

March 25, 2019

Mr. Kyle Godat
Project Director, Re/Development
Brixmor Property Group
1525 Faraday Avenue, Suite 350
Carlsbad, California 92008

RE: 757-888 Russell Boulevard, University Mall Project

Dear Mr. Godat,

During its meeting on November 26, 2018, the Historical Resources Management Commission requested additional information on the cultural resources inventory and evaluation of the University Mall in Davis. Responses to those requests and comments are provided herein.

1. Unanticipated Discoveries of Archaeological Materials: Commissioners Herbert and Clementi suggested archaeological and tribal monitoring during ground-disturbing activities. While the City reserves the right to condition the project with monitoring, ECORP's report (2018) provided a professional archaeologist's recommendation that monitoring is not warranted based on ECORP's research. In developing our recommendation, we reviewed and considered the following sources of data: examination of any exposed soil during a pedestrian survey (ECORP 2018:23); soils information from the Natural Resources Conservation Service (ECORP 2018: 9); historical aerial photographs and topographic maps of the Project area (ECORP 2018: 28); records search information from the California Historical Resources Information System about the locations of the nearest archaeological sites (ECORP 2018: 27); and prior land use. The highest sensitivity for archaeological materials is along Putah Creek, located 1.2 miles southeast of the University Mall. Recognizing that there are no known archaeological sites within the vicinity of the Project area, and that no discoveries were encountered during the mall's original construction, ECORP determined that the potential for discovering archaeological materials during reconstruction is low. Further, there are strict procedures in State law to manage any unanticipated discoveries. These procedures are provided on pages 38 and 39 of the technical report (ECORP 2018).
2. Architect and Building Plans: Commissioner Hickman requested information about the architect of the mall building. The Tuesday, July 20, 1965 edition of the *Enterprise* included a news story about the new Safeway Store in West Side Shopping Center (now University Mall). They described the new 36,000 square foot grocery store surrounded by a 424-vehicle parking area. The article cited Robert B. Liles as the architect of the "Huge" and "Ultra-Modern" store.

The current owners of the property conducted an additional search of documents associated with University Mall. No plan documents representing the original architect or builder could be located. However, Attachment A to this letter provides copies of the only building plans available,

both for renovations: one set dated 1986 (Architect James Plumb) and one set dated 1999 (Architect Laura B. McCaulay).

An examination of the renovation plan sets confirms that the University Mall lost much of its original integrity, through interior remodelling and a change to the exterior footprint. The original mall was built to mimic the Southdale Mall, as described in the historic context section of the report (Section 3.5.2). The original mall included Mid-Century Modern features including walls composed of aggregate siding and a "dimpled roofline" decorative element. These features were later removed, although it is not clear if they were altered during the 1986 or 1999 remodelling episodes. Skylights were added to the mall in 1986 to bring light to interior spaces, and the 1999 remodel included substantial changes to the physical layout and materials of the mall. The primary entrance was modified including a new floor plan, doorway, and decorative elements. A huge space was added, and interior walls removed to accommodate Gottschalks. Finishes throughout the mall were updated. Overall, much of the Mid-Century architectural features, including the prominent details on the exterior façade of the building, were removed or altered. As described in Section 6.3 of the report, the building has lost the integrity of workmanship and design, which represented much of the Mid-Century architecture.

In addition, the earlier evaluation by Michael Brandman Associates (now First Carbon Solutions) in 2012 noted that the "archival research potential for the building has been exhausted." Therefore, there is no additional information beyond what is reported in the technical report (ECORP 2018).

3. Historical Photographs and Building History: Commissioner Lowry requested that historical photographs be obtained for the University Mall. In fact, three historical photographs of the mall from the 1960s and 1970s were identified during the archival research effort for the University Mall associated with the preparation of the 2018 report. All three images were found in the book *Davis: Transformation* written by John Lofland in 2016. None of these images were included in the 2018 report for two primary reasons: 1) ECORP did not possess copyright authority to reproduce images not marked for public use; and 2) the image quality would have been poor due to being cropped scans from book pages.

Subsequently, at the suggestion of the Commission, ECORP contacted Mr. John Lofland directly on March 15, 2019 to request photographs specific to the History of University Mall. A copy of the correspondence is enclosed in Attachment B. Mr. Lofland responded to indicate that he does not know much about historical photographs of the University Mall, but referenced several photographs published in his 2016 book. As stated above, because those images are protected by copyright, they cannot be reproduced and provided herein; however, a copy of the book was purchased by the property owner and is being provided to the Commission for it to donate to a library of its choosing.

Mr. Lofland also cited the following repositories for historical information: Ike Njoku with the City of Davis; Dennis Dingemans of the Hattie Weber Museum; and the UC-Davis Shields Library, Department of Special Collections, from which he obtained the images now published with permission in his book. Mr. Lofland was not aware if any of these repositories possessed any

photographs beyond those reproduced in his book; however, if so, any photographs are already being preserved in the archival record. There are no known unpublished or unavailable historical photographs in existence.

4. Historical Context: Commissioner Hickman requested additional information on the historic context and history of occupation of the University Mall building, as follows.
 - a. *Historical and Prehistorical Context*: The report by ECORP (2018) contains 12 pages of historical and prehistorical context for the Project area (Sections 3.5.1 and 3.5.2). As described in the historical aerial and map review, the property remained undeveloped until 1966. Archival research and review of historical aerials and maps (Section 5.1.3) indicate that the property was not used for agriculture and had no apparent relationship with the grape or wine industry in Davis. Though much of the land in and around Davis was used during the early 1900s to support the growing University Farm and agriculture industry of the region, there is no evidence that the property on which the University Mall was eventually built was used for such purpose. An historical image from Lofland's 2016 book *Davis: Transformation* shows the location of the University Mall prior to development as an undeveloped open field (Lofland 2016: 32). As summarized in Section 5.1.3 of the report, historical topographic maps and aerials do not show evidence of agricultural activity. Non-copyrighted maps and photographs are provided in Attachment C to this letter.
 - b. *Commercial Context as it relates to the Downtown Commercial Core*: Section 3.5 of the report (ECORP 2018) provided a historical context for the University Mall as it fits within the broad history of Yolo County, the City of Davis, the development of malls, and architectural relevance. Within those contexts, ECORP determined that the contribution the University Mall had to the City of Davis was that it provided commercial services to the community and the growing University population in the area, similarly as would a gas station provide for the rising need in fuel consumption. However, ECORP concluded that the contribution within the context of economic growth for the City and its commercial industry (which was primarily agriculturally driven) was not significant to the broad patterns of history, as is the Criterion 1 for eligibility to the California Register of Historical Resources (CRHR). Background data specific to development of the mall and interactions with the downtown core were not included because research did not indicate that the mall had significant historical associations, as defined in the CRHR criteria, to the downtown commercial core. It can be speculated that feasibility of construction of the mall was supported by the growing population and lack of sustainable commercial retail in the downtown core following the University's incorporation into the UC system in 1962. However, historical research did not confirm this as a specific reason for development of the mall or any of its retail partners. Section 3.5.2 discusses the emergence of malls across the country and, as seen as the primary reason for most malls, the University Mall was intended to provide commercial retail to a growing City. Overall, the lack of commercial retail services adjacent to UC Davis and the distance from the University to the Downtown commercial core, coupled with the efficiency of mall design in general, was likely the

factor that made the original project feasible. These factors are important reasons for a commercial retail business or mall to exist, but do not translate to the mall having historical significance as being eligible for the CRHR. In other words, the Mall was developed to support a growing economy in the City, but the Mall did not fuel that growing economy, and this is supported by the chronology of development of Davis visible on historical aerials and topographic maps.

- c. *Controversial History as the First Mall in Davis:* A mall is an alternative way to organize commercial businesses as opposed to a commercial core in a city. As Davis grew in population and physical size, the mall was another method for providing retail and commercial services to the growing city. As such, early residents and commercial businesses in Davis may have felt pressure to adapt to the changes to the City during the 1960s and 1970s and some may have resisted that change, leading to controversy over specific projects such as large residential neighbourhoods, big box retail stores, or a mall. A search of available records, however, did not detail any specific controversy surrounding the development and construction of the University Mall. In addition, controversy over a project or development does not constitute significance under the criteria for inclusion in the CRHR.
- d. *First Mall with Air Conditioning West of the Mississippi River:* Commissioner Rifkin commented that the University Mall in Davis may have been the first air-conditioned mall west of the Mississippi River. As described on page 20 of the 2018 report, the Southdale Mall in Edina, Minnesota was the first fully-enclosed and air-conditioned mall in America. ECORP subsequently researched the first air-conditioned mall *west of the Mississippi* and found that there is some debate regarding which mall actually holds that honor – several malls were built in the late 1950s that were fully enclosed and had air conditioning. Examples include: the Gulfgate Center in Houston, Texas, which opened in 1957; Big Town Mall in Mesquite, Texas, which opened in 1959; and PlazAmericas Mall (formally known as Sharpstown Mall) in Houston, Texas, built in 1961. Regardless of which is correct, the collective understanding that the first mall West of the Mississippi River with indoor climate control was built in the late 1950s, as much as a decade prior to the University Mall’s construction. Indoor climate control was broadly used in malls across American by the early 1960s.
- e. *Tenants Through Time and Significance:* Tenants mirror the evolution of shopping centers and retail in general. Soft goods retailers were the initial primary tenants while food and service tenants are prevalent today; a trend that mimics retail centers across the country. Specifically, some of the larger tenants through time include the Lawrence’s department store, Rite Aid drugstore, Cost Plus World Market, and Gottschalks.
- f. *Specific Renovations and Architectural Changes:* The original mall construction started in 1965 and the mall opened in 1966. In 1970, the mall added 20,000 square feet for the Lawrence Department Store. The mall was further renovated 1999 to accommodate Gottschalks. The architectural modifications from 1966 through today are noticeable; while the overall concept of the building remains with awnings and open store fronts, some of the most substantial architectural changes to the site were the addition of the

Trader Joe's in 2010 and the specific building renovation details addressed in response number 2, above (see building plans included as Attachment A).

- g. *Describe Who Used the Land Prior to the Mall:* Sections 5.1.2 and 5.1.3 of the 2018 report summarize the review of historical land ownership and use data on file with the sources noted in Sections 4.2 and 4.5 of the report. As shown in Table 3 of the report, the only historical ownership of the property was Jerome C. Davis, who patented the land that would later be known as the City of Davis in 1869. As described in Section 5.1.3 of the report and shown in Attachment C to this letter, historical maps dating back to 1863 through 1952 do not reveal any use of the property. The first observed use of the project area is the construction of the mall building; therefore, it can be assumed that the site was private, unused open space.

As described in the 2018 report titled "Cultural Resources Inventory and Architectural History Evaluation Report: University Mall, Davis" by ECORP Consulting, Inc., the University Mall is a Mid-Century Modern-styled shopping center that is not eligible for listing in the National Register of Historic Places or the California Register of Historical Resources, and therefore, is not an historical resource under the California Environmental Quality Act. The additional information gathered in response to the Commission's request does not reverse this determination. We hope that the additional information gathered in response to the Commission's comments is useful.

If you have any questions, you may contact me at (916) 782-9100 or by email at lwestwood@ecorpconsulting.com.

Sincerely,



Lisa D. Westwood, RPA
Director of Cultural Resources

Attachments:

- A - Building Renovation Plans
- B - Lofland Correspondence
- C - Historical Maps and Aerial Photographs

