.0%	40,223	7.1%	35,344	6.8%
Age 15 - 19	33,636	7.9%	43,647	7.7%	36,246	7.0%
Age 20 - 24	40,999	9.6%	43,701	7.8%	35,808	6.9%
Age 25 - 34	65,736	15.4%	85,485	15.2%	77,698	14.9%
Age 35 - 44	55,098	12.9%	74,045	13.1%	72,757	14.0%
Age 45 - 54	57,966	13.6%	74,351	13.2%	75,073	14.4%
Age 55 - 64	45,976	10.8%	54,632	9.7%	54,988	10.6%
Age 65 - 74	24,157	5.7%	29,302	5.2%	29,622	5.7%
Age 75 - 84	15,662	3.7%	18,304	3.2%	18,639	3.6%
Age 85+	7,523	1.8%	8,621	1.5%	7,666	1.5%

2015 Population by Age	Number	Percent	Number	Percent	Number	Percent
Age 0 - 4	30,384	6.7%	49,295	8.4%	41,604	7.6%
Age 5 - 9	29,155	6.4%	46,912	8.0%	40,127	7.3%
Age 10 - 14	27,834	6.1%	43,443	7.4%	38,361	7.0%
Age 15 - 19	32,133	7.0%	38,982	6.6%	33,872	6.2%
Age 20 - 24	42,583	9.3%	44,876	7.6%	36,553	6.7%
Age 25 - 34	72,034	15.8%	92,685	15.8%	83,516	15.2%
Age 35 - 44	58,317	12.8%	75,805	12.9%	76,911	14.0%
Age 45 - 54	56,336	12.3%	70,091	11.9%	71,292	13.0%
Age 55 - 64	50,762	11.1%	60,027	10.2%	61,153	11.1%
Age 65 - 74	32,947	7.2%	37,762	6.4%	38,524	7.0%
Age 75 - 84	16,457	3.6%	18,449	3.1%	19,146	3.5%
Age 85+	7,892	1.7%	8,533	1.5%	7,937	1.4%

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

March 29, 2012

Made with Esri Business Analyst



Demographic and Income Comparison Profile

201 E 14th St, Davis, CA, 95616
 Donuts: 0-15, 15-20, 20-25 miles radii

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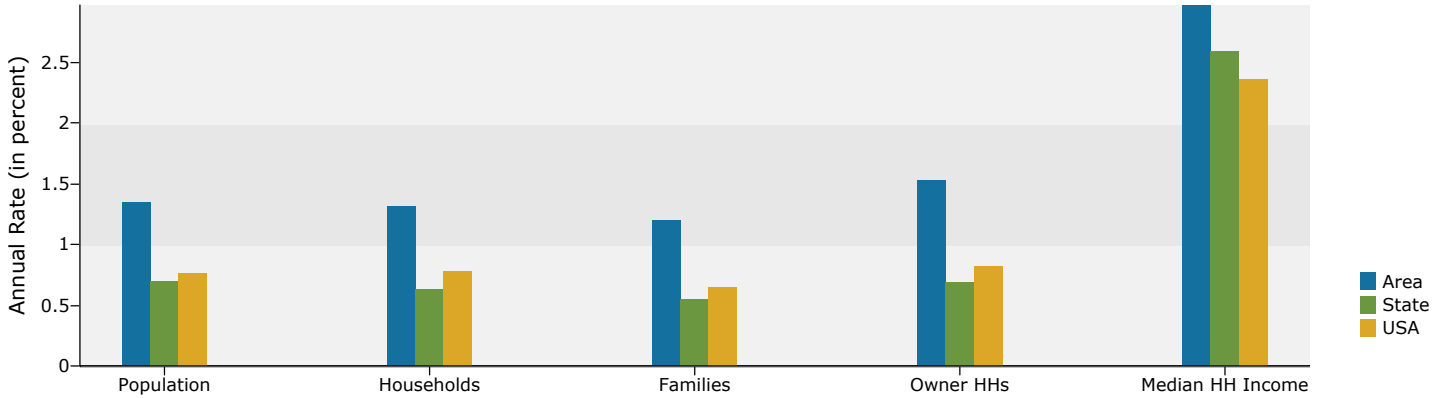
2000 Race and Ethnicity	0 - 15 miles		15 - 20 miles		20 - 25 miles	
	Number	Percent	Number	Percent	Number	Percent
White Alone	208,815	60.3%	271,091	54.3%	308,581	69.8%
Black Alone	26,330	7.6%	65,794	13.2%	41,022	9.3%
American Indian Alone	3,938	1.1%	6,171	1.2%	4,362	1.0%
Asian Alone	46,191	13.3%	65,888	13.2%	37,326	8.4%
Pacific Islander Alone	1,701	0.5%	4,167	0.8%	2,283	0.5%
Some Other Race Alone	39,674	11.5%	53,634	10.7%	22,121	5.0%
Two or More Races	19,503	5.6%	32,656	6.5%	26,617	6.0%
Hispanic Origin (Any Race)	78,443	22.7%	107,536	21.5%	55,166	12.5%
2010 Race and Ethnicity						
White Alone	234,111	54.8%	272,779	48.4%	324,379	62.3%
Black Alone	32,671	7.6%	73,308	13.0%	51,363	9.9%
American Indian Alone	4,986	1.2%	6,985	1.2%	5,230	1.0%
Asian Alone	66,022	15.5%	86,136	15.3%	60,632	11.6%
Pacific Islander Alone	2,842	0.7%	5,891	1.0%	3,551	0.7%
Some Other Race Alone	58,788	13.8%	75,875	13.5%	36,570	7.0%
Two or More Races	27,843	6.5%	42,586	7.6%	39,103	7.5%
Hispanic Origin (Any Race)	116,119	27.2%	152,569	27.1%	90,650	17.4%
2015 Race and Ethnicity						
White Alone	241,157	52.8%	274,568	46.8%	330,171	60.1%
Black Alone	34,141	7.5%	73,539	12.5%	53,264	9.7%
American Indian Alone	5,301	1.2%	7,101	1.2%	5,390	1.0%
Asian Alone	74,702	16.4%	94,212	16.1%	69,821	12.7%
Pacific Islander Alone	2,953	0.6%	5,981	1.0%	3,746	0.7%
Some Other Race Alone	67,223	14.7%	84,925	14.5%	42,808	7.8%
Two or More Races	31,356	6.9%	46,535	7.9%	43,798	8.0%
Hispanic Origin (Any Race)	132,922	29.1%	171,658	29.3%	106,298	19.4%

Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

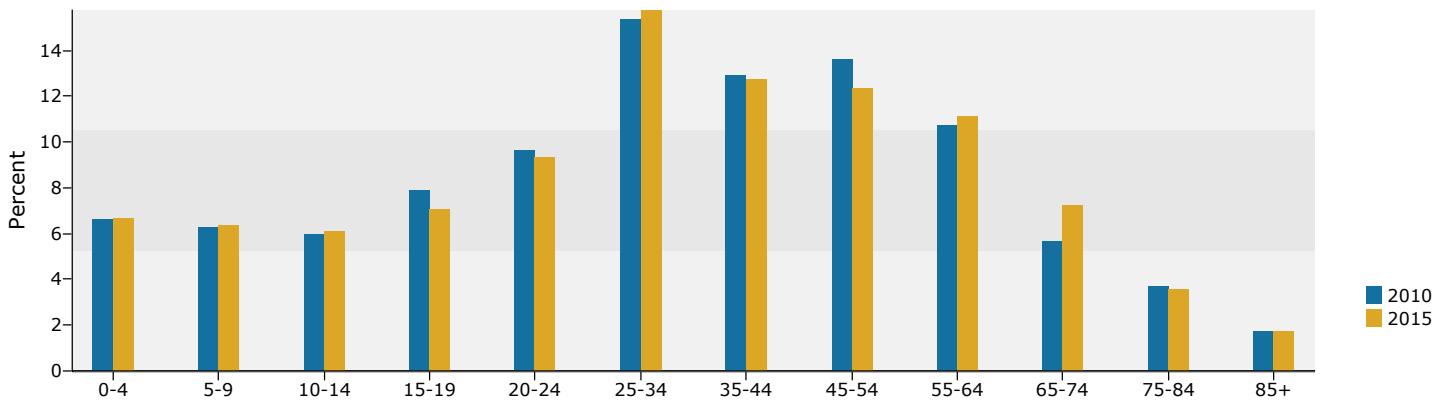
March 29, 2012

0 - 15 miles

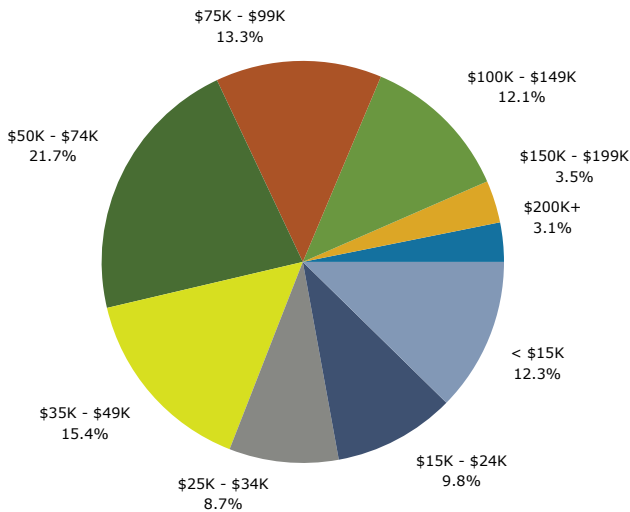
Trends 2010-2015



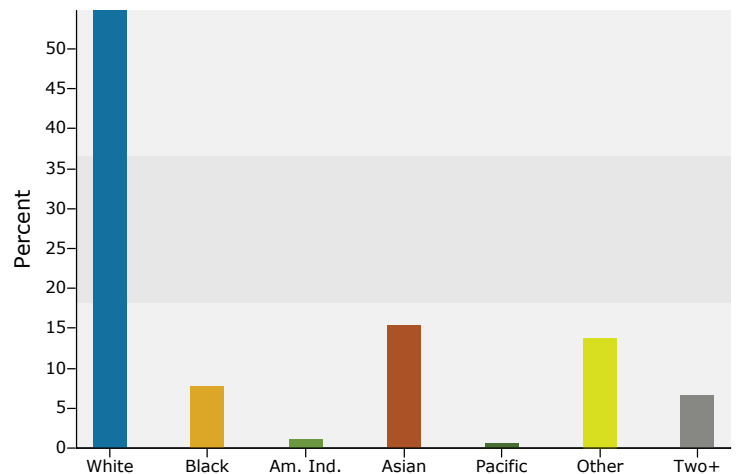
Population by Age



2010 Household Income



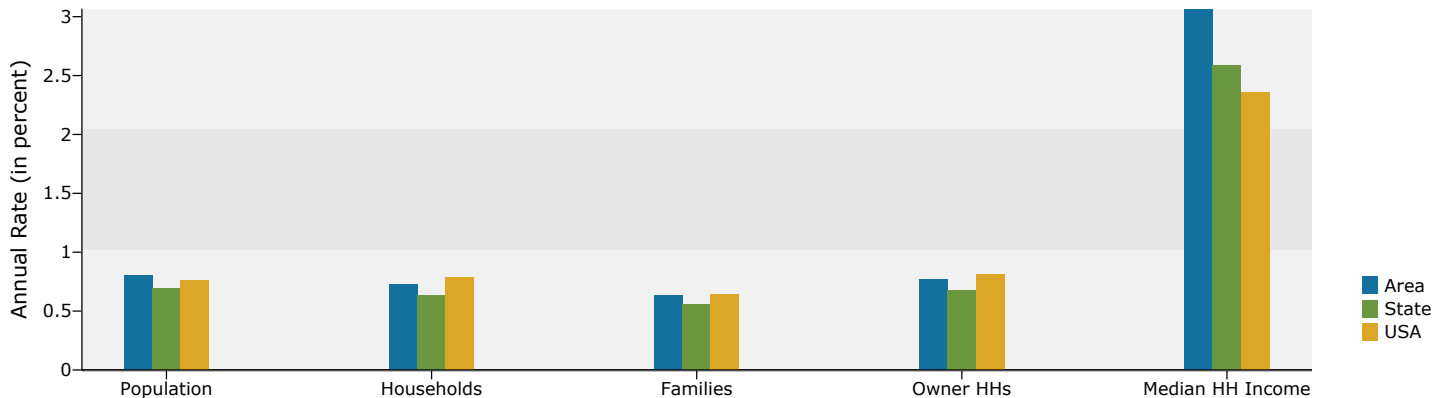
2010 Population by Race



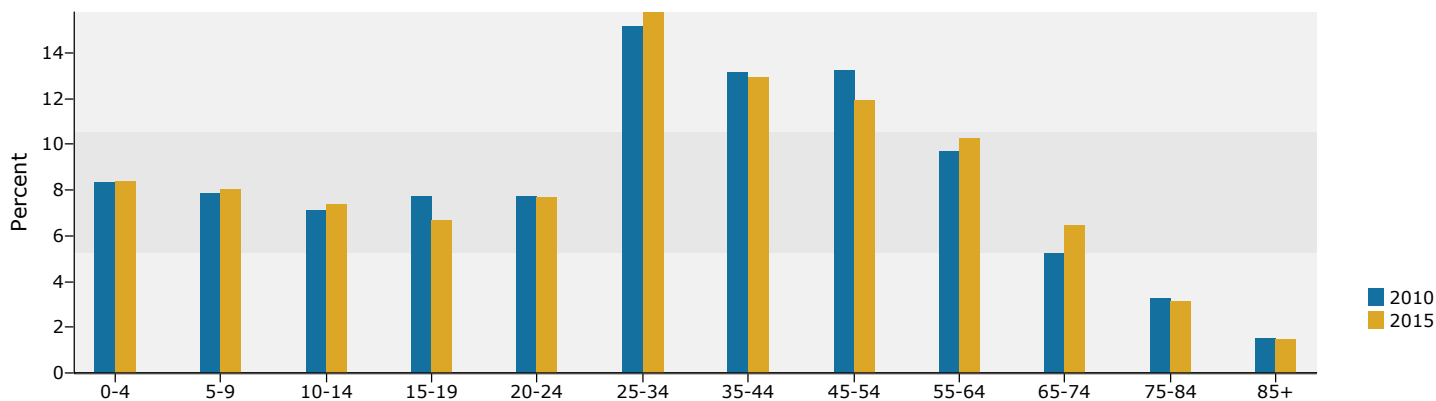
Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