LIST OF ATTACHMENTS

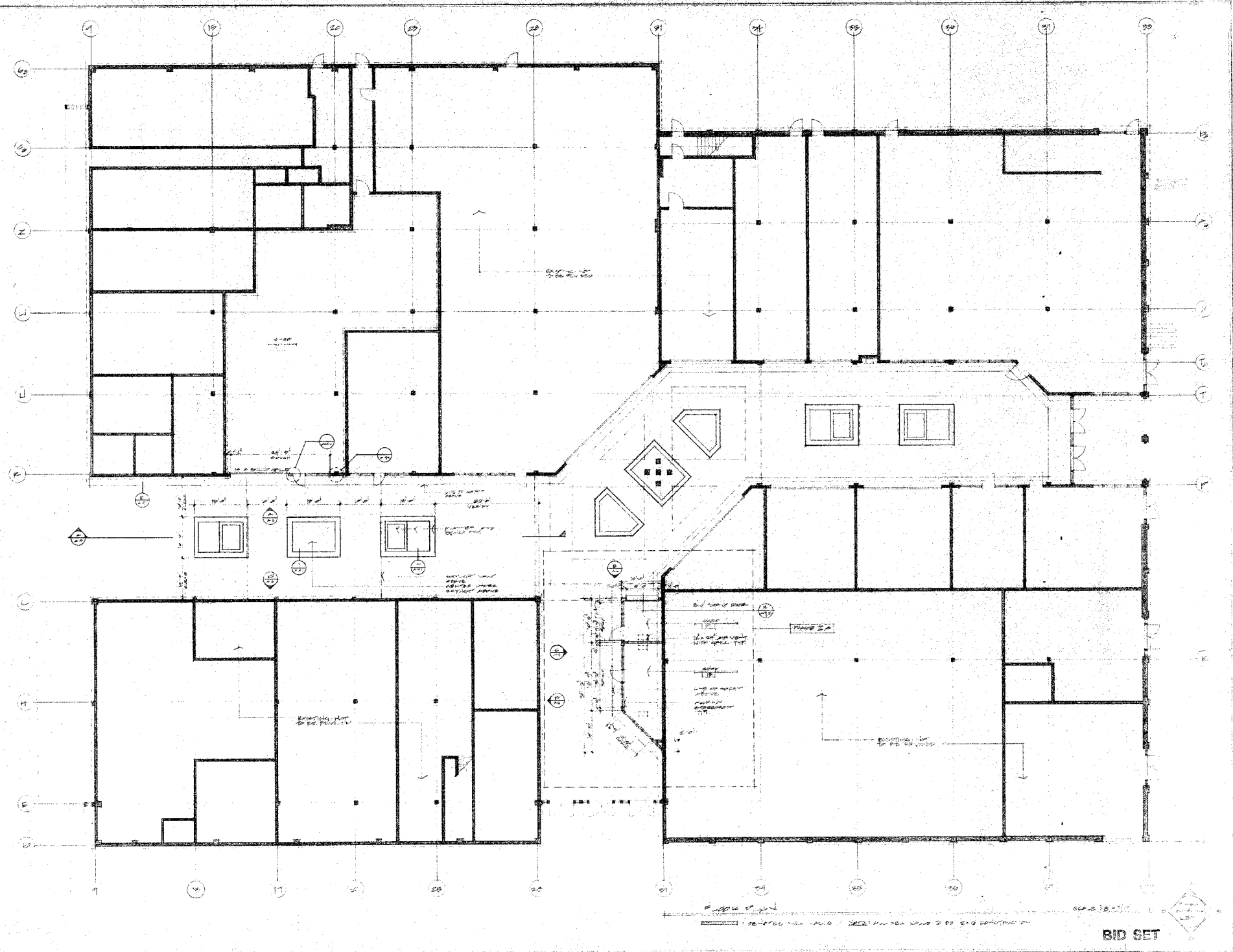
A - Building Renovation Plans

B - Lofland Correspondence

C - Historical Maps and Aerial Photographs

ATTACHMENT A

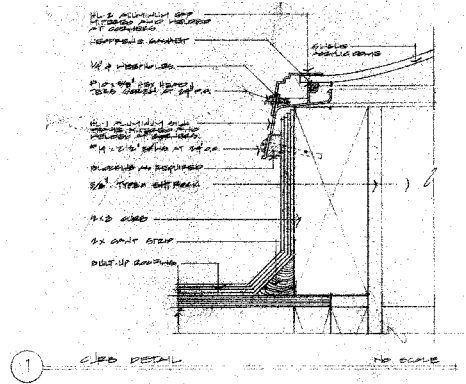
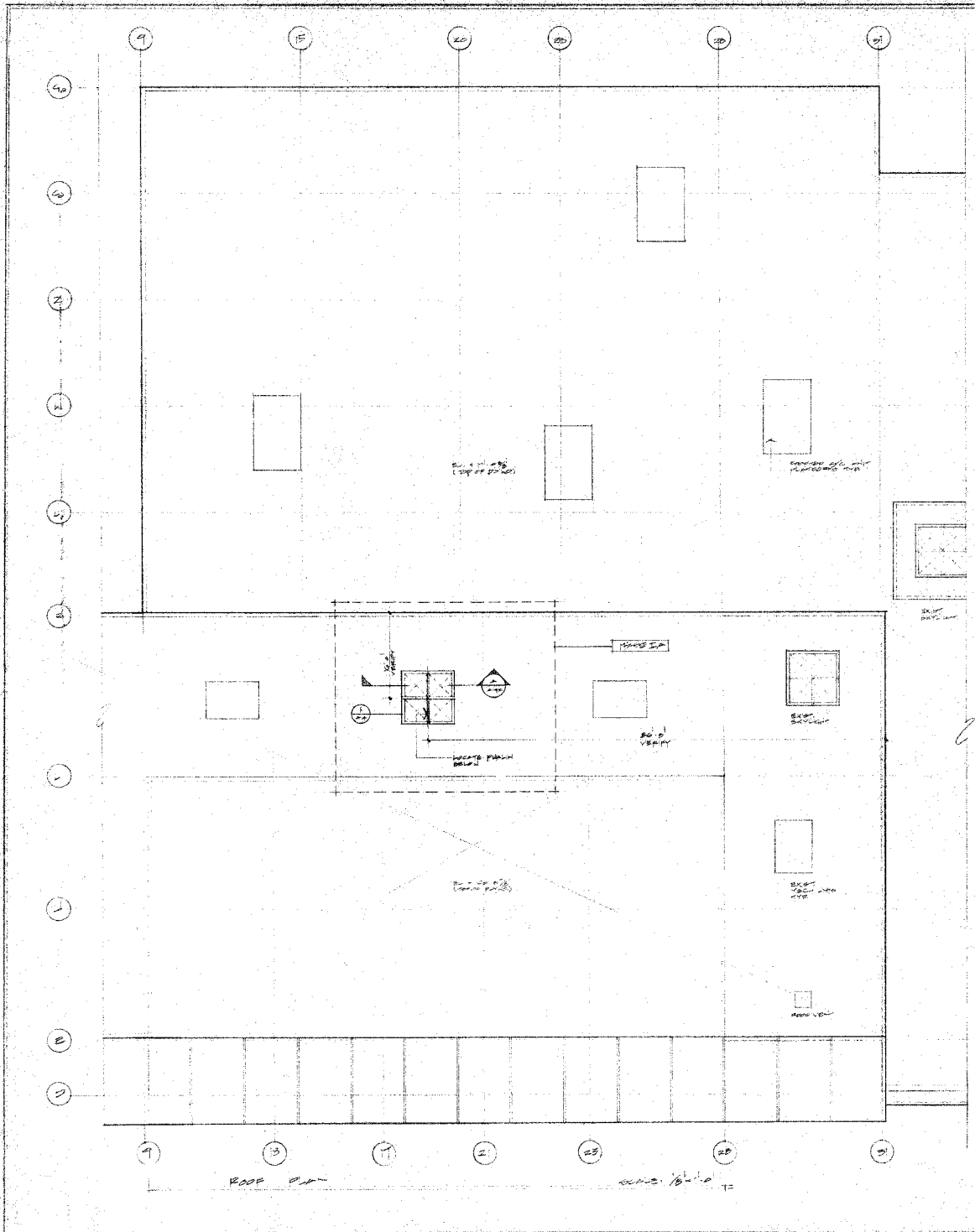
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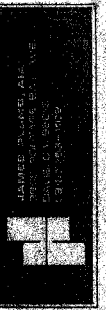
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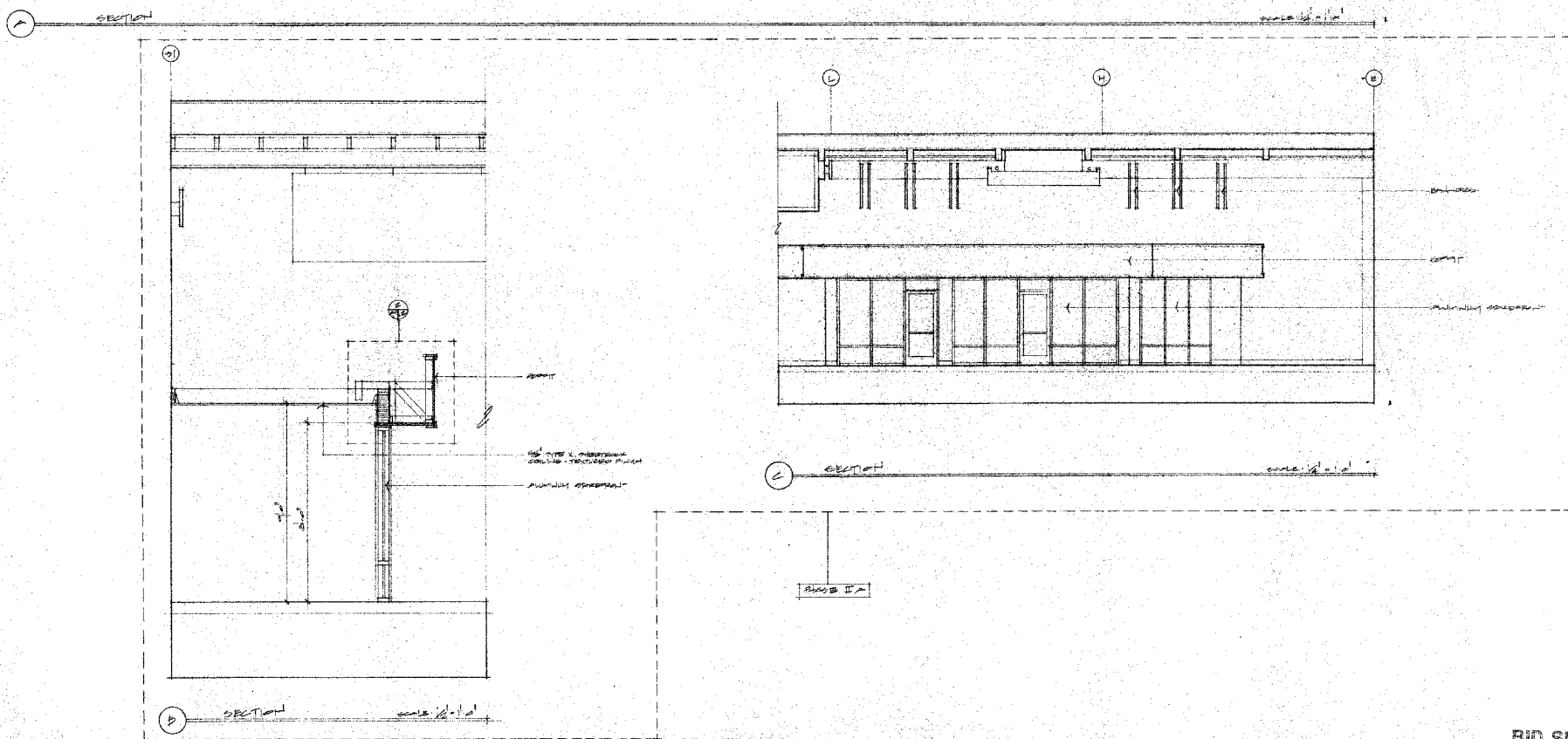
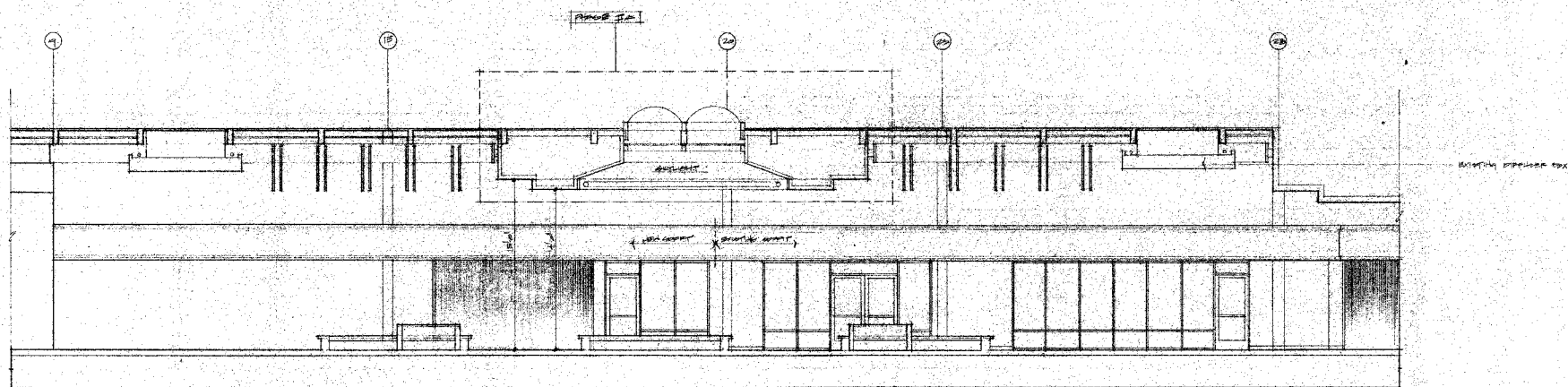
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HARMER, BLAIR & ASSOCIATES, INC.
 10000 UNIVERSITY MALL, SUITE 100
 SAN DIEGO, CALIFORNIA 92161
 (619) 594-1100

UNIVERSITY MALL PHASE II
 CIVIL ARCHITECTURAL
 DAVIS

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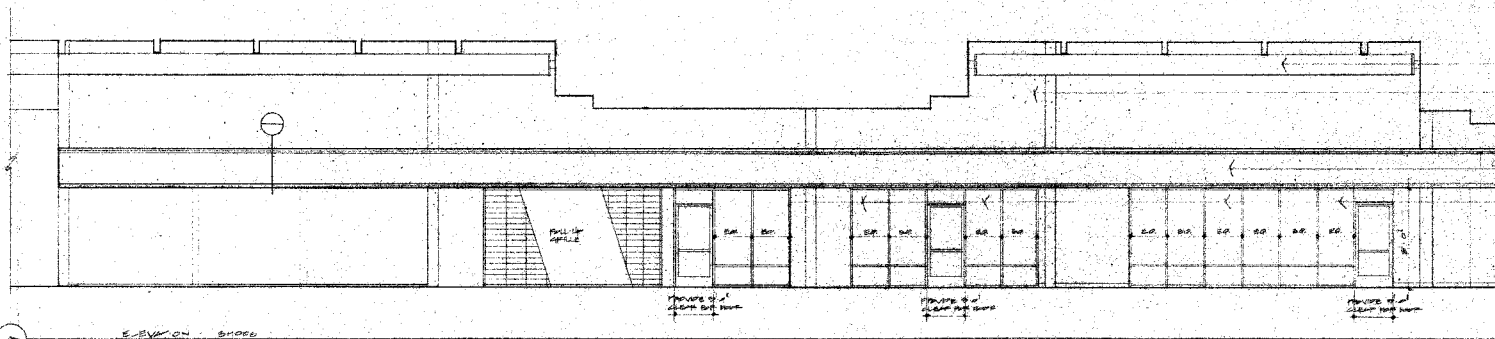


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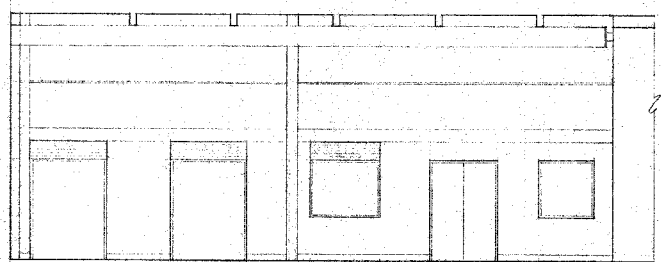
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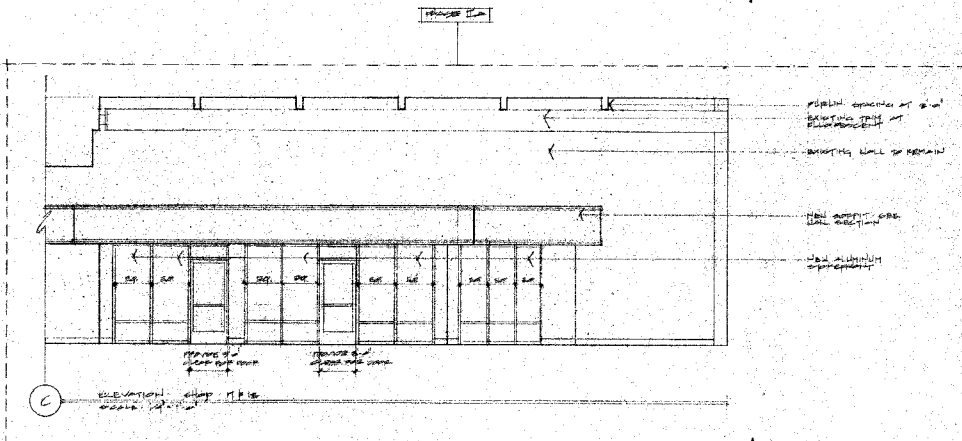
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GALV. ROOFING



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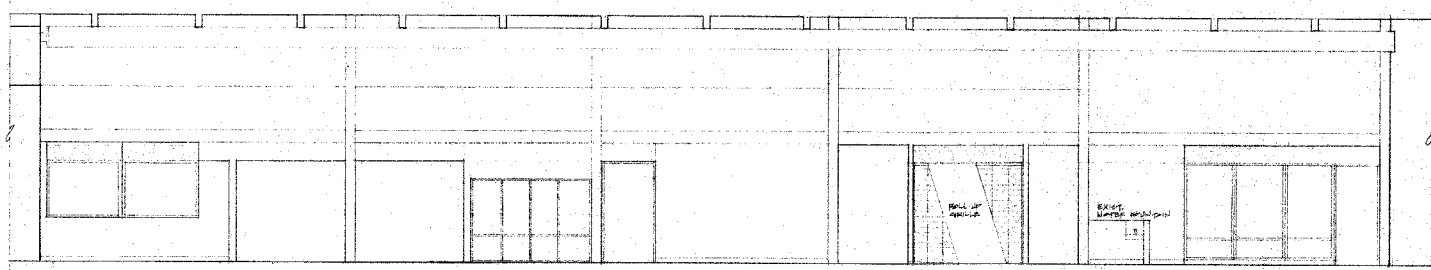
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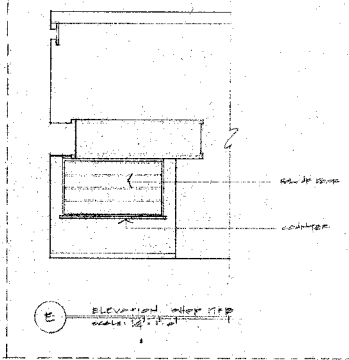
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E

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UNIVERSITY MALL PHASE II

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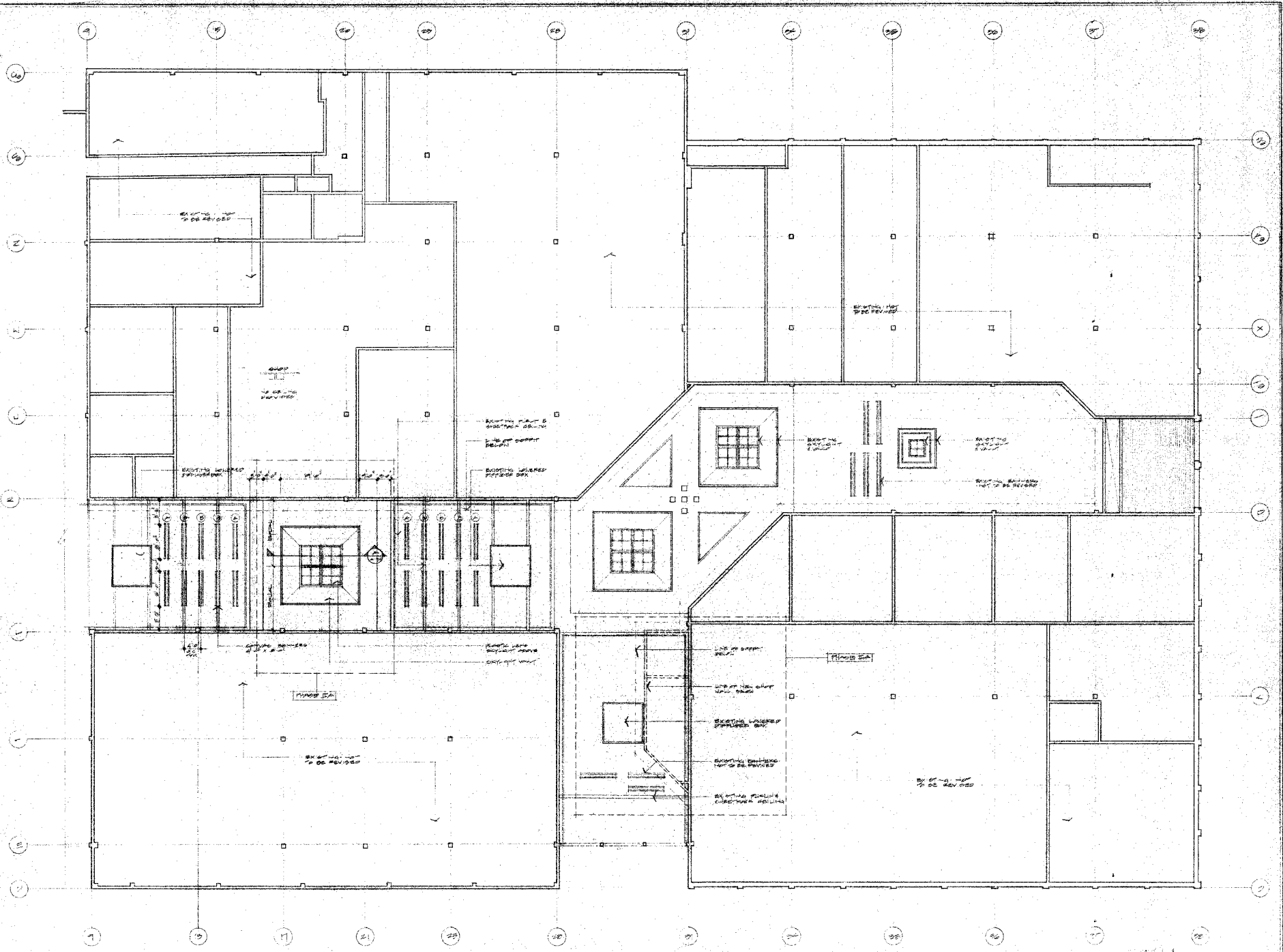
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UNIVERSITY MALL PHASE II
 DAVIS CALIFORNIA

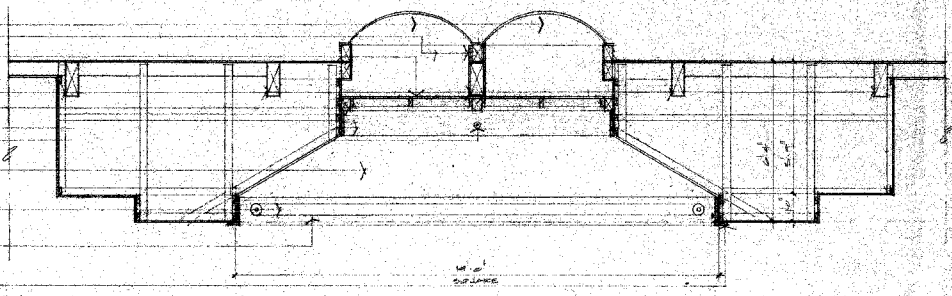


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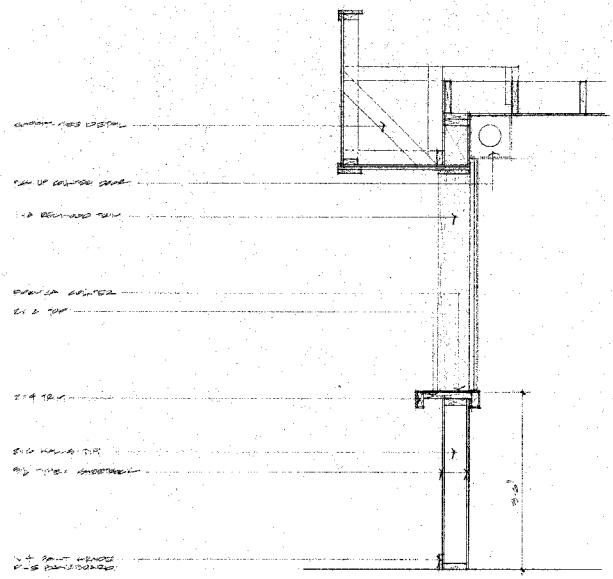
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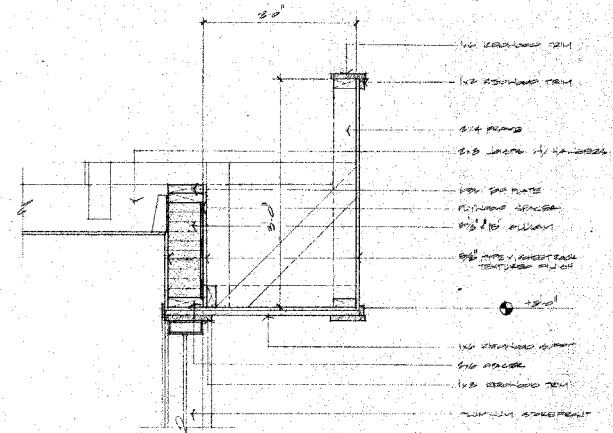
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- 5/8" TYPE A SHEETROCK
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- BRICK



1 SKYLIGHT VAULT DETAIL



2 WINDOW DETAIL



3 WINDOW DETAIL

1/16/88



UNIVERSITY MALL PHASE II
 UNIVERSITY OF CALIFORNIA
 DAVIS

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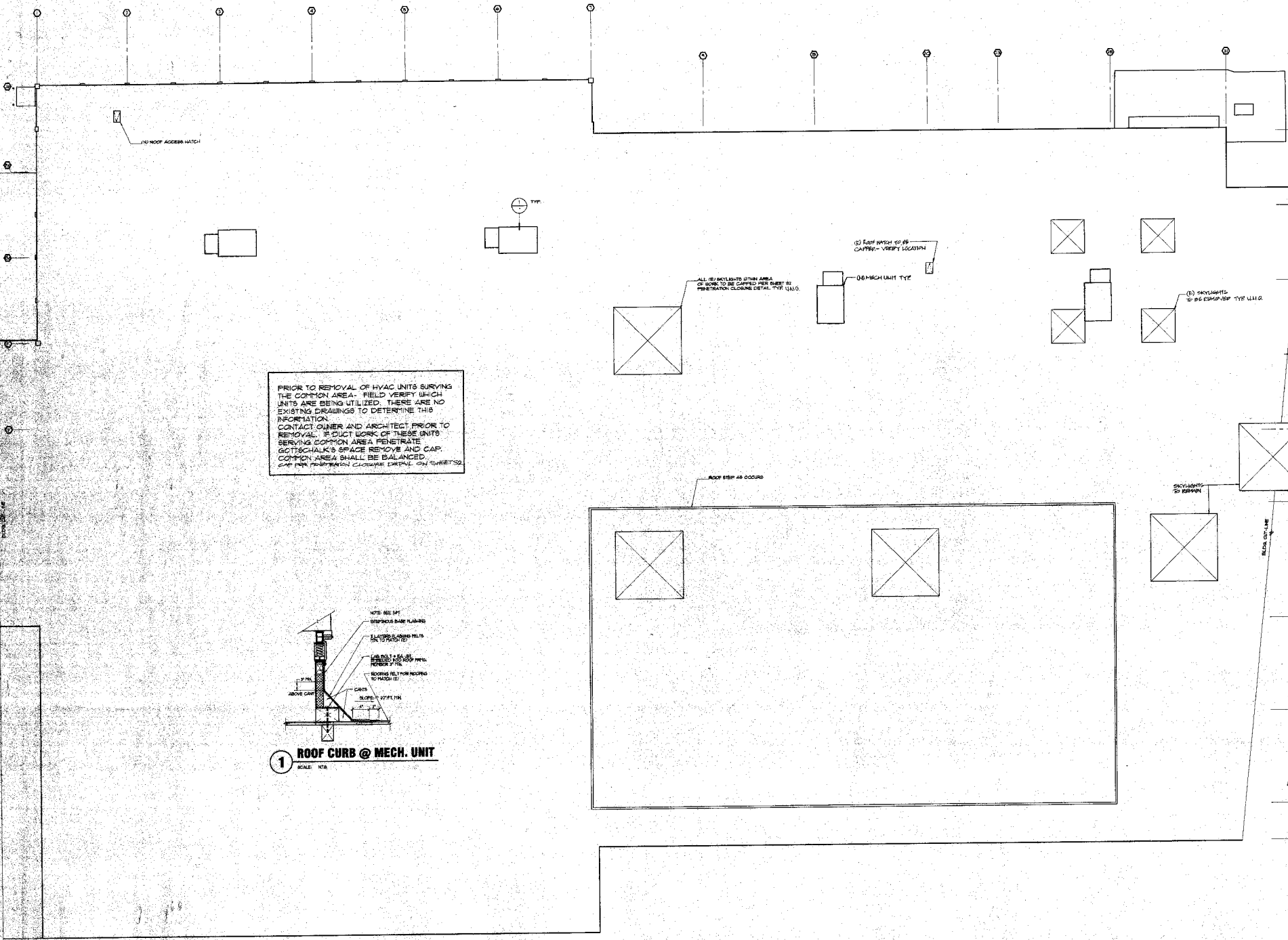
APPROVED
McKerryKirk
 I have prepared these drawings in accordance with the provisions of the California Building Code and the provisions of the California State Board of Building Standards. I am a duly licensed Architect in the State of California. I have prepared these drawings in accordance with the provisions of the California Building Code and the provisions of the California State Board of Building Standards. I am a duly licensed Architect in the State of California.
 NUMBER: 100
 DATE: JUL-18-1999

The undersigned architect does not represent in these plans or the specifications or contract documents any materials, whether or not specified, for other sites than the site for which they are specifically prepared. The architect disclaims responsibility for these plans and specifications if they are used whole or in part at any other site.
 The contractor shall verify and be responsible for all dimensions and conditions on the site and that all work shall be verified in writing of any variation from dimensions and conditions shown by these plans.
 This drawing is not filed or to be used for contract until signed by the architect and owner.
 All drawings and written material appearing hereon constitute the original and unrevoked work of the Architect and the same may not be duplicated, reproduced or used in any way without the written consent of the Architect.