15 - 20 miles

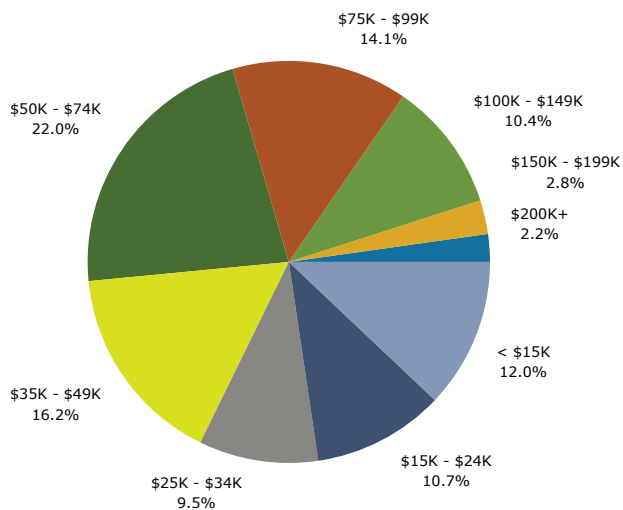
Trends 2010-2015



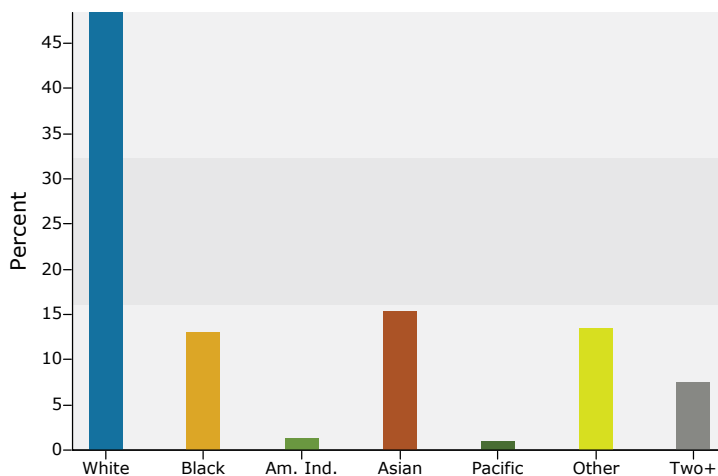
Population by Age



2010 Household Income



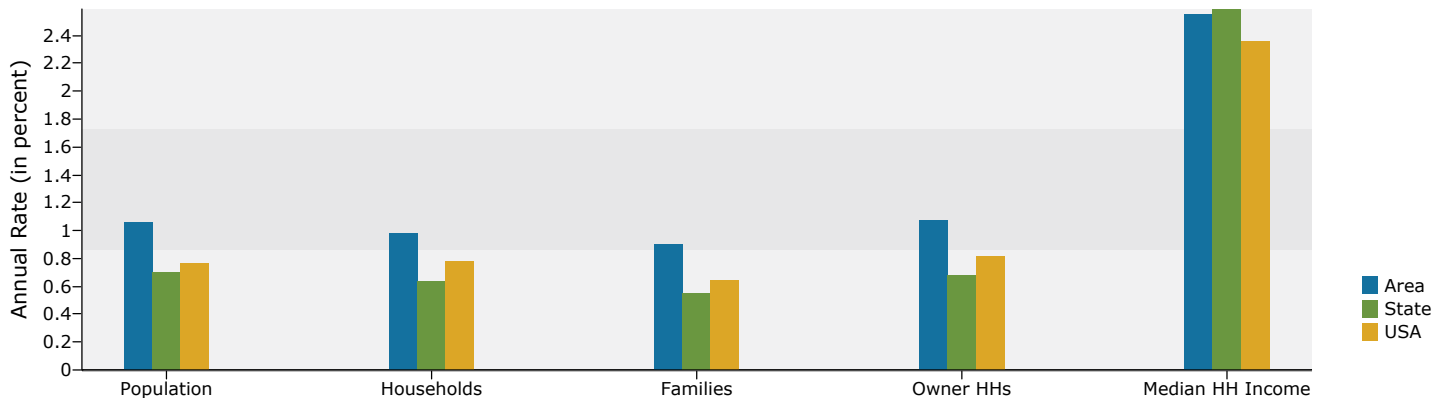
2010 Population by Race



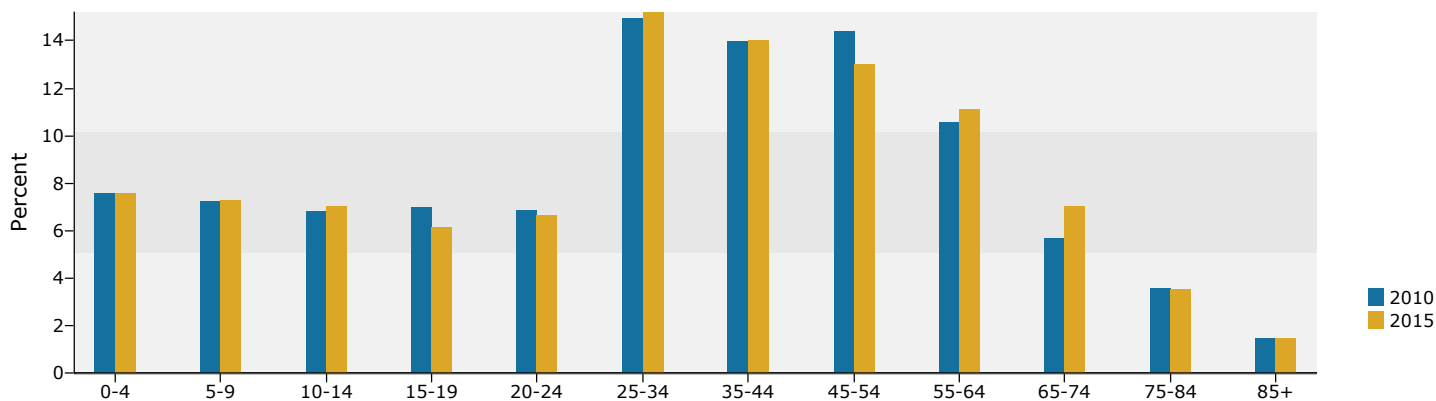
Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

20 - 25 miles

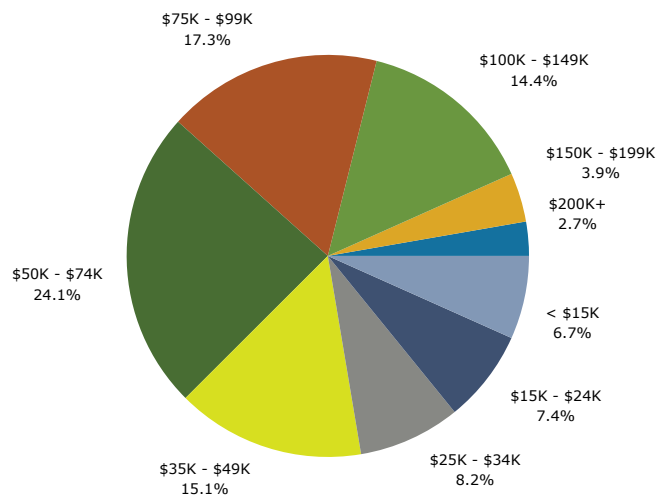
Trends 2010-2015



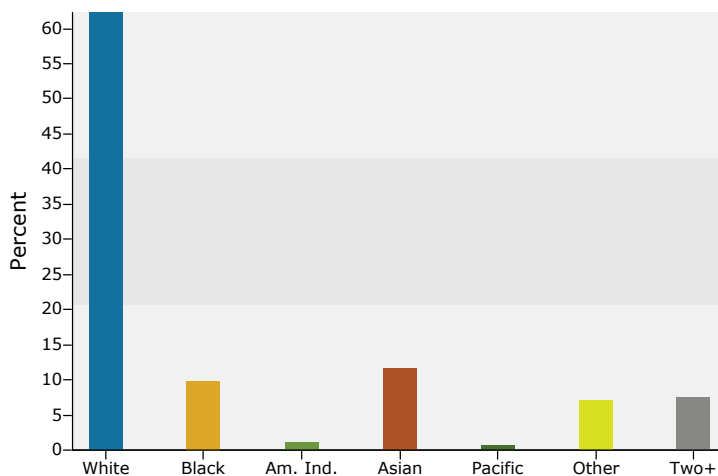
Population by Age



2010 Household Income



2010 Population by Race



Source: U.S. Bureau of the Census, 2000 Census of Population and Housing. Esri forecasts for 2010 and 2015.

APPENDIX 6
FINANCIAL SURVEYS:
COMPARABLE FACILITIES /
CITY OF DAVIS FACILITIES

AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Charles Brooks Community Swim Center- Woodland, CA			No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2011-2012					
Name of Person Responding: Brad Petersen					
Phone Number of Person Responding: 530-661-2000					
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input type="checkbox"/> Outdoor Recreation					
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$9,905			
1.2	Swim Lessons	\$52,301			
1.3	Water Exercise	\$14,178			
1.4	School Sports Rentals	\$0			
1.5	Team Sports Rentals	\$43,828			
1.6	Masters Sports Rentals	\$0			
1.7	Competitive Meets	\$8,284			
1.8	Party Rentals	\$0			
1.9	Food & Beverage	\$500			
1.10	Merchandise	\$0			
TOTAL- REVENUE		\$128,996			
			2.0	EXPENSE	
			2.1	Full Time Staff Labor	\$54,690
			2.2	Benefits for 2.1, above	\$0
			2.3	Part-time Staff Labor	\$87,257
			2.4	Benefits for 2.3, above	\$0
			2.5	Advertising and Promotion	\$0
			2.6	Insurance	\$0
			2.7	Maintenance and Repairs	\$62,895
			2.8	Utilities	\$77,905
			2.9	Miscellaneous Expense	\$11,605
			SUBTOTAL- EXPENSE		\$294,352
			3.0	COST OF SALES	
			3.1	Food and Beverage	\$0
			3.2	Merchandise	\$0
			SUBTOTAL- COST OF SALES		\$0
			4.0	TOTAL EXPENSES	\$294,352
			5.0	NET OPERATING INCOME / (LOSS)	(\$165,356)
			Other Miscellaneous Comments: We do not charge for Woodland School rentals in our joint-use agreement. We do not charge for public swim- the \$9,905 came from out-of-town swimmers \$1 each and four nights of Friday night swim at \$1 per person.		

Please Fax Your Response to Aquatic Design Group at 760.438.5251 or email to cjohnson@aquaticdesigngroup.com
 Thank You For Your Participation!

AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Clarke Memorial Swim Center- Walnut Creek, CA					
Calendar / Fiscal Year Reporting Period: 2011-2012					
Name of Person Responding: Kevin Safine					
Phone Number of Person Responding: (925) 256-3589					
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input type="checkbox"/> Outdoor Recreation					
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$330,977			
1.2	Swim Lessons	\$243,776			
1.3	Water Exercise	\$6,479			
1.4	School Sports Rentals	\$7,230			
1.5	Team Sports Rentals	\$14,571			
1.6	Masters Sports Rentals	\$34,756			
1.7	Competitive Meets	\$27,450			
1.8	Party Rentals	\$11,867			
1.9	Food & Beverage	\$5,982			
1.10	Merchandise	\$0			
	TOTAL- REVENUE	\$683,088			
2.0	EXPENSE				
2.1	Full Time Staff Labor	\$176,540			
2.2	Benefits for 2.1, above	\$70,638			
2.3	Part-time Staff Labor	\$446,783			
2.4	Benefits for 2.3, above	\$91,235			
2.5	Advertising and Promotion	\$19,450			
2.6	Insurance	\$25,675			
2.7	Maintenance and Repairs	\$176,459			
2.8	Utilities	\$297,453			
2.9	Miscellaneous Expense	\$30,000			
	SUBTOTAL- EXPENSE	\$1,334,233			
3.0	COST OF SALES				
3.1	Food and Beverage	\$2,256			
3.2	Merchandise				
	SUBTOTAL- COST OF SALES	\$2,256			
4.0	TOTAL EXPENSES	\$1,336,489			
5.0	NET OPERATING INCOME / (LOSS)	(\$653,401)			
			Other Miscellaneous Comments: _____ _____ _____ _____		

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Mission Viejo Aquatics Complex- Mission Viejo, CA					
Calendar / Fiscal Year Reporting Period: 2011					
Name of Person Responding: Kelly Doyle					
Phone Number of Person Responding: (949) 470-3000					
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input type="checkbox"/> Outdoor Recreation					
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$0			
1.2	Swim Lessons	\$0			
1.3	Water Exercise	\$0			
1.4	School Sports Rentals	\$0			
1.5	Team Sports Rentals	\$100,000			
1.6	Masters Sports Rentals	\$0			
1.7	Competitive Meets	\$0			
1.8	Party Rentals	\$0			
1.9	Food & Beverage	\$0			
1.10	Merchandise	\$0			
	TOTAL- REVENUE	\$100,000			
2.0	EXPENSE				
2.1	Full Time Staff Labor	\$50,000			
2.2	Benefits for 2.1, above	\$20,000			
2.3	Part-time Staff Labor	\$0			
2.4	Benefits for 2.3, above	\$0			
2.5	Advertising and Promotion	\$0			
2.6	Insurance	\$0			
2.7	Maintenance and Repairs	\$150,000			
2.8	Utilities	\$300,000			
2.9	Miscellaneous Expense	\$0			
	SUBTOTAL- EXPENSE	\$520,000			
3.0	COST OF SALES				
3.1	Food and Beverage	\$0			
3.2	Merchandise	\$0			
	SUBTOTAL- COST OF SALES	\$0			
4.0	TOTAL EXPENSES	\$520,000			
5.0	NET OPERATING INCOME / (LOSS)	(\$420,000)			
			Other Miscellaneous Comments: _____ _____ _____ _____		