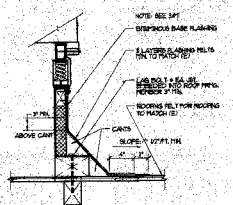
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 CITY OF CALIFORNIA

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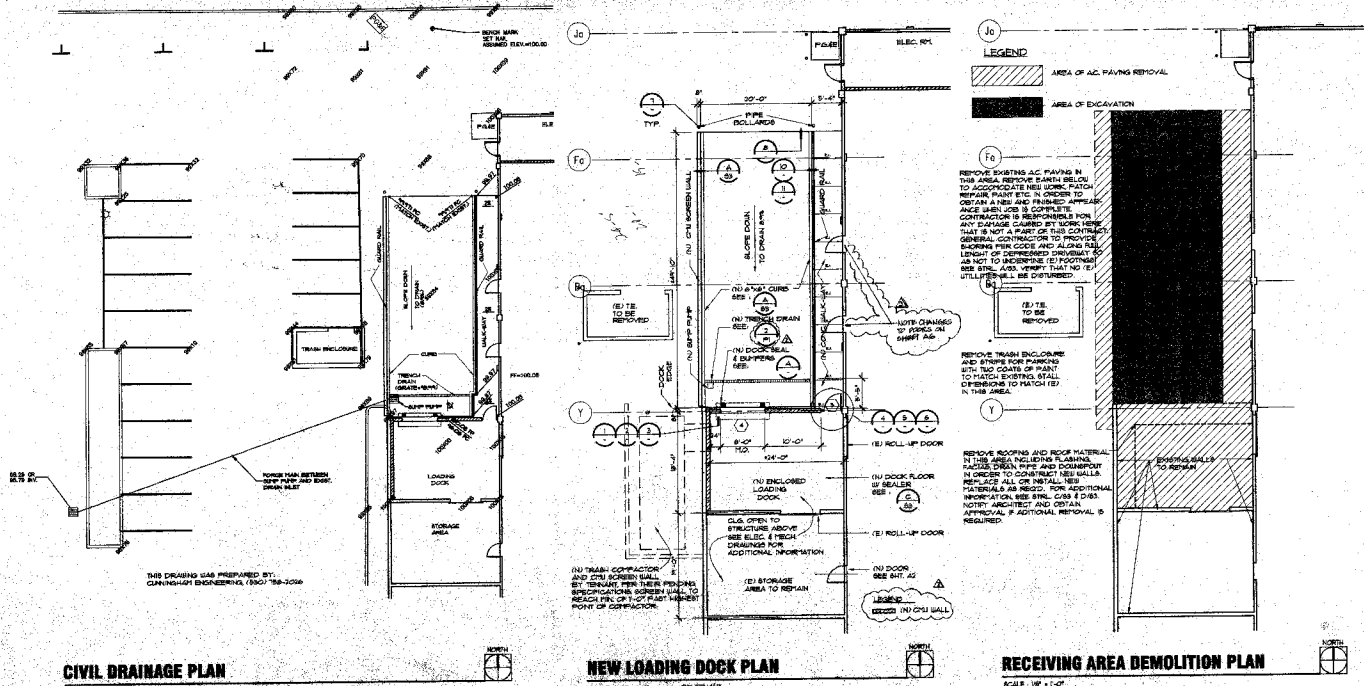
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 PROJECT # 100
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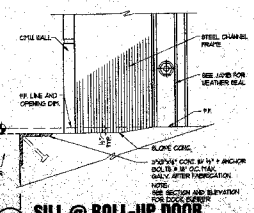
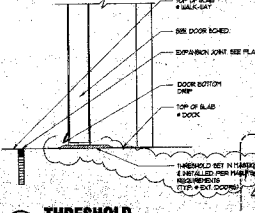
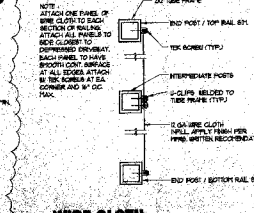
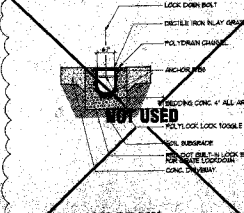
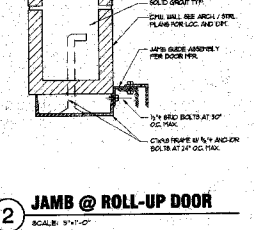
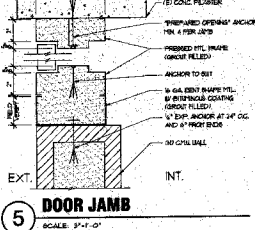
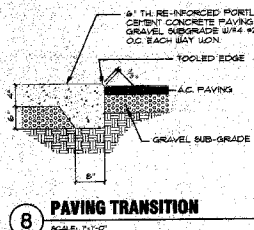
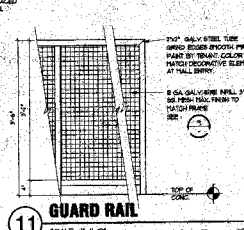
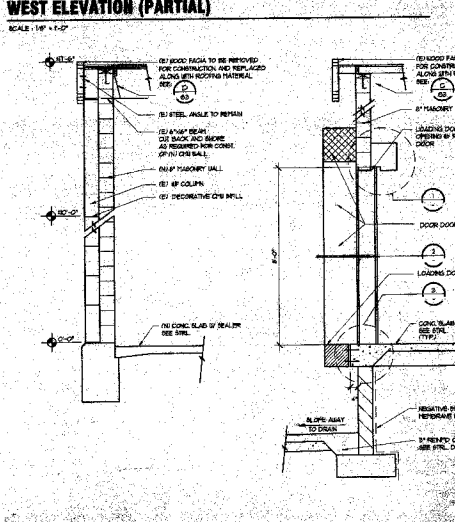
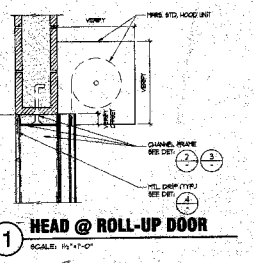
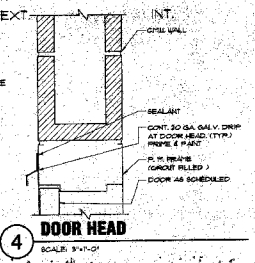
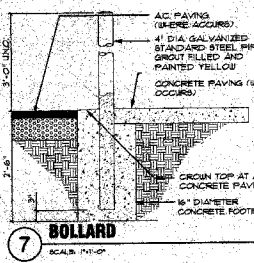
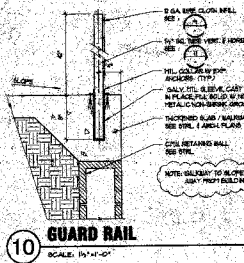
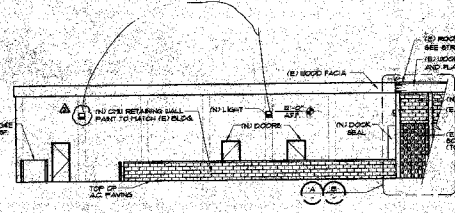
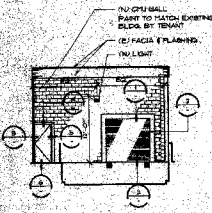
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REMOVE ROOFING AND ROOF MATERIAL IN THIS AREA INCLUDING FLASHING, FACED BRICK, AND DOWNSPOUTS IN ORDER TO CONSTRUCT NEW WALL. MATERIALS AS REQ'D. FOR ADDITIONAL INFORMATION, SEE SITE LOG # 10. NOTIFY ARCHITECT AND OBTAIN APPROVAL. IF ADDITIONAL REMOVAL IS REQUIRED.

NOTE:
ALL WORK ASSOCIATED WITH CONSTRUCTION OF THE NEW LOADING DOCK & ITS ENCLOSURE TO BE PAID BY THE TRAVELER.



LOADING DOCK

APPROVED
McKenny/Young
 DATE: JUL 10 1999

The undersigned architect does not represent the design or construction of the job and the site may be modified in writing by the contractor. No other drawings or specifications shall be used in the construction of the job unless they are approved in writing by the architect.

This drawing is not to be used for construction and shall be used for the contractor's use only.

All drawings and sections including this one, shall be the property of the architect and shall not be reproduced, copied, or used in any way without the written consent of the architect.



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02	06-10-99	ACCOMPLISH
03	06-10-99	PLAN CHECK

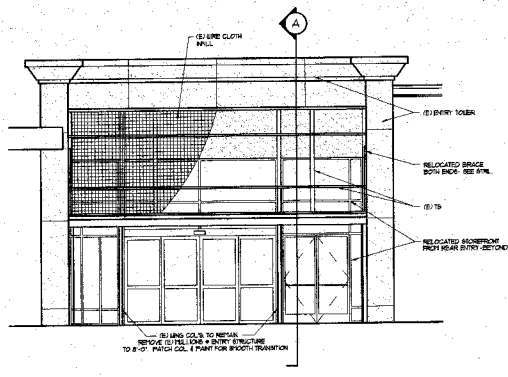
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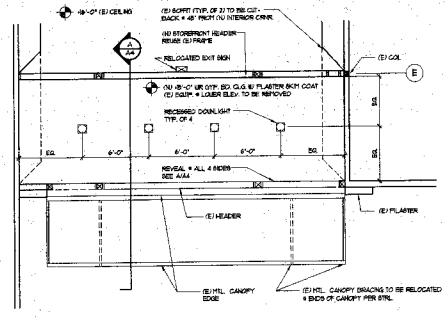
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 ALAN C. HON 018979
 LAURA B. MACALUSY 028102
 DENNIS DONG 012183

 PETER B. DANNEFELSER II 018945
 JOHN R. PETROCCIO 028110

2150 CAPITOL AVENUE, SUITE 200
 SACRAMENTO, CALIFORNIA 95816
 TEL: 916/445-7741 FAX: 916/445-0467
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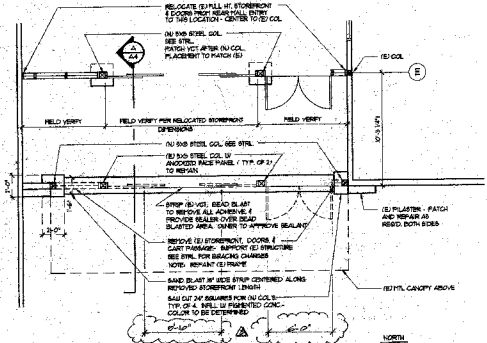


MALL ENTRY ELEVATION
 SCALE: 1/4" = 1'-0"

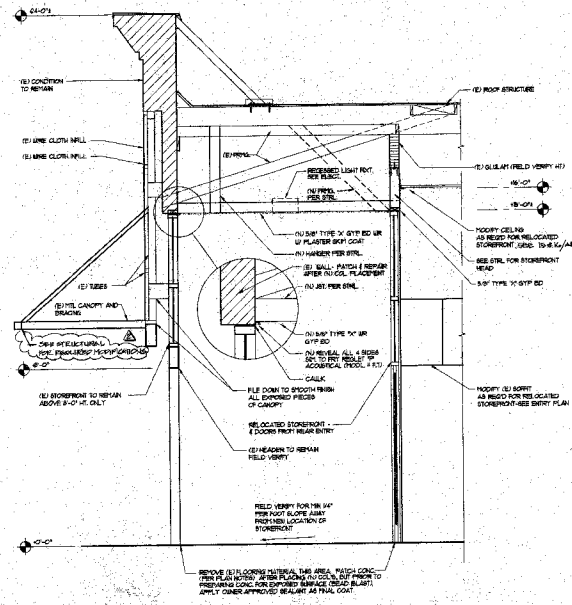


MALL ENTRY REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

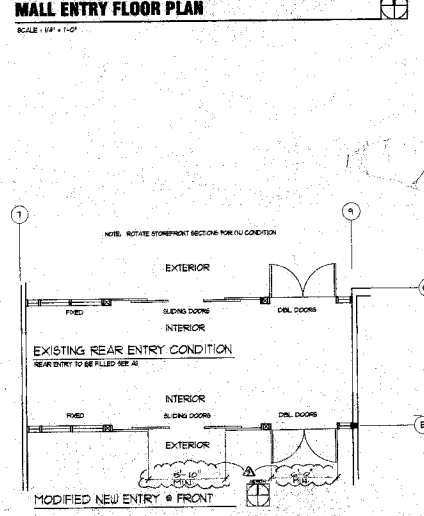
Project
UNIVERSITY MALL RENOVATION
CORNER OF RUSSELL BLVD. AND ANDERSON RD. DAVIS, CA
871 RUSSEL BLVD.



MALL ENTRY FLOOR PLAN
 SCALE: 1/4" = 1'-0"



MALL ENTRY SECTION
 SCALE: 3/8" = 1'-0"



MALL ENTRY STOREFRONT
 SCALE: 1/4" = 1'-0"

Sheet Title
MALL ENTRY PLAN, ELEVATIONS, SECTION

APPROVED
McKernyKrug

This document is intended to be used for construction purposes only. It is not to be used for any other purpose. The contractor shall verify all dimensions and conditions on the job and shall be responsible for all dimensions and conditions on the job and shall be responsible for all dimensions and conditions on the job.

DRAWN: JLD
 DATE: JUL 18 1999

The undersigned certifies that they represent the contractor and are responsible for all dimensions and conditions on the job and shall be responsible for all dimensions and conditions on the job.

The contractor shall verify and be responsible for all dimensions and conditions on the job and shall be responsible for all dimensions and conditions on the job.

All drawings and written instructions appearing herein constitute the original and unconditional work of the Architect, and the same may not be duplicated, used or disclosed without written consent of the Architect.