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Santa Clara International Swim Center			No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2011-2012					
Name of Person Responding: James Teixeira- Director of Parks & Recreation					
Phone Number of Person Responding: (408) 615-2260					
Facility Description (Check all that apply) and list size:					
<input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input type="checkbox"/> Outdoor Recreation					
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$15,000			
1.2	Swim Lessons	\$0			
1.3	Water Exercise	\$0			
1.4	School Sports Rentals	\$0			
1.5	Team Sports Rentals	\$50,000			
1.6	Masters Sports Rentals	\$0			
1.7	Competitive Meets	\$100,000			
1.8	Party Rentals	\$0			
1.9	Food & Beverage	\$0			
1.10	Miscellaneous- Grant	\$20,000			
TOTAL- REVENUE		\$185,000			
			2.0	EXPENSE	
			2.1	Full Time Staff Labor	\$250,000
			2.2	Benefits for 2.1, above	Included
			2.3	Part-time Staff Labor	\$25,000
			2.4	Benefits for 2.3, above	Included
			2.5	Advertising and Promotion	\$0
			2.6	Insurance	\$0
			2.7	Maintenance and Repairs	\$160,000
			2.8	Utilities	\$300,000
			2.9	Miscellaneous Expense	\$0
			SUBTOTAL- EXPENSE		\$735,000
			3.0	COST OF SALES	
			3.1	Food and Beverage	\$0
			3.2	Merchandise	\$0
			SUBTOTAL- COST OF SALES		\$0
			4.0	TOTAL EXPENSES	\$735,000
			5.0	NET OPERATING INCOME / (LOSS)	(\$550,000)
			Other Miscellaneous Comments:		

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: William Woollett Aquatic Center		No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2010-2011		2.0	EXPENSE	
Name of Person Responding: Briane Schoefeld		2.1	Full Time Staff Labor	\$170,000
Phone Number of Person Responding: (949) 724-6706		2.2	Benefits for 2.1, above	
Facility Description (Number and Type of Pools): 2x 18 lane,50 Meter pools. 1 is 7ft throughout and the other 5ft.-13 ft. 1x 8 lane, 25 yd teaching pool. From left to right goes from 2ft-5ft. (Comp)50 meter pool has 9ft and 7 ft wide lane hooks to allow more lanes. 1x 50 M pool at NHS high school that we operate M-f 4:30-9 Also Sat and Sun that is 18 lanes wide depth 4ft -13 ft		2.3	Part-time Staff Labor	\$440,000
		2.4	Benefits for 2.3, above	
		2.5	Advertising and Promotion	\$8,000
		2.6	Insurance	N/A
		2.7	Maintenance and Repairs	\$500,000
		2.8	Utilities	
		2.9	Miscellaneous Expense	
			SUBTOTAL- EXPENSE	\$1,118,000
		3.0	COST OF SALES	
		3.1	Food and Beverage	
		3.2	Merchandise	
			SUBTOTAL- COST OF SALES	\$0
		4.0	TOTAL EXPENSES	\$1,118,000
		5.0	NET OPERATING INCOME / (LOSS)	(\$848,000)
		Other Miscellaneous Comments: Sections 1.3 - 1.8 are included in the figure from 1.7 Sections 2.1 & 2.2 are together as well as 2.3 & 2.4 Sections 2.7 and 2.8 are also figured together, but that is a plus or minus figure.		
No.	Category	Amount		
1.0	REVENUE			
1.1	Recreation Swim	\$40,000		
1.2	Swim Lessons	\$200,000		
1.3	Water Exercise			
1.4	School Sports Rentals			
1.5	Team Sports Rentals			
1.6	Masters Sports Rentals			
1.7	Competitive Meets	\$30,000		
1.8	Party Rentals			
1.9	Food and Beverage	\$0		
1.10	Merchandise	\$0		
	TOTAL- REVENUE	\$270,000		

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Alan Witt Aquatic Center- Fairfield, CA				No.	Category	Amount
Calendar / Fiscal Year Reporting Period: Calendar Year - 2012				2.0	EXPENSE	
Name of Person Responding: Ron Collins				2.1	Full Time Staff Labor	\$79,354
Phone Number of Person Responding: (707) 428-7676				2.2	Benefits for 2.1, above	\$24,056
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation <input type="checkbox"/> Please send me a copy of the completed analysis for Public Sector Facilities				2.3	Part-time Staff Labor	\$385,682
				2.4	Benefits for 2.3, above	\$29,404
				2.5	Advertising and Promotion	\$6,000
				2.6	Insurance	\$313
				2.7	Maintenance and Repairs	\$19,764
				2.8	Utilities	\$149,506
				2.9	Miscellaneous Expense	
					SUBTOTAL- EXPENSE	\$694,079
				3.0	COST OF SALES	
				3.1	Food and Beverage	\$19,712
				3.2	Merchandise	coibmed with 3.1
					SUBTOTAL- COST OF SALES	\$19,712
				4.0	TOTAL EXPENSES	\$713,791
				5.0	NET OPERATING INCOME / (LOSS)	(\$137,460)
			Other Miscellaneous Comments: Food & Beverage combined Misc Revenue: donation / advertising _____ _____ _____			
No.	Category	Amount				
1.0	REVENUE					
1.1	Recreation Swim	\$224,134				
1.2	Swim Lessons	\$225,121				
1.3	Water Exercise	\$52,287				
1.4	School Sports Rentals					
1.5	Team Sports Rentals					
1.6	Masters Sports Rentals					
1.7	Competitive Meets					
1.8	Party Rentals	\$19,574				
1.9	Food & Beverage	\$51,965				
1.10	Merchandise					
1.1	Misc	\$3,250				
	TOTAL- REVENUE	\$576,331				

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Antelope Aquatic Complex - Sunrise Recreation & Park District			No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2010-2011			2.0	EXPENSE	
Name of Person Responding: Marty Buell, Recreation Services Manager II			2.1	Full Time Staff Labor	N/A
Phone Number of Person Responding: (916) 725-0132			2.2	Benefits for 2.1, above	N/A
Facility Description (Check all that apply): <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation <input checked="" type="checkbox"/> Please send me a copy of the completed analysis for Public Sector Facilities			2.3	Part-time Staff Labor	\$125,000
			2.4	Benefits for 2.3, above	\$10,000
			2.5	Advertising and Promotion	\$1,250
			2.6	Insurance	N/A
			2.7	Maintenance and Repairs (Pool Chemicals)	\$50,000
			2.8	Utilities	N/A
			2.9	Miscellaneous Expense	\$30,000
				SUBTOTAL- EXPENSE	\$216,250
			3.0	COST OF SALES	
			3.1	Food and Beverage	\$0
			3.2	Merchandise	\$0
				SUBTOTAL- COST OF SALES	\$0
			4.0	TOTAL EXPENSES	\$216,250
			5.0	NET OPERATING INCOME / (LOSS)	(\$18,580)
		Other Miscellaneous Comments: _____ _____ _____ _____			
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$98,850			
1.2	Swim Lessons	\$77,050			
1.3	Water Exercise	\$3,000			
1.4	School Sports Rentals	\$8,500			
1.5	Team Sports Rentals	\$2,670			
1.6	Masters Sports Rentals	\$0			
1.7	Competitive Meets	\$0			
1.8	Party Rentals	\$7,100			
1.9	Food & Beverage	\$500			
1.10	Merchandise	\$0			
	TOTAL- REVENUE	\$197,670			

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Folsom Aquatic Center- Folsom, CA				No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2011 - 2012 Fiscal Year July 1 - June 30				2.0	EXPENSE	
Name of Person Responding: Chad Gunter				2.1	Full Time Staff Labor	\$170,024
Phone Number of Person Responding: (916) 355-8319				2.2	Benefits for 2.1, above	\$102,014
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation				2.3	Part-time Staff Labor	\$267,006
				2.4	Benefits for 2.3, above	\$30,000
				2.5	Advertising and Promotion	\$2,011
				2.6	Insurance	\$12,000
				2.7	Maintenance and Repairs	\$84,340
				2.8	Utilities	\$248,918
				2.9	Miscellaneous Expense	\$43,141
					SUBTOTAL- EXPENSE	\$959,454
				3.0	COST OF SALES	
				3.1	Food and Beverage	\$25,386
				3.2	Merchandise	
					SUBTOTAL- COST OF SALES	\$25,386
				4.0	TOTAL EXPENSES	\$984,840
				5.0	NET OPERATING INCOME / (LOSS)	(\$181,658)
			Other Miscellaneous Comments: Birthday Part Revenue = \$50,183 Total Revenue = \$853,000 Total Expense = \$1,052,398			