RECEIVED
 JUN 21 1999
 PROJECT: UNIVERSITY MALL RENOVATION

NO.	DATE	DESCRIPTION
1	6/18/99	ISSUED FOR PERMITS
2	6/21/99	ISSUED FOR CONSTRUCTION
3	6/21/99	ISSUED FOR CONSTRUCTION

Drawing No. **A4**
 JUN 21 1999
 UNIVERSITY MALL RENOVATION



NO.	DATE	DESCRIPTION
1	06/24/99	CONTRACT
2	06/24/99	CONTRACT
3	06/24/99	PLAN CHECK
4	06/24/99	CONTRACT

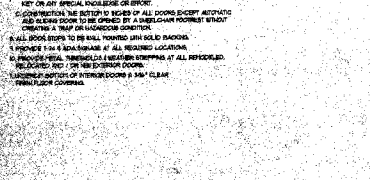
Drawing No. _____

DOOR SCHEDULE										
NO.	TYPE	FINISH	OPERATION	SWING	FRAME	GLASS	GLASS TYPE	GLASS SIZE	GLASS WEIGHT	REMARKS
1	10'0" x 7'0"	A	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
2	10'0" x 7'0"	B	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
3	10'0" x 7'0"	C	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
4	10'0" x 7'0"	D	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
5	10'0" x 7'0"	E	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
6	10'0" x 7'0"	F	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
7	10'0" x 7'0"	G	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
8	10'0" x 7'0"	H	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
9	10'0" x 7'0"	I	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
10	10'0" x 7'0"	J	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
11	10'0" x 7'0"	K	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
12	10'0" x 7'0"	L	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
13	10'0" x 7'0"	M	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
14	10'0" x 7'0"	N	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
15	10'0" x 7'0"	O	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
16	10'0" x 7'0"	P	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
17	10'0" x 7'0"	Q	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
18	10'0" x 7'0"	R	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
19	10'0" x 7'0"	S	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
20	10'0" x 7'0"	T	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
21	10'0" x 7'0"	U	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
22	10'0" x 7'0"	V	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
23	10'0" x 7'0"	W	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
24	10'0" x 7'0"	X	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
25	10'0" x 7'0"	Y	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.
26	10'0" x 7'0"	Z	ALUM.	ALUM.	PT.	PT.	PT.	100	100	BY TYP.

DOOR NOTES

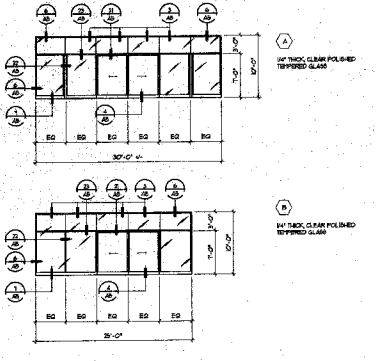
- ALL NEW HARDWARE TO MATCH BUILDING STANDARD. MANUFACTURER TO BE DETERMINED BY ARCHITECT.
- DOOR FRAME TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK.
- ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK.
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- ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK.
- ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK.
- ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK.
- ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK. ALL DOORS TO BE 1 1/2" MIN. THICK.

DOOR TYPES



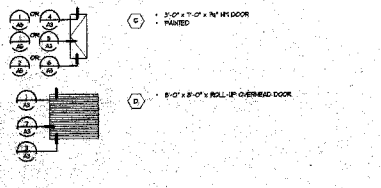
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STOREFRONT TYPES



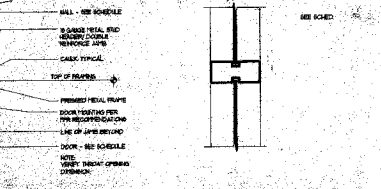
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DOOR TYPES



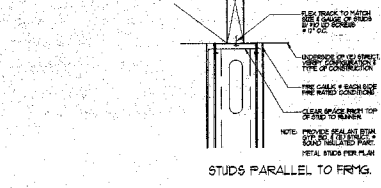
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DOOR TYPES



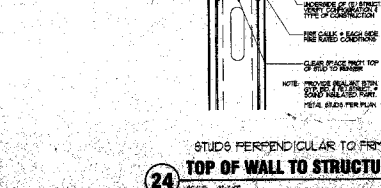
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DOOR TYPES

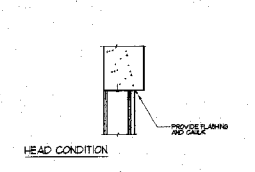


SCALE: 1/4" = 1'-0"

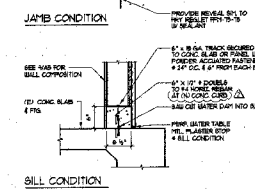
DOOR TYPES



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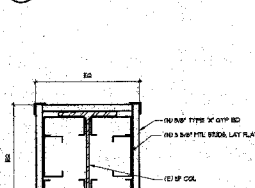


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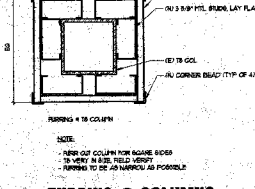
SCALE: 1/4" = 1'-0"

19 INFILL WALL HEAD/JAMB/SILL



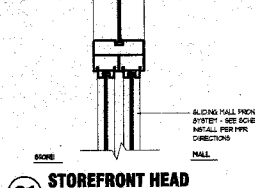
SCALE: 1/4" = 1'-0"

15 CEILING DETAIL



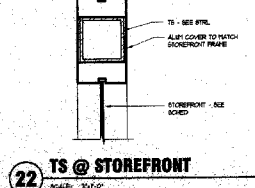
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20 FURRING @ COLUMNS

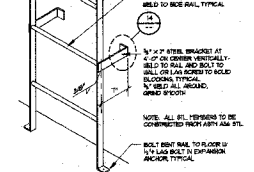


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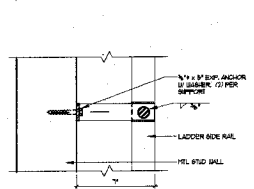
21 STOREFRONT HEAD



SCALE: 1/4" = 1'-0"

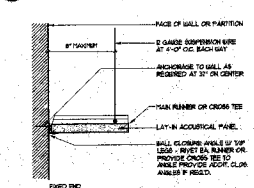


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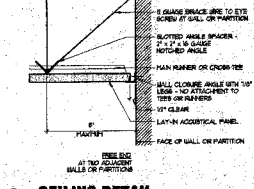
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15 CEILING DETAIL



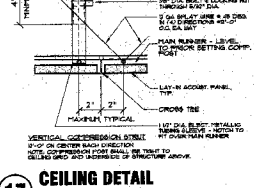
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16 CEILING DETAIL



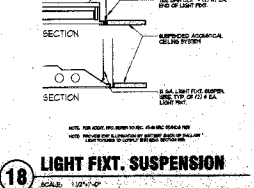
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17 CEILING DETAIL

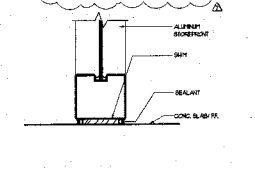


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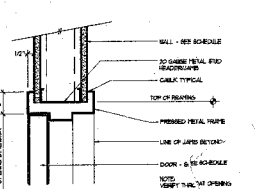
18 LIGHT FIXT. SUSPENSION



SCALE: 1/4" = 1'-0"

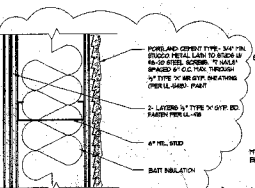


SCALE: 3/4" = 1'-0"



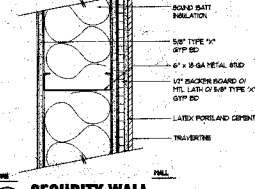
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9 EXTERIOR INFILL WALL



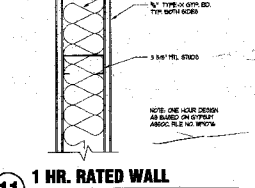
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10 SECURITY WALL



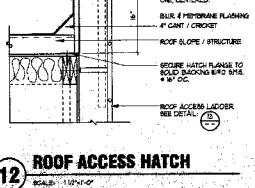
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11 1 HR. RATED WALL

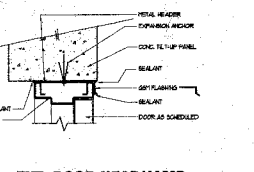


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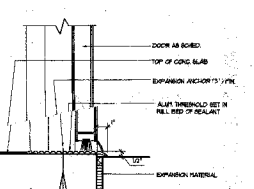
12 ROOF ACCESS HATCH



SCALE: 1/2" = 1'-0"

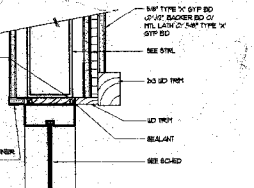


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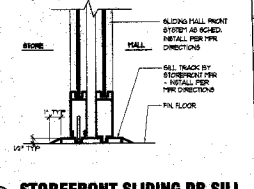
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3 STOREFRONT HEAD



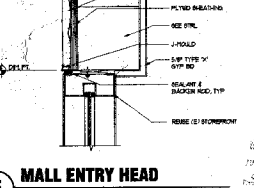
SCALE: 3/4" = 1'-0"

4 STOREFRONT SLIDING DR SILL



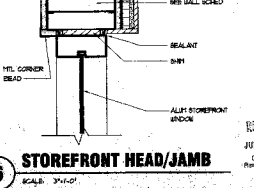
SCALE: 3/4" = 1'-0"

5 MALL ENTRY HEAD



SCALE: 3/4" = 1'-0"

6 STOREFRONT HEAD/JAMB



SCALE: 3/4" = 1'-0"



PROJECT
UNIVERSITY MALL RENOVATION
 CORNER OF RUSSELL BLVD. AND ANDERSON RD. DAVIS, CA
 671 RUSSELL BLVD.

2180 CAPITOL AVENUE, SUITE 800
 SACRAMENTO, CALIFORNIA 95818
 TEL: 916/444-7241 FAX: 916/444-0457
 GOTTSCHALKS

Project
UNIVERSITY MALL RENOVATION
 CORNER OF RUSSELL BLVD. AND ANDERSON RD. DAVIS, CA
 671 RUSSELL BLVD.

GOTTSCHALKS
 2180 CAPITOL AVENUE, SUITE 800
 SACRAMENTO, CALIFORNIA 95818

FLOOR PLAN ELEVATIONS PARTIAL TOILET RISE PLAN

APPROVED
 McKennyKrug
 ARCHITECT
 1000 J STREET, SUITE 100
 SACRAMENTO, CA 95811
 PHONE: 916/444-1111
 FAX: 916/444-1112
 DATE: JUL 13 1999

The contractor shall verify and be responsible for all dimensions and conditions on the job and the work must be verified in writing of any variation from the dimensions and conditions shown by these drawings.

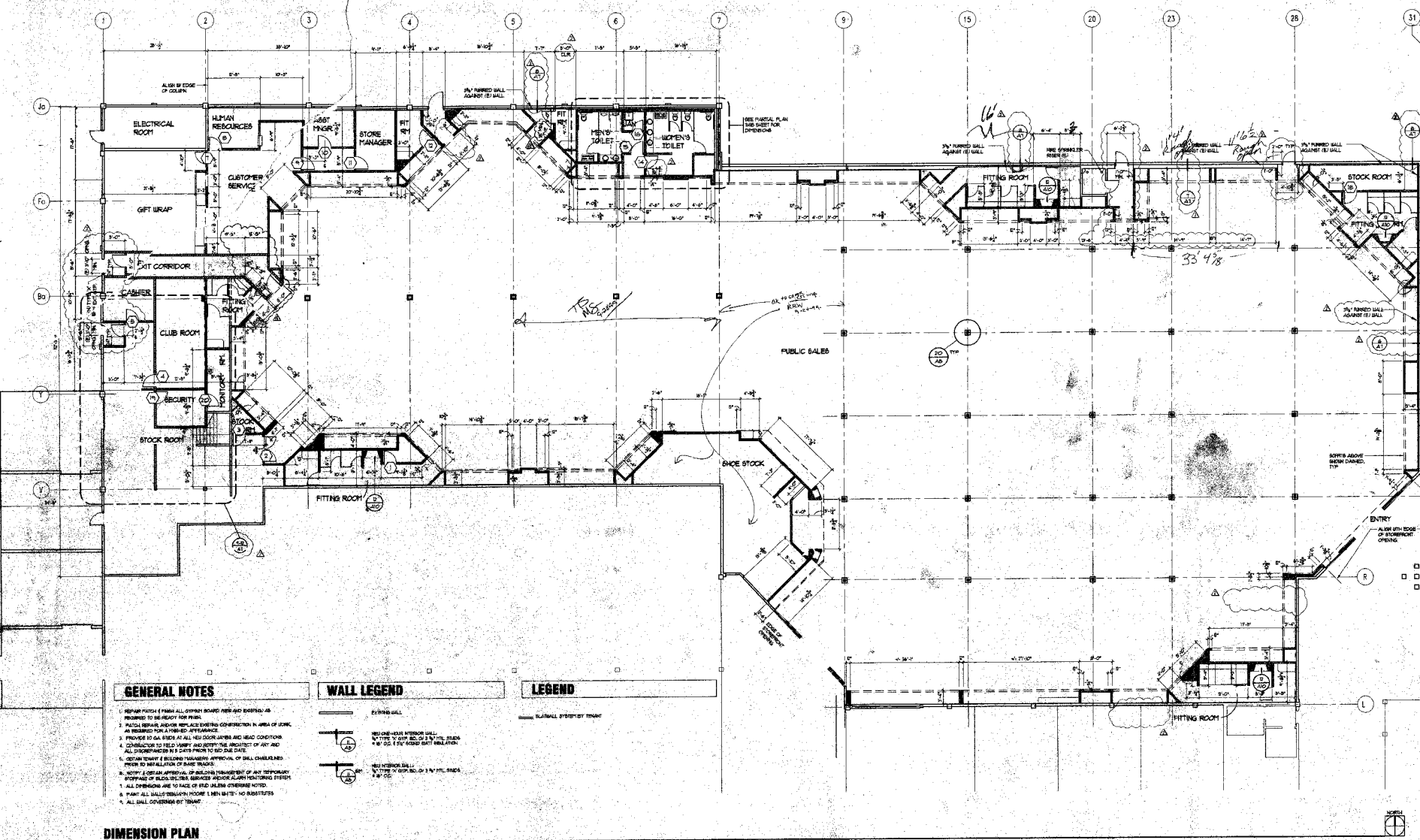
This drawing is not final and is to be used for construction with speed by the contractor and owner.

All drawings and written material appearing here constitute the original and authoritative work of the architect and its name may not be duplicated, used or disseminated without written consent of the architect.