No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$368,650
1.2	Swim Lessons	\$129,697
1.3	Water Exercise	\$5,653
1.4	School Sports Rentals	\$5,160
1.5	Team Sports Rentals	\$140,000
1.6	Masters Sports Rentals	
1.7	Competitive Meets	\$24,355
1.8	Party Rentals	\$47,413
1.9	Food & Beverage	\$82,254
1.10	Merchandise	
	TOTAL- REVENUE	\$803,182

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Gauche Park Aquatic Center- Yuba City, CA		
Calendar / Fiscal Year Reporting Period: 2010-2011		
Name of Person Responding: Abbie Cesena		
Phone Number of Person Responding: (530) 822-4655 ext. 0		
Facility Description (Check all that apply): <input type="checkbox"/> Indoor Competition <input checked="" type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation <input checked="" type="checkbox"/> Please send me a copy of the completed analysis for Public Sector Facilities		
No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$207,783
1.2	Swim Lessons	\$65,713
1.3	Water Exercise	\$35,822
1.4	School Sports Rentals	\$33,000
1.5	Team Sports Rentals	\$31,245
1.6	Masters Sports Rentals	
1.7	Competitive Meets	
1.8	Party Rentals	\$24,237
1.9	Food & Beverage	\$63,687
1.10	Merchandise	\$3,682
	TOTAL- REVENUE	\$465,169
2.0	EXPENSE	
2.1	Full Time Staff Labor	\$35,737
2.2	Benefits for 2.1, above	\$16,619
2.3	Part-time Staff Labor	\$179,469
2.4	Benefits for 2.3, above	\$9,021
2.5	Advertising and Promotion	
2.6	Insurance	\$1,036
2.7	Maintenance and Repairs	\$52,753
2.8	Utilities	\$95,123
2.9	Miscellaneous Expense	\$108,659
	SUBTOTAL- EXPENSE	\$498,417
3.0	COST OF SALES	
3.1	Food and Beverage	\$28,323
3.2	Merchandise	\$3,671
	SUBTOTAL- COST OF SALES	\$31,994
4.0	TOTAL EXPENSES	\$530,411
5.0	NET OPERATING INCOME / (LOSS)	(\$65,242)
Other Miscellaneous Comments: *Note-Actual Total Revenue For Facility: \$525295 *Note-Actual Total Expenses For Facility: \$498417 *Note-Actual 08/09 Profit = \$26,878.00		

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Roseville Aquatics Complex- Roseville, CA				No.	Category	Amount
Calendar / Fiscal Year Reporting Period: FY 2011-2012				2.0	EXPENSE	
Name of Person Responding: Alexa Pritchard				2.1	Full Time Staff Labor	\$89,644
Phone Number of Person Responding: (916) 774-5949				2.2	Benefits for 2.1, above	\$17,928
Facility Description (Check all that apply) and list size: Comp Pool: 25 yds x 50 meters; 700,000 gallons Rec. Pool: Zero Depth, 25 yds, Slide; 135,000 gallons Play Pool: 50x60 ft., Play Structure; 10,700 gallons				2.3	Part-time Staff Labor	\$384,717
<input type="checkbox"/> Indoor Competition	<input checked="" type="checkbox"/> Outdoor Competition	<input type="checkbox"/> Indoor Recreation		2.4	Benefits for 2.3, above	\$57,708
<input checked="" type="checkbox"/> Outdoor Recreation				2.5	Advertising and Promotion	\$12,400
				2.6	Insurance	\$8,807
				2.7	Maintenance and Repairs	\$110,366
				2.8	Utilities	\$213,875
				2.9	Miscellaneous Expense	\$55,261
				SUBTOTAL- EXPENSE		\$950,706
				3.0	COST OF SALES	
				3.1	Food and Beverage	\$33,000
				3.2	Merchandise	
				SUBTOTAL- COST OF SALES		\$33,000
				4.0	TOTAL EXPENSES	\$983,706
				5.0	NET OPERATING INCOME / (LOSS)	(\$351,067)
No.			Category			Amount
1.0			REVENUE			
1.1	Recreation Swim				\$132,700	
1.2	Swim Lessons				\$185,000	
1.3	Water Exercise				\$0	
1.4	School Sports Rentals				\$20,000	
1.5	Team Sports Rentals				\$84,000	
1.6	Masters Sports Rentals				\$0	
1.7	Competitive Meets				\$5,000	
1.8	Party Rentals				\$30,000	
1.9	Food & Beverage				\$33,900	
1.10	Merchandise				\$0	
		Other Revenue **			\$142,039	
		TOTAL- REVENUE		\$632,639		
Other Miscellaneous Comments: ** Other Revenues: Special Events, Rec. Swim Team, Water Polo Safety Training Classes, Summer Camps, Interest on Investment						

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Hawaiian Falls Aquatic Center- Dallas				No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2010-2011				2.0	EXPENSE	
Name of Person Responding: David Busch				2.1	Full Time Staff Labor	\$165,000
Phone Number of Person Responding: (916) 825-1786				2.2	Benefits for 2.1, above	\$45,000
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation				2.3	Part-time Staff Labor	\$502,000
				2.4	Benefits for 2.3, above	\$45,000
				2.5	Advertising and Promotion	\$171,000
				2.6	Insurance	\$62,000
				2.7	Maintenance and Repairs	\$82,000
				2.8	Utilities	\$196,000
				2.9	Misc. Expense (includes rent/debt service)	\$792,000
					SUBTOTAL- EXPENSE	\$2,060,000
				3.0	COST OF SALES	
				3.1	Food and Beverage	\$209,000
				3.2	Merchandise	\$11,000
					SUBTOTAL- COST OF SALES	\$220,000
				4.0	TOTAL EXPENSES	\$2,280,000
				5.0	NET OPERATING INCOME / (LOSS)	\$1,036,000
			Other Miscellaneous Comments: _____ _____ _____ _____			

No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$2,515,000
1.2	Swim Lessons	\$61,000
1.3	Water Exercise	
1.4	School Sports Rentals	
1.5	Team Sports Rentals	
1.6	Masters Sports Rentals	
1.7	Competitive Meets	
1.8	Party Rentals	\$79,000
1.9	Food & Beverage	\$630,000
1.10	Merchandise	\$31,000
	TOTAL- REVENUE	\$3,316,000

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: NRH20- North Richland Hills, TX			No.		Category	Amount
Calendar / Fiscal Year Reporting Period: 2010-2011						
Name of Person Responding: Chris Schwartz						
Phone Number of Person Responding: (817) 427-6500						
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation						
No.	Category	Amount				
1.0	REVENUE					
1.1	Recreation Swim	\$4,244,777				
1.2	Swim Lessons	\$0				
1.3	Water Exercise	\$0				
1.4	School Sports Rentals	\$0				
1.5	Team Sports Rentals	\$0				
1.6	Masters Sports Rentals	\$0				
1.7	Competitive Meets	\$0				
1.8	Party Rentals	\$78,425				
1.9	Food & Beverage	\$467,369				
1.10	Merchandise	\$46,856				
	TOTAL- REVENUE	\$4,837,427				
			2.0		EXPENSE	
			2.1		Full Time Staff Labor	\$301,855
			2.2		Benefits for 2.1, above	\$123,761
			2.3		Part-time Staff Labor	\$1,194,844
			2.4		Benefits for 2.3, above	\$179,227
			2.5		Advertising and Promotion	\$235,825
			2.6		Insurance	\$94,330
			2.7		Maintenance and Repairs	\$157,216
			2.8		Utilities	\$534,536
			2.9		Miscellaneous Expense	\$322,734
					SUBTOTAL- EXPENSE	\$3,144,328
			3.0		COST OF SALES	
			3.1		Food and Beverage	\$163,579
			3.2		Merchandise	\$22,959
					SUBTOTAL- COST OF SALES	\$186,538
			4.0		TOTAL EXPENSES	\$3,330,866
			5.0		NET OPERATING INCOME / (LOSS)	\$1,506,561
			Other Miscellaneous Comments: _____ _____ _____ _____			

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Splash!- La Mirada, CA			No.	Category	Amount
Calendar / Fiscal Year Reporting Period: July 1, 2011 to June 30, 2012			2.0	EXPENSE	
Name of Person Responding: Lori Thompson			2.1	Full Time Staff Labor	\$152,248
Phone Number of Person Responding: (562) 943-7277			2.2	Benefits for 2.1, above	\$100,426
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation <input checked="" type="checkbox"/> Please send me a copy of the completed analysis for Public Sector Facilities			2.3	Part-time Staff Labor	\$888,049
			2.4	Benefits for 2.3, above	\$148,231
			2.5	Advertising and Promotion	\$0
			2.6	Insurance	\$0
			2.7	Maintenance and Repairs	\$124,933
			2.8	Utilities	\$232,448
			2.9	Miscellaneous Expense	\$113,835
				SUBTOTAL- EXPENSE	\$1,760,170
			3.0	COST OF SALES	
			3.1	Food and Beverage	\$21,269
			3.2	Merchandise	\$43,332
				SUBTOTAL- COST OF SALES	\$64,601
			4.0	TOTAL EXPENSES	\$1,824,771
			5.0	NET OPERATING INCOME / (LOSS)	\$526,943
			Other Miscellaneous Comments: Advertising is budgeted in another department, difficult to track. City is self-insured Chemicals - \$121,885 Locker Rental Revenue = \$19,078		
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$1,416,018			
1.2	Swim Lessons	\$323,965			
1.3	Water Exercise	\$40,501			
1.4	School Sports Rentals	\$6,221			
1.5	Team Sports Rentals	\$29,088			
1.6	Masters Sports Rentals				
1.7	Competitive Meets	\$68,140			
1.8	Party Rentals	\$329,914			
1.9	Food & Beverage	\$54,537			
1.10	Merchandise	\$83,330			
	TOTAL- REVENUE	\$2,351,714			

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Waterworks Park- Denton, TX					
Calendar / Fiscal Year Reporting Period: 2010-2011					
Name of Person Responding: Janie McLeod					
Phone Number of Person Responding: (940) 349-8810					
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation					
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$1,936,487			
1.2	Swim Lessons	\$0			
1.3	Water Exercise	\$0			
1.4	School Sports Rentals	\$0			
1.5	Team Sports Rentals	\$0			
1.6	Masters Sports Rentals	\$0			
1.7	Competitive Meets	\$0			
1.8	Party Rentals	\$54,500			
1.9	Food & Beverage	\$263,446			
1.10	Merchandise	\$31,489			
	TOTAL- REVENUE	\$2,285,922			
2.0	EXPENSE				
2.1	Full Time Staff Labor	\$149,255			
2.2	Benefits for 2.1, above	\$58,198			
2.3	Part-time Staff Labor	\$668,404			
2.4	Benefits for 2.3, above	\$110,287			
2.5	Advertising and Promotion	\$116,582			
2.6	Insurance	\$46,633			
2.7	Maintenance and Repairs	\$77,721			
2.8	Utilities	\$264,253			
2.9	Miscellaneous Expense	\$63,125			
	SUBTOTAL- EXPENSE	\$1,554,458			
3.0	COST OF SALES				
3.1	Food and Beverage	\$115,916			
3.2	Merchandise	\$17,319			
	SUBTOTAL- COST OF SALES	\$133,235			
4.0	TOTAL EXPENSES	\$1,687,693			
5.0	NET OPERATING INCOME / (LOSS)	\$598,229			
			Other Miscellaneous Comments: _____ _____ _____ _____		

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Waterworld Hyland Hills- Denver, CO			No.	Category	Amount
Calendar / Fiscal Year Reporting Period: 2010-2011			2.0	EXPENSE	
Name of Person Responding: Steve Loose			2.1	Full Time Staff Labor	\$1,467,477
Phone Number of Person Responding: (303) 427-7873			2.2	Benefits for 2.1, above	\$557,640
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation			2.3	Part-time Staff Labor	\$5,961,625
			2.4	Benefits for 2.3, above	\$798,858
			2.5	Advertising and Promotion	\$1,070,035
			2.6	Insurance	\$458,587
			2.7	Maintenance and Repairs	\$917,173
			2.8	Utilities	\$2,598,657
			2.9	Miscellaneous Expense	\$1,456,165
				SUBTOTAL- EXPENSE	\$15,286,217
			3.0	COST OF SALES	
			3.1	Food and Beverage	\$1,311,682
			3.2	Merchandise	\$265,242
				SUBTOTAL- COST OF SALES	\$1,576,924
			4.0	TOTAL EXPENSES	\$16,863,141
			5.0	NET OPERATING INCOME / (LOSS)	\$7,021,573
			Other Miscellaneous Comments: _____ _____ _____ _____		
No.	Category	Amount			
1.0	REVENUE				
1.1	Recreation Swim	\$19,365,448			
1.2	Swim Lessons	\$0			
1.3	Water Exercise	\$0			
1.4	School Sports Rentals	\$0			
1.5	Team Sports Rentals	\$0			
1.6	Masters Sports Rentals	\$0			
1.7	Competitive Meets	\$0			
1.8	Party Rentals	\$311,361			
1.9	Food & Beverage	\$3,643,560			
1.10	Merchandise	\$564,345			
	TOTAL- REVENUE	\$23,884,714			

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Civic Pool (0% of Recreational Aquatic Budget)			No.	Category	Rec Prog Amount	O&M Amount
Calendar / Fiscal Year Reporting Period: FY2011-2012			2.0	EXPENSE		
Name of Person Responding: Christine Helweg			2.1	Full Time Staff Labor	\$0	\$59,321
Phone Number of Person Responding: (530) 757-5615			2.2	Benefits for 2.1, above	\$0	\$22,276
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation			2.3	Part-time Staff Labor	\$0	\$0
			2.4	Benefits for 2.3, above	\$0	\$0
			2.5	Advertising and Promotion	\$0	\$0
			2.6	Insurance (Internal Service Charges)	\$0	\$16,668
			2.7	Maintenance and Repairs	\$0	\$32,007
			2.8	Utilities	\$0	\$39,690
			2.9	Miscellaneous Expense	\$0	\$0
					\$0	
				SUBTOTAL- EXPENSE	\$0	\$169,962
			3.0	COST OF SALES		
			3.1	Food and Beverage	\$0	\$0
			3.2	Merchandise	\$0	\$0
				SUBTOTAL- COST OF SALES	\$0	\$0
			4.0	TOTAL Program/O&M EXPENSES	\$0	\$169,962
			4.1	TOTAL EXPENSES	\$169,962	
			5.0	NET OPERATING INCOME / (LOSS)	(\$96,569)	
			Other Miscellaneous Comments:			

No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$0
1.2	Swim Lessons	\$0
1.3	Water Exercise	\$0
1.4	School Sports Rentals	\$0
1.5	Team Sports Rentals	\$73,393
1.6	Masters Sports Rentals	\$0
1.7	Competitive Meets	\$0
1.8	Party Rentals	\$0
1.9	Food & Beverage	\$0
1.10	Merchandise	\$0
1.11	Swim Camps	\$0
1.12	ARC Training Classes	\$0
	TOTAL- REVENUE	\$73,393

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Community Pool (11% of Recreational Aquatic Budget)				No.	Category	Rec Prog Amount	O&M Amount
Calendar / Fiscal Year Reporting Period: FY2011-2012				2.0	EXPENSE		
Name of Person Responding: Christine Helweg				2.1	Full Time Staff Labor	\$8,598	\$64,504
Phone Number of Person Responding: (530) 757-5615				2.2	Benefits for 2.1, above	\$2,768	\$27,911
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation				2.3	Part-time Staff Labor	\$26,536	\$0
				2.4	Benefits for 2.3, above	\$385	\$0
				2.5	Advertising and Promotion	\$0	\$0
				2.6	Insurance (Internal Service Charges)	\$4,520	\$16,333
				2.7	Maintenance and Repairs	\$0	\$21,586
				2.8	Utilities	\$0	\$36,846
				2.9	Miscellaneous Expense	\$3,741	\$0
						\$0	
					SUBTOTAL- EXPENSE	\$46,548	\$167,180
				3.0	COST OF SALES		
				3.1	Food and Beverage	\$2,183	\$0
				3.2	Merchandise	\$0	\$0
					SUBTOTAL- COST OF SALES	\$2,183	\$0
				4.0	TOTAL Program/O&M EXPENSES	\$48,731	\$167,180
				4.1	TOTAL EXPENSES	\$215,911	
				5.0	NET OPERATING INCOME / (LOSS)	(\$137,582)	
				Other Miscellaneous Comments:			

No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$11,395
1.2	Swim Lessons	\$26,638
1.3	Water Exercise	\$0
1.4	School Sports Rentals	\$0
1.5	Team Sports Rentals	\$19,855
1.6	Masters Sports Rentals	\$0
1.7	Competitive Meets	\$0
1.8	Party Rentals	\$534
1.9	Food & Beverage	\$4,175
1.10	Merchandise	\$0
1.11	Swim Camps	\$0
1.12	ARC Training Classes	\$15,732
	TOTAL- REVENUE	\$78,329

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Manor Pool (54% of Recreational Aquatic Budget)				No.	Category	Rec Prog Amount	O&M Amount
Calendar / Fiscal Year Reporting Period: FY2011-2012				2.0	EXPENSE		
Name of Person Responding: Christine Helweg				2.1	Full Time Staff Labor	\$42,206	\$54,253
Phone Number of Person Responding: (530) 757-5615				2.2	Benefits for 2.1, above	\$13,590	\$20,051
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation				2.3	Part-time Staff Labor	\$130,269	\$0
				2.4	Benefits for 2.3, above	\$1,889	\$0
				2.5	Advertising and Promotion	\$0	\$0
				2.6	Insurance (Internal Service Charges)	\$22,190	\$18,138
				2.7	Maintenance and Repairs	\$0	\$31,141
				2.8	Utilities	\$0	\$51,707
				2.9	Miscellaneous Expense	\$18,361	\$0
						\$0	
					SUBTOTAL- EXPENSE	\$228,505	\$175,290
				3.0	COST OF SALES		
				3.1	Food and Beverage	\$10,719	\$0
				3.2	Merchandise	\$0	\$0
					SUBTOTAL- COST OF SALES	\$10,719	\$0
				4.0	TOTAL Program/O&M EXPENSES	\$239,224	\$175,290
				4.1	TOTAL EXPENSES	\$414,514	
				5.0	NET OPERATING INCOME / (LOSS)	(\$197,351)	
				Other Miscellaneous Comments:			