NO.	DATE	DESCRIPTION
1	07/13/99	ISSUED FOR PERMIT
2	07/13/99	ISSUED FOR CONSTRUCTION
3	07/13/99	ISSUED FOR CONSTRUCTION
4	07/13/99	ISSUED FOR CONSTRUCTION
5	07/13/99	ISSUED FOR CONSTRUCTION

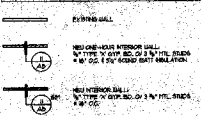
Drawing No. 99-001
 JUL 12 1999
 A6



GENERAL NOTES

- REPAIR PATCH & FINISH ALL GYPSUM BOARD REPAIRS & BOARDING AS REQUIRED TO BE READY FOR FINISH.
- PATCH BEHIND AND OVER NEW AND EXISTING CONCRETE IN AREA OF WORK AS REQUIRED FOR A FINISHED APPEARANCE.
- PROTECT IN AN AREA AT ALL TIMES THROUGHOUT AND LEAVE CONDITIONS AS CONSTRUCTED TO FIELD VERIFY AND ACCEPT THE ARCHITECT OF ART AND ALL DIMENSIONS BY DATE FROM TO AND THE DATE.
- OBTAIN OWNER'S & BUILDING DEPARTMENT APPROVAL OF WALL CHANGES PRIOR TO INSTALLATION OF BASE FINISHES.
- NOTE: CORRAL APPROVAL OF BUILDING DEPARTMENT OF ANY TEMPORARY STOPPAGE OF BLOCK DESIGN SERVICES AND/OR ALTERNATING SYSTEMS.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- PAINT ALL WALLS/CEILING/DOORS & MEN'S/BATHS: NO SUBSTITUTES.
- ALL WALL COVERING BY TRIM.

WALL LEGEND

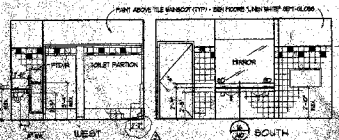
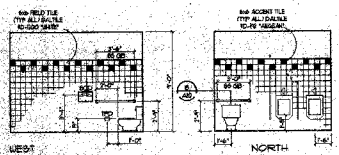


LEGEND

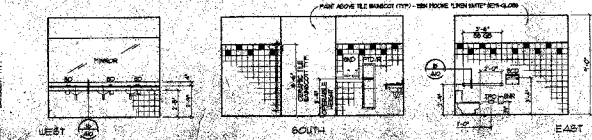
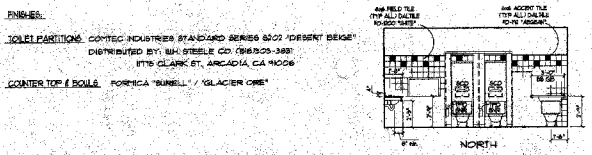


DIMENSION PLAN

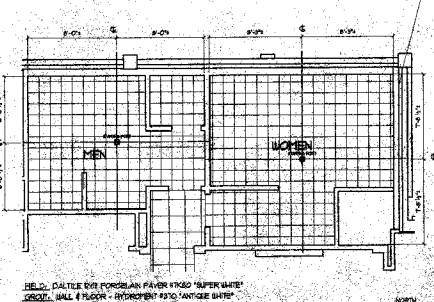
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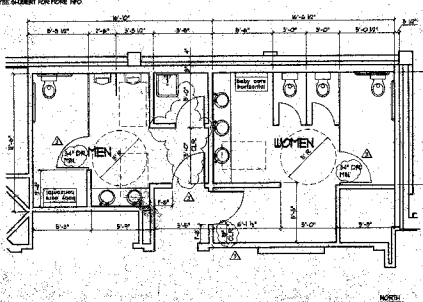
MEN'S RESTROOM ELEV.
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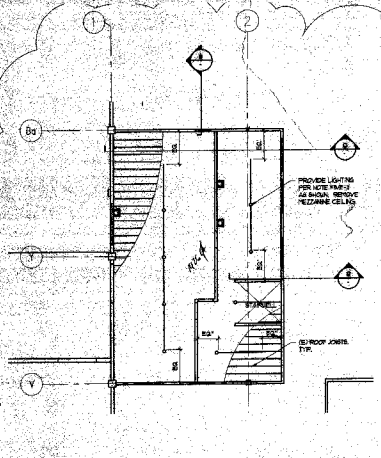
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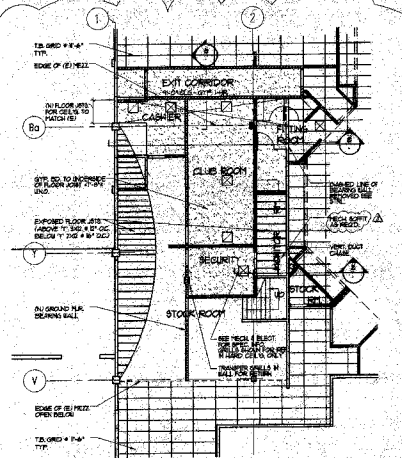
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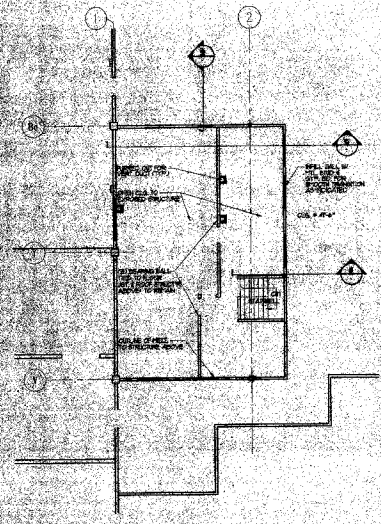
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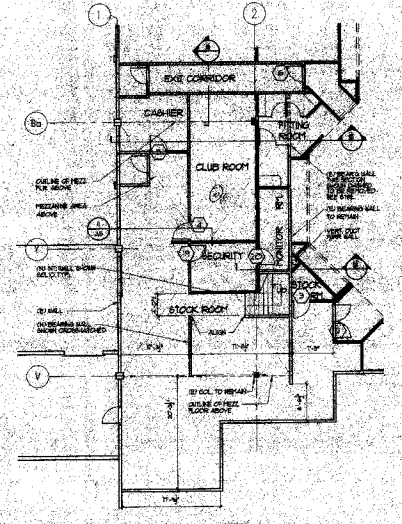
11 R.C. PLAN @ MEZZ.
SCALE: 1/8" = 1'-0"



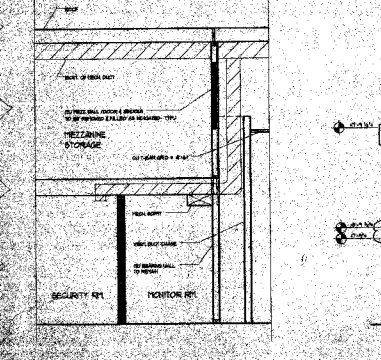
9 R.C. PLAN BELOW MEZZ.
SCALE: 1/8" = 1'-0"



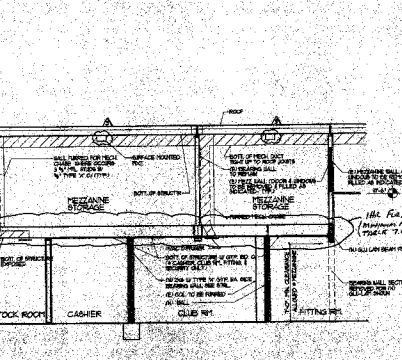
12 FLOOR PLAN @ MEZZ.
SCALE: 1/8" = 1'-0"



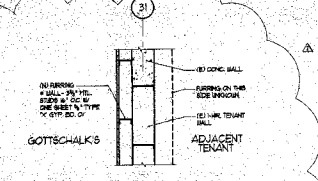
10 FLOOR PLAN BELOW MEZZ.
SCALE: 1/8" = 1'-0"



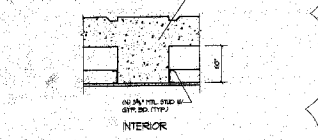
1 SECTION
SCALE: 1/8" = 1'-0"



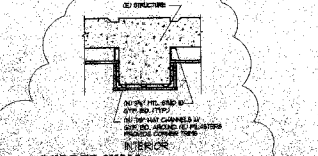
2 SECTION
SCALE: 1/8" = 1'-0"



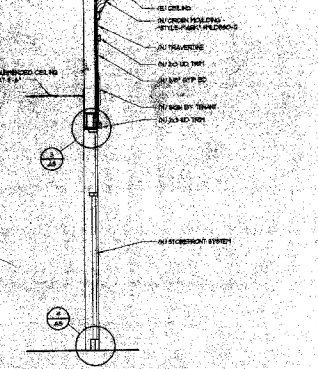
6 FURRED WALL
SCALE: 1/4" = 1'-0"



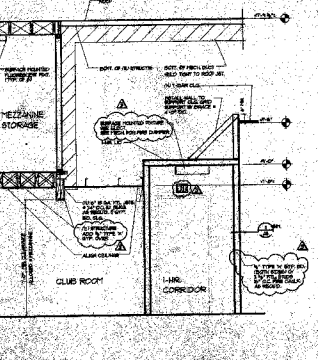
7 FURRED WALL (BETWN. COL. 7-28)
SCALE: 1/4" = 1'-0"
U.N.O.



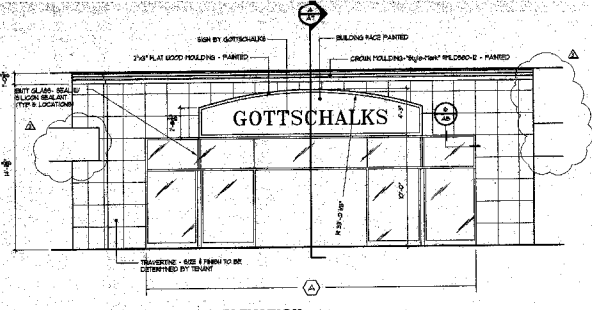
8 FURRED WALL
SCALE: 1/4" = 1'-0"



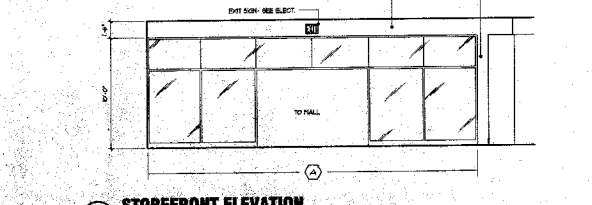
A SECTION
SCALE: 1/4" = 1'-0"



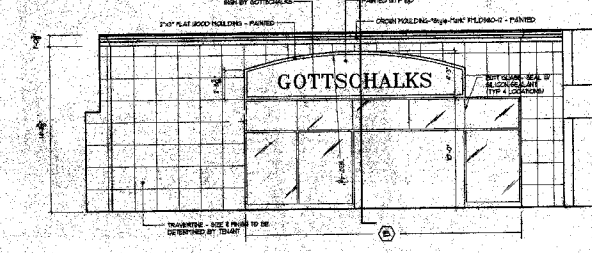
B SECTION
SCALE: 1/4" = 1'-0"



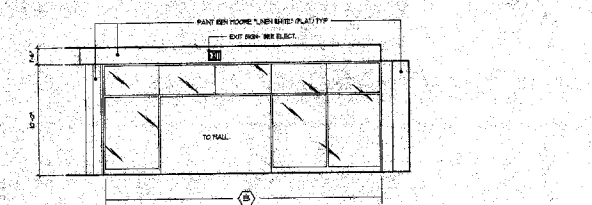
1 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"



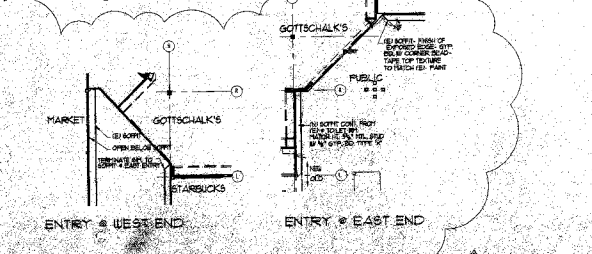
2 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"



5 PARTIAL R.C. PLAN @ ENTRY
SCALE: 1/8" = 1'-0"

ALTA
ARCHITECTS
RAY GARD
ALAN CHOM
DARIN S. MARCHAY
DANIS DING
PETER B. DANNEFORSER
JOHN R. PERICOLI

C1
C18128
C18183
C18844
C18117

2180 CAPITOL AVENUE, SUITE 200
BAGRAMENTS, CALIFORNIA 95621
TEL: 916/484-2244 FAX: 916/484-2245
CONSULTANT

PROJECT
UNIVERSITY MALL RENOVATION
CORNER OF
RUSSELL BLVD.
AND ANDERSON RD.
DAVIS, CA
871 RUSSELL BLVD.

GOTTSCHALK'S
APPROVED
McKerny/Krug
DATE: JUL 13 1989

The undersigned architect does not represent the these plans or the specifications in support thereon are complete, correct and not subject to any other plan, specification or other work which may be required for the proper construction of the work shown hereon. The architect assumes no responsibility for the accuracy or completeness of any data or information furnished to him or her by any other party.

The contractor shall verify and be responsible for a location and conditions on the job and this off must be verified in writing of any variation from dimensions and conditions shown by these drawings.

The drawings are not to be used for construction until signed by the architect and owner.

All drawings and written notices regarding the construction of the project and uncompleted work of it involved and the same may not be published, used or distributed without written consent of the architect.

RECEIVED
JUL 15 1989
Drawing No. **A7**

NO.	DATE	DESCRIPTION
1		CONCERN
2		ADDITION #1
3		ADDITION #2
4		PLAN CHECK

Drawn by: [Signature]
Checked by: [Signature]



PROJECTS
 RAY GILDO 015825
 ALAN C. ROE 016076
 LARRY S. WAGELUT 023105
 DENIS DING 011163
 CONSULTING
 PETER S. DAMENFELSER 015849
 JOHN R. FERRICELLI 001171

2100 CAPITOL AVENUE, SUITE 200
 SACRAMENTO, CALIFORNIA 95811
 TEL. (916) 448-7741 FAX. (916) 448-0457
 G O T T S C H A L K S
 C O N S T R U C T I O N

Project
UNIVERSITY MALL RENOVATION
 CORNER OF
 RUSSELL BLVD.
 AND ANDERSON DR.,
 DAVIS, CA
 671 RUSSEL BLVD.