No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$116,653
1.2	Swim Lessons	\$58,572
1.3	Water Exercise	\$0
1.4	School Sports Rentals	\$0
1.5	Team Sports Rentals	\$11,161
1.6	Masters Sports Rentals	\$0
1.7	Competitive Meets	\$0
1.8	Party Rentals	\$7,131
1.9	Food & Beverage	\$20,497
1.10	Merchandise	\$0
1.11	Swim Camps	\$3,149
1.12	ARC Training Classes	\$0
	TOTAL- REVENUE	\$217,163

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AQUATIC FACILITY FINANCIAL SURVEY

Facility Name / Location: Aggregate Summary - All Pools				No.	Category	Rec Prog Amount	O&M Amount
Calendar / Fiscal Year Reporting Period: FY2011-2012				2.0	EXPENSE		
Name of Person Responding: Christine Helweg				2.1	Full Time Staff Labor	\$78,160	\$245,706
Phone Number of Person Responding: (530) 757-5615				2.2	Benefits for 2.1, above	\$25,166	\$97,077
Facility Description (Check all that apply) and list size: <input type="checkbox"/> Indoor Competition <input type="checkbox"/> Outdoor Competition <input type="checkbox"/> Indoor Recreation <input checked="" type="checkbox"/> Outdoor Recreation				2.3	Part-time Staff Labor	\$241,240	\$0
				2.4	Benefits for 2.3, above	\$3,498	\$0
				2.5	Advertising and Promotion	\$0	\$0
				2.6	Insurance (Internal Service Charges)	\$41,092	\$69,892
				2.7	Maintenance and Repairs	\$0	\$123,255
				2.8	Utilities	\$0	\$200,371
				2.9	Miscellaneous Expense	\$34,002	\$0
					SUBTOTAL- EXPENSE	\$423,158	\$736,301
				3.0	COST OF SALES		
				3.1	Food and Beverage	\$22,160	\$0
				3.2	Merchandise	\$0	\$0
					SUBTOTAL- COST OF SALES	\$19,850	\$0
				4.0	TOTAL Program/O&M EXPENSES	\$443,008	\$736,301
				4.1	TOTAL EXPENSES	\$1,179,309	
				5.0	NET OPERATING INCOME / (LOSS)	(\$659,171)	
				Other Miscellaneous Comments: <hr/> <hr/> <hr/> <hr/> <hr/>			

No.	Category	Amount
1.0	REVENUE	
1.1	Recreation Swim	\$202,090
1.2	Swim Lessons	\$124,201
1.3	Water Exercise	\$0
1.4	School Sports Rentals	\$0
1.5	Team Sports Rentals	\$118,012
1.6	Masters Sports Rentals	\$0
1.7	Competitive Meets	\$0
1.8	Party Rentals	\$14,418
1.9	Food & Beverage	\$37,957
1.10	Merchandise	\$0
1.11	Swim Camps	\$7,728
1.12	ARC Training Classes	\$15,732
	TOTAL- REVENUE	\$520,138

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APPENDIX 7
LABOR COST ANALYSIS
SITE PLAN OPTIONS 1, 2 & 3

PROJECTED LABOR COSTS- SITE PLAN OPTION 1

Position	Quantity	Rate	Operating Hours	Extension
Full-Time Staff:				
Facility Manager	1	\$55,000.00	N/A	\$55,000.00
Admin/Sales	1	\$36,000.00	N/A	\$36,000.00
General Maintenance	1	\$17.00	1,500	\$25,500.00
Pool Technician	1	\$20.00	1,500	\$30,000.00
Total- Full-Time Staff				\$146,500.00
Part-Time Staff:				
Supervisor	1	\$24.50	1,440	\$35,280.00
Lifeguard	5	\$14.50	1,440	\$104,400.00
Food Service	1	\$10.50	1,440	\$15,120.00
Total- Part-Time Staff				\$154,800.00

Source: William L. Haralson & Associates

PROJECTED LABOR COSTS- SITE PLAN OPTION 2

Position	Quantity	Rate	Operating Hours	Extension
Full-Time Staff:				
Facility Manager	1	\$55,000.00	N/A	\$55,000.00
Admin/Sales	1	\$36,000.00	N/A	\$36,000.00
General Maintenance	1	\$17.00	1,500	\$25,500.00
Pool Technician	1	\$20.00	1,500	\$30,000.00
Total- Full-Time Staff				<u>\$146,500.00</u>
Part-Time Staff:				
Supervisor	1	\$24.50	1,440	\$35,280.00
Lifeguard	6	\$14.50	1,440	\$125,280.00
Ride Attendant	2	\$10.50	1,440	\$30,240.00
Guest Assistant	1	\$10.50	1,440	\$15,120.00
Food Service	2	\$10.50	1,440	\$30,240.00
Total- Part-Time Staff				<u>\$236,160.00</u>

Source: William L. Haralson & Associates

PROJECTED LABOR COSTS- SITE PLAN OPTION 3

Position	Quantity	Rate	Operating Hours	Extension
Full-Time Staff:				
Facility Manager	1	\$55,000.00	N/A	\$55,000.00
Admin/Sales	1	\$36,000.00	N/A	\$36,000.00
General Maintenance	1	\$17.00	1,500	\$25,500.00
Pool Technician	1	\$20.00	1,500	\$30,000.00
Total- Full-Time Staff				<u>\$146,500.00</u>
Part-Time Staff:				
Supervisor	2	\$24.50	1,440	\$70,560.00
Lifeguard	10	\$14.50	1,440	\$208,800.00
Ride Attendant	3	\$10.50	1,440	\$45,360.00
Guest Assistant	1	\$10.50	1,440	\$15,120.00
Food Service	3	\$10.50	1,400	\$44,100.00
Total- Part-Time Staff				<u>\$383,940.00</u>

Source: William L. Haralson & Associates

APPENDIX 8
UTILITIES COST ANALYSIS
SITE PLAN OPTIONS 1, 2 & 3

DESIGN CRITERIA- COMPETITION POOL- SITE PLAN OPTION 1

Surface Area (square feet):	12,826
Minimum Depth (feet):	7.0
Maximum Depth (feet):	14.0
Volume (gallons):	1,007,354
Turnover (gpm):	2,798

CATEGORY	AVG. DAILY				
	USAGE	UNIT	UNIT PRICE	DAILY COST	ANNUAL COST
Water	3,312.9	GAL	\$0.01	\$33.13	\$11,595.30
Sewer	1,998.7	GAL	\$0.01	\$19.99	\$6,995.51
Electricity	1,031.5	KWH	\$0.15	\$154.72	\$54,151.21
Natural Gas	646.4	THRM	\$1.00	\$646.43	\$226,250.64
Sodium Hypochlorite	43.2	GAL	\$2.50	\$107.93	\$37,775.78
Muriatic Acid	10.8	GAL	\$3.00	\$32.38	\$11,332.73
TOTALS				\$994.57	\$348,101.17

ASSUMPTIONS:

1. Annual Cost based upon 350 days of operation.
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation.
5. Natural gas usage based upon air velocity of 5 ft/second, 82 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- LAP POOL- SITE PLAN OPTION 1

Surface Area (square feet):	3,379
Minimum Depth (feet):	3.5
Maximum Depth (feet):	5.0
Volume (gallons):	107,418
Turnover (gpm):	298

CATEGORY	AVG. DAILY		UNIT PRICE	DAILY COST	ANNUAL COST
	USAGE	UNIT			
Water	559.4	GAL	\$0.01	\$5.59	\$1,957.77
Sewer	213.1	GAL	\$0.01	\$2.13	\$745.96
Electricity	110.0	KWH	\$0.15	\$16.50	\$5,774.37
Natural Gas	170.3	THRM	\$1.00	\$170.30	\$59,605.56
Sodium Hypochlorite	4.6	GAL	\$2.50	\$11.51	\$4,028.19
Muriatic Acid	1.2	GAL	\$3.00	\$3.45	\$1,208.46
TOTALS				\$209.49	\$73,320.31

ASSUMPTIONS:

1. Annual Cost based upon 350 days of operation.
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation.
5. Natural gas usage based upon air velocity of 5 ft/second, 82 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- COMPETITION POOL- SITE PLAN OPTION 2

Surface Area (square feet):	8,684
Minimum Depth (feet):	7.0
Maximum Depth (feet):	14.0
Volume (gallons):	682,041
Turnover (gpm):	1,895

CATEGORY	AVG. DAILY		UNIT PRICE	DAILY COST	ANNUAL COST
	USAGE	UNIT			
Water	2,243.1	GAL	\$0.01	\$22.43	\$7,850.74
Sewer	1,353.3	GAL	\$0.01	\$13.53	\$4,736.40
Electricity	698.4	KWH	\$0.15	\$104.75	\$36,663.74
Natural Gas	437.7	THRM	\$1.00	\$437.67	\$153,185.76
Sodium Hypochlorite	29.2	GAL	\$2.50	\$73.08	\$25,576.55
Muriatic Acid	7.3	GAL	\$3.00	\$21.92	\$7,672.97
TOTALS				\$673.39	\$235,686.15

ASSUMPTIONS:

1. Annual Cost based upon 350 days of operation.
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation.
5. Natural gas usage based upon air velocity of 5 ft/second, 82 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- ACTIVITY POOL- SITE PLAN OPTION 2