GOTTSCHALKS
 Construction
 2100 Capitol Avenue, Suite 200
 Sacramento, California 95811
 Tel. (916) 448-7741 Fax. (916) 448-0457

Scale: 1/8" = 1'-0"
REFLECTED CEILING PLAN

APPROVED
 McKerny/Krug
 The undersigned architect certifies that the design and construction of the project shown on this plan are in accordance with the approved plans and specifications of the project and that the construction of the project shall be in accordance with the approved plans and specifications of the project and that the construction of the project shall be in accordance with the approved plans and specifications of the project.

DATE: JUL 13 1998

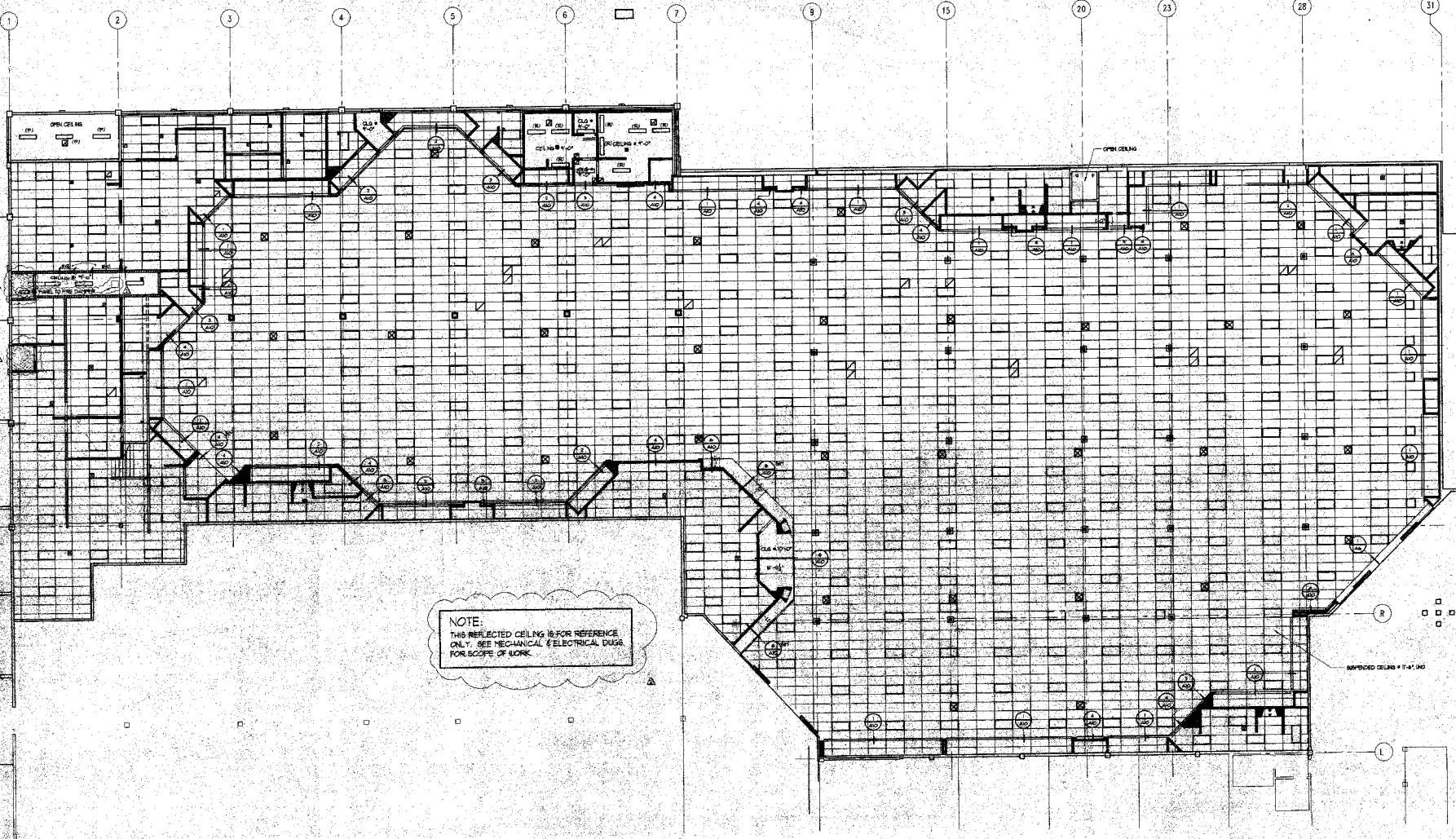
The undersigned architect does not represent the design of the project or the construction of the project. The contractor shall be responsible for all dimensions and conditions of the project and the contractor shall be notified in writing of any variation from the dimensions and conditions shown on the drawings.

This drawing is not valid or to be used for construction until approved by the contract and owner.

All changes and written material appearing here constitute the original and approved work of the architect and the same may not be approved, amended or altered without written consent of the architect.



NO.	DATE	DESCRIPTION
1	07/13/98	ISSUED FOR PERMIT
2	07/13/98	ISSUED FOR PERMIT
3	07/13/98	ISSUED FOR PERMIT
4	07/13/98	ISSUED FOR PERMIT
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28	07/13/98	ISSUED FOR PERMIT
29	07/13/98	ISSUED FOR PERMIT
30	07/13/98	ISSUED FOR PERMIT
31	07/13/98	ISSUED FOR PERMIT



NOTE
 THIS REFLECTED CEILING IS FOR REFERENCE ONLY. SEE MECHANICAL, ELECTRICAL, PLUMBING FOR SCOPE OF WORK.

REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

CEILING LEGEND

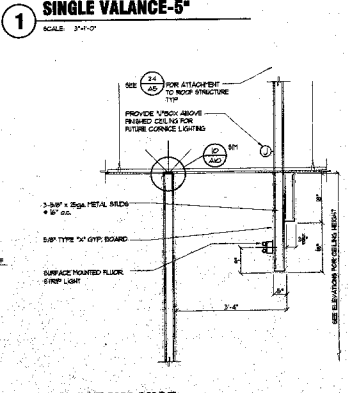
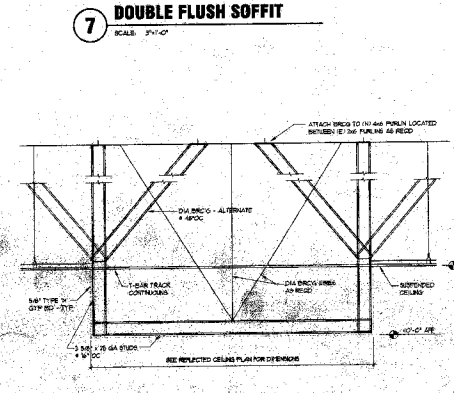
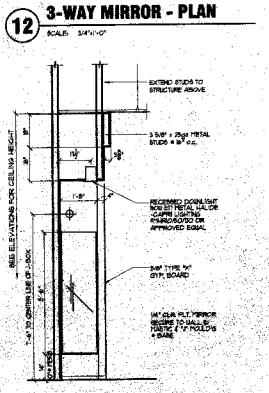
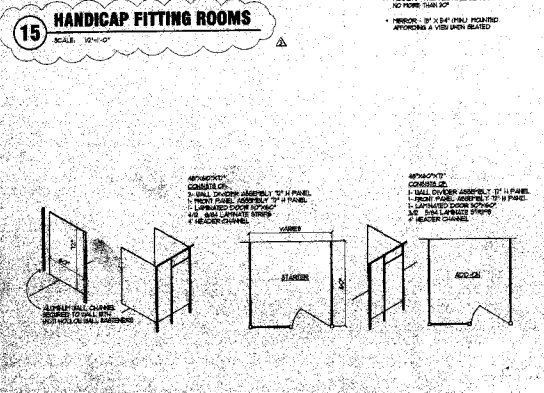
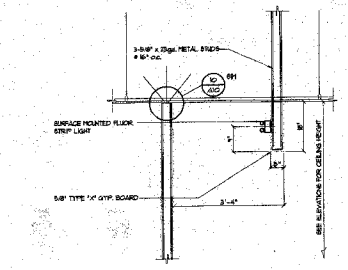
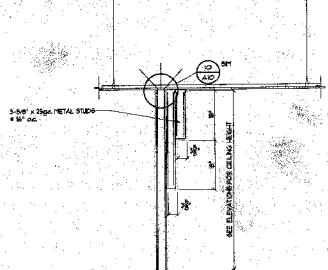
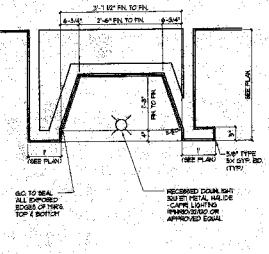
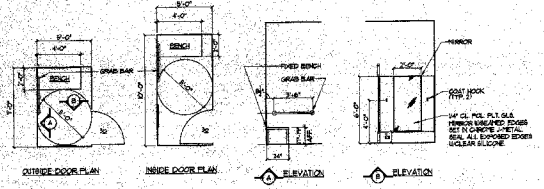
- 5/8" HD. CEILING WITH 3" METAL CEILING JOIST @ 18" O.C.
- REFLECTED ACQUADUCT CEILING
- 2' x 4' FLUORESCENT LIGHT FIXTURE
- 1' x 4' FLUORESCENT LIGHT FIXTURE
- RETURN AIR REGISTER
- RETURN AIR GRILL
- EXHAUST FAN

GENERAL CEILING NOTES

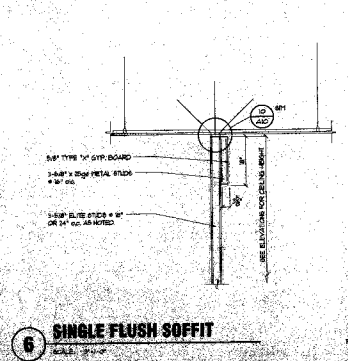
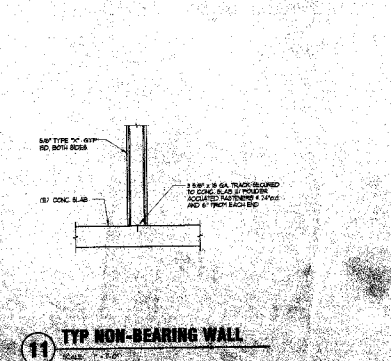
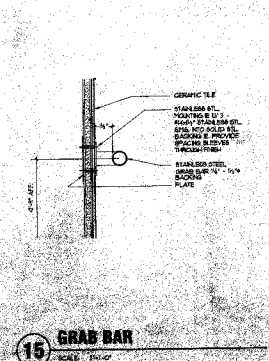
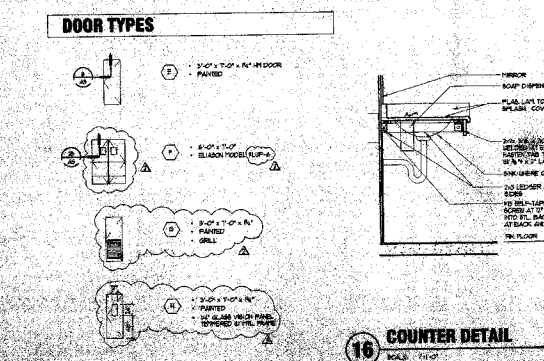
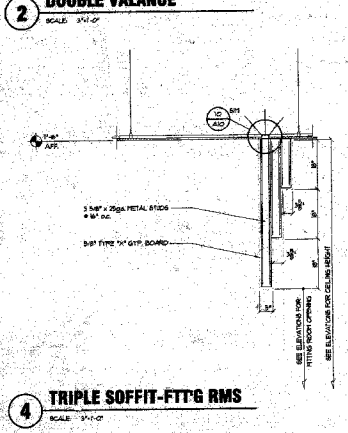
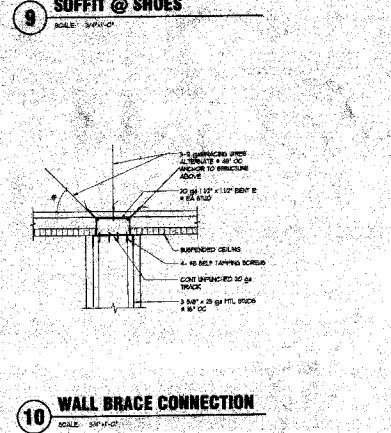
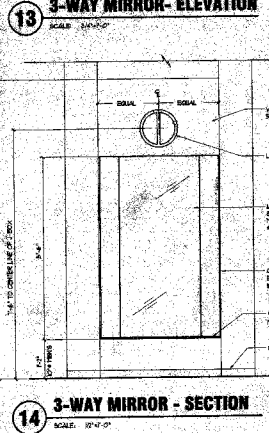
1. PROVIDE SERVICES AS PER 1-2-4 CONCRETE REQUIREMENTS, LOCATION SUBJECT TO ARCHITECT'S PRIOR APPROVAL.
2. REMOVE ALL EXISTING AIR-CONDITIONING EQUIPMENT ABOVE CEILING.
3. PROVIDE THE MECHANICAL AS REQUIRED FOR THE SECTION OR AS SHOWN ON BACK-DRAWING.
4. PROVIDE SUFFICIENT CLEARANCE FOR LIMITED ACCESS ABOVE REFLECTED CEILING FOR THE SECTION OR AS SHOWN ON BACK-DRAWING.
5. CONNECTION TO THE EXISTING AIR-CONDITIONING SYSTEM TO BE MADE BY THE CONTRACTOR IN CONFORMANCE WITH THE SECTION PRIOR TO CONNECTION.

4. CEILING INSTALLATION
 See 1-2-4 (1) for details. Remove all existing ceiling joists and install new 3" metal ceiling joists with 5/8" HD. ceiling with 3" metal ceiling joist @ 18" O.C. in conformance with the section and the section. The contractor shall be responsible for the removal of the existing ceiling and the installation of the new ceiling. The contractor shall be responsible for the removal of the existing ceiling and the installation of the new ceiling. The contractor shall be responsible for the removal of the existing ceiling and the installation of the new ceiling.