Surface Area (square feet):	5,835
Minimum Depth (feet):	0.0
Maximum Depth (feet):	5.0
Volume (gallons):	109,115
Turnover (gpm):	909

CATEGORY	AVG. DAILY				
	USAGE	UNIT	UNIT PRICE	DAILY COST	ANNUAL COST
Water	1,247.4	GAL	\$0.01	\$12.47	\$4,365.83
Sewer	649.5	GAL	\$0.01	\$6.49	\$2,273.22
Electricity, Circ. Pump	335.2	KWH	\$0.15	\$50.28	\$17,596.64
Electricity, Booster Pump	210.6	KWH	\$0.15	\$31.60	\$4,739.29
Natural Gas	323.5	THRM	\$1.00	\$323.49	\$48,523.86
Sodium Hypochlorite	9.4	GAL	\$2.50	\$23.38	\$8,183.59
Muriatic Acid	2.3	GAL	\$3.00	\$7.01	\$2,455.08
TOTALS				\$454.73	\$88,137.50

ASSUMPTIONS:

1. Annual Cost based upon 350 days of maintenance operation (water, circ. pump, chemicals); 150 days full operation (boost. pump, natura
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation (circ. pump); 12 hours per day operation (booster pump).
5. Natural gas usage based upon air velocity of 5 ft/second, 84 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- SPLASH PAD- SITE PLAN OPTION 2

Surface Area (square feet):	921
Minimum Depth (feet):	0.0
Maximum Depth (feet):	0.0
Volume (gallons):	4,000
Turnover (gpm):	133

CATEGORY	AVG. DAILY		UNIT PRICE	DAILY COST	ANNUAL COST
	USAGE	UNIT			
Water	189.6	GAL	\$0.01	\$1.90	\$663.63
Sewer	95.2	GAL	\$0.01	\$0.95	\$333.33
Electricity, Circ. Pump	49.1	KWH	\$0.15	\$7.37	\$2,580.28
Electricity, Booster Pump	158.0	KWH	\$0.15	\$23.70	\$3,554.47
Sodium Hypochlorite	0.6	GAL	\$2.50	\$1.43	\$500.00
Muriatic Acid	0.1	GAL	\$3.00	\$0.43	\$150.00
TOTALS				\$35.77	\$7,781.72

ASSUMPTIONS:

1. Annual Cost based upon 350 days of maintenance operation (water, circ. pump, chemicals); 150 days full operation (boost. pump).
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation (circ. pump); 12 hours per day operation (booster pump).
5. Natural gas usage based upon air velocity of 5 ft/second, 88 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- LAZY RIVER- SITE PLAN OPTION 3

Surface Area (square feet):	10,672
Minimum Depth (feet):	3.0
Maximum Depth (feet):	3.0
Volume (gallons):	239,480
Turnover (gpm):	1,996

CATEGORY	AVG. DAILY				
	USAGE	UNIT	UNIT PRICE	DAILY COST	ANNUAL COST
Water	2,519.0	GAL	\$0.01	\$25.19	\$8,816.46
Sewer	1,425.5	GAL	\$0.01	\$14.25	\$4,989.16
Electricity, Circ. Pump	735.6	KWH	\$0.15	\$110.34	\$38,620.32
Electricity, Booster Pump	842.5	KWH	\$0.15	\$126.38	\$18,957.18
Natural Gas	591.7	THRM	\$1.00	\$591.66	\$88,748.35
Sodium Hypochlorite	20.5	GAL	\$2.50	\$51.32	\$17,960.98
Muriatic Acid	5.1	GAL	\$3.00	\$15.40	\$5,388.29
TOTALS				\$934.54	\$183,480.74

ASSUMPTIONS:

1. Annual Cost based upon 350 days of maintenance operation (water, circ. pump, chemicals); 150 days full operation (boost. pump, natura
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation (circ. pump); 12 hours per day operation (booster pump).
5. Natural gas usage based upon air velocity of 5 ft/second, 88 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- ACTIVITY POOL- SITE PLAN OPTION 3

Surface Area (square feet):	3,363
Minimum Depth (feet):	0.0
Maximum Depth (feet):	5.0
Volume (gallons):	62,888
Turnover (gpm):	524

CATEGORY	AVG. DAILY		UNIT PRICE	DAILY COST	ANNUAL COST
	USAGE	UNIT			
Water	718.9	GAL	\$0.01	\$7.19	\$2,516.24
Sewer	374.3	GAL	\$0.01	\$3.74	\$1,310.17
Electricity, Circ. Pump	193.2	KWH	\$0.15	\$28.98	\$10,141.82
Electricity, Booster Pump	210.6	KWH	\$0.15	\$31.60	\$4,739.29
Natural Gas	186.4	THRM	\$1.00	\$186.44	\$27,966.71
Sodium Hypochlorite	5.4	GAL	\$2.50	\$13.48	\$4,716.61
Muriatic Acid	1.3	GAL	\$3.00	\$4.04	\$1,414.98
TOTALS				\$275.47	\$52,805.82

ASSUMPTIONS:

1. Annual Cost based upon 350 days of maintenance operation (water, circ. pump, chemicals); 150 days full operation (boost. pump, natura
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation (circ. pump); 12 hours per day operation (booster pump).
5. Natural gas usage based upon air velocity of 5 ft/second, 88 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- SLIDE RECEIVING POOL- SITE PLAN OPTION 3

Surface Area (square feet):	1,088
Minimum Depth (feet):	3.0
Maximum Depth (feet):	3.5
Volume (gallons):	26,449
Turnover (gpm):	441

CATEGORY	AVG. DAILY		UNIT PRICE	DAILY COST	ANNUAL COST
	USAGE	UNIT			
Water	426.4	GAL	\$0.01	\$4.26	\$1,492.24
Sewer	314.9	GAL	\$0.01	\$3.15	\$1,102.05
Electricity, Circ. Pump	162.5	KWH	\$0.15	\$24.37	\$8,530.83
Electricity, Booster Pump	316.0	KWH	\$0.15	\$47.39	\$7,108.94
Natural Gas	60.3	THRM	\$1.00	\$60.32	\$9,047.81
Sodium Hypochlorite	2.3	GAL	\$2.50	\$5.67	\$1,983.70
Muriatic Acid	0.6	GAL	\$3.00	\$1.70	\$595.11
TOTALS				\$146.87	\$29,860.68

ASSUMPTIONS:

1. Annual Cost based upon 350 days of maintenance operation (water, circ. pump, chemicals); 150 days full operation (boost. pump, natura
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation (circ. pump); 12 hours per day operation (booster pump).
5. Natural gas usage based upon air velocity of 5 ft/second, 88 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- LAP POOL- SITE PLAN OPTION 3

Surface Area (square feet):	3,379
Minimum Depth (feet):	3.5
Maximum Depth (feet):	5.0
Volume (gallons):	107,418
Turnover (gpm):	298

CATEGORY	AVG. DAILY		UNIT PRICE	DAILY COST	ANNUAL COST
	USAGE	UNIT			
Water	559.4	GAL	\$0.01	\$5.59	\$1,957.77
Sewer	213.1	GAL	\$0.01	\$2.13	\$745.96
Electricity	110.0	KWH	\$0.15	\$16.50	\$5,774.37
Natural Gas	170.3	THRM	\$1.00	\$170.30	\$59,605.56
Sodium Hypochlorite	4.6	GAL	\$2.50	\$11.51	\$4,028.19
Muriatic Acid	1.2	GAL	\$3.00	\$3.45	\$1,208.46
TOTALS				\$209.49	\$73,320.31

ASSUMPTIONS:

1. Annual Cost based upon 350 days of operation.
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation.
5. Natural gas usage based upon air velocity of 5 ft/second, 82 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.

DESIGN CRITERIA- SPLASH PAD- SITE PLAN OPTION 3

Surface Area (square feet):	1,963
Minimum Depth (feet):	0.0
Maximum Depth (feet):	0.0
Volume (gallons):	4,000
Turnover (gpm):	133

CATEGORY	AVG. DAILY				
	USAGE	UNIT	UNIT PRICE	DAILY COST	ANNUAL COST
Water	0.0	GAL	\$0.01	\$0.00	\$0.00
Sewer	0.0	GAL	\$0.01	\$0.00	\$0.00
Electricity, Circ. Pump	0.0	KWH	\$0.15	\$0.00	\$0.00
Electricity, Booster Pump	158.0	KWH	\$0.15	\$23.70	\$3,554.47
Sodium Hypochlorite	0.0	GAL	\$2.50	\$0.00	\$0.00
Muriatic Acid	0.0	GAL	\$3.00	\$0.00	\$0.00
TOTALS				\$23.70	\$3,554.47

ASSUMPTIONS:

1. Annual Cost based upon 350 days of maintenance operation (water, circ. pump, chemicals); 150 days full operation (boost. pump).
2. Analysis does not include maintenance/operations labor costs.
3. Water usage based upon 60" annual evaporative loss and filter backwash averaging once weekly.
4. Electrical usage based upon 18 hours per day operation (circ. pump); 12 hours per day operation (booster pump).
5. Natural gas usage based upon air velocity of 5 ft/second, 88 degree water and 60 degree air temperature.
6. Chemical usage based upon maintaining 1.0 PPM chlorine and pH of 7.2 - 7.4.