RECEIVED
 JUL 13 1998
 Planning & Zoning
 Drawing No. 20
A9



DOOR SCHEDULE												SCALE: ALL WORKING COORDS BY 1/8"=1'-0"		
DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER	DOOR NUMBER
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40	41	42	43	44	45
46	47	48	49	50	51	52	53	54	55	56	57	58	59	60
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76	77	78	79	80	81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100	101	102	103	104	105
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271	272	273	274	275	276	277	278	279	280	281	282	283	284	285
286	287	288	289	290	291	292	293	294	295	296	297	298	299	300



Project:
UNIVERSITY MALL RENOVATION
 CORNER OF
 RUSSELL BLVD.
 AND ANDERSON RD.
 DAVIS, CA
 871 RUSSEL BLVD.

GOTTSCHALKS
 2102 CAPITOL AVENUE, SUITE 200
 SACRAMENTO, CALIFORNIA 95816
 TEL: 916/446-7241 FAX: 916/446-0437

APPROVED
 McKennyKrug

The undersigned architect does not represent that these plans or specifications in complete detail are correct in every respect or that the contractor is not responsible for any errors or omissions in these plans and specifications if they are used in whole or in part by any other party.

The contractor shall verify and be responsible for all dimensions and conditions on the job and the architect shall not be held responsible for any errors or omissions in these plans and specifications if they are used in whole or in part by any other party.

This drawing is not to be used for construction until signed by the architect and owner.

All drawings and written material appearing here constitute the original and unamended work of it created and the same may not be duplicated, used, or disclosed without written consent of the Architect.

DATE: JUL 14 1998

RECEIVED
 JUL 15 1998
 PROJECT NO. 98001
 DRAWING NO. 11000

NO.	DATE	DESCRIPTION
1	06/24/98	ACCOMPANY
2	06/24/98	ACCOMPANY
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29	06/24/98	ACCOMPANY
30	06/24/98	ACCOMPANY

Drawing No. 11000

RECEIVED
 JUN 11 1998
 09:41 AM
 PROJECT NO. 98001
 DRAWING NO. 11000

ATTACHMENT B

Lofland Correspondence

From: [John Lofland](#)
To: [Lisa Westwood](#); [Ike Njoku](#); [dennis/Robin\(home\)](#)
Subject: Re: University Mall images
Date: Friday, March 15, 2019 8:41:38 PM
Attachments: [plain8.png](#)

Missed the "l" in the previous email address. Alas.

On 3/15/19 8:39 PM, John Lofland wrote:

Hello Lisa Westwood,

I do not myself know much about historical photos of University Mall, but I do think that Ike Njoku with the City of Davis can show you many useful leads from the recent update of the City's inventory of historical resources. For your reference, I have cced this email to him.

Beyond recently assembled set of materials, the Hattie Weber Museum, directed by Dennis Dingemans, may have useful items. He, also, is cced.

For my part, the only relevant photos known to me appear on pages 30, 31, 32 and 33 of my 2016 book titled *Davis: Transformation*. That is a total of about eight photos. All these photos are owned by the UCD Shields Library Department of Special Collections and I reproduced them with permission. Should you want to reproduce and publish any of them, you should contact that department.

And while you are at it, you could ask them what else they may have.

Beyond photos and into the realm of drawings, I recall that the *Davis Enterprise* of the time published many renderings of what the building would be like and associated images. You might want to check the microfilm and original copy holdings of the *Davis Enterprise* in UCD Special Collections.

Please do not hesitate to ask me if you have other questions about this topic you think I might be able to answer.

Best wishes,

John Lofland

--



--



ATTACHMENT C

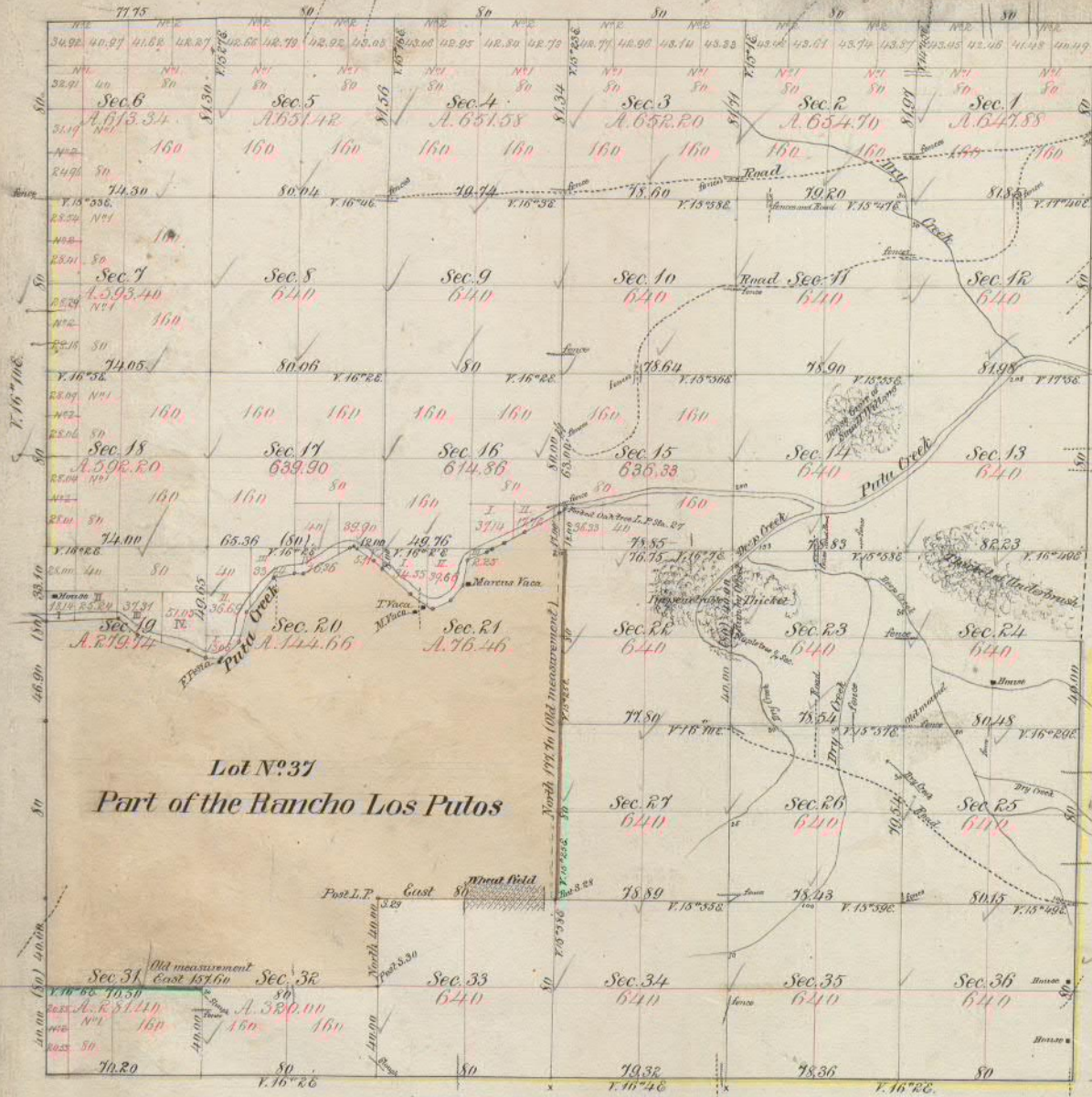
Historical Maps and Aerial Photographs

Red with Sur Genl's Atlas of March 20 1863

1863

Filed by Report 514922 Nov 7 1863

Entered in Great Book Nov 21 1863
J. H. [Signature]



Meanders of the Right Bank of Pata Creek, as the North boundary of the Rancho Los Pulos, in Township 8 North, Range 2 East, Mount Diablo Meridian

Beginning at a point on the West boundary of Township 8 North 33.10 Chs. South of Corner to Secs. 18 and 19: thence down stream	Sec.	Course	Dist.
	18	S. 57° E.	14.00
		N. 61 "	24.50
	19	" 61 "	1.50
		S. 60 "	1.50
	19	East	35.00
		S. 52° E.	12.00
		" 45 "	18.52
		" 63 "	5.50
		" 63 "	0.50
		" 84 "	7.00
		" 45 "	11.00
		" 11 "	14.10
		" 39 "	19.00
		" 75 "	9.00
		" 61 "	5.66
		" 61 1/2 "	11.00
		" 59 1/2 "	17.32
		" 49 "	0.50
		" 49 "	2.90
		Aggregate	296.12
		Aggregate of Meanders of Pata Creek - Miles 56ths 16ths	154.72
		To a Forked Oak L.P. Sta. 27	154.72

Aggregate Area of Public land 18930.07 Acres
 Estimated " Lot N. 37 (Private Grant) 3883.14
 Aggregate 22813.21

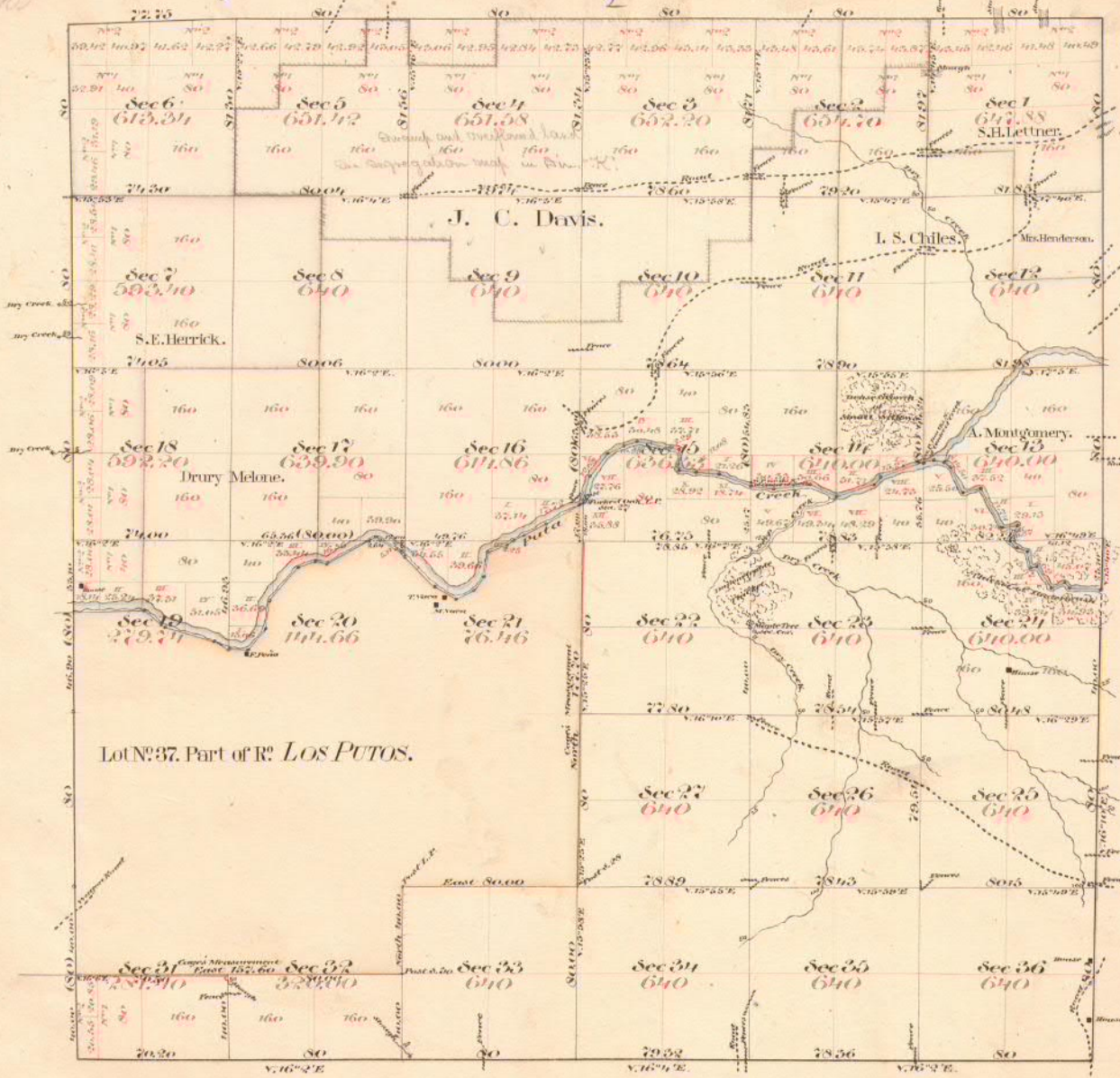
Township lines colored yellow surveyed by E. Dyer
 Ranch boundaries colored green, re-surveyed, and changed in present account

Meridian lines not otherwise noted, run with a variation of 16° 16' East

Surveys Designated	By Whom Surveyed	Date of Contract	Amount of Surveys	When Surveyed
North and part of East and West boundaries of Township	R. B. Hays	September 20 th 1852	12 miles 77 chs. 16ths	1852
East of Township (land yellow)	E. Dyer	August 15 th 1862	10 " 27 " 88 "	1862
Ranch boundaries of Lot N. 37	D. C. Cuge	Instructions dated May 19 th 1857	9 " 31 " 42 "	1857
Section lines including Ranch boundaries colored green	E. Dyer	August 15 th 1862	50 " 11 " 89 "	November 7 th 1862

The above map of Township No. 8 North, Range No. 2 East Mount Diablo Meridian, is strictly conformable to the field notes of the Survey thereof on file in this Office, which have been examined and approved
 Surveyor General's Office
 San Francisco, California
 March 19th 1863

E. A. Seal
 Sur. General Cal.



Sec.	Course	Dist.	Sec.	Course	Dist.
Beginning at Post on 11 th	N. 71° E.	56.50			
On N. of Post on 11 th	S. 81°	5.70			
E. 1 st Sec. N ^o . 2 nd of the	S. 89°	5.12			
Rancho Las Putas.	S. 91°	3.37			
Thence down course	S. 85°	15.25			
of creek.	N. 80°	3.00			
15	N. 74° E.	10.92			
	S. 59°	12.33			
	S. 61°	8.60			
	S. 79°	6.14			
	S. 81°	10.50			
	S. 82° E.	8.25			
	S. 89°	10.50			
	S. 65°	15.68			
14	N. 84°	10.00			
	S. 81°	16.72			
	S. 65°	17.50			
	S. 71°	75.00			
	S. 91°	4.50			
		165.25			
		165.25			
		Aggregate 511.02			
		500			
		110			
		5			

Aggregate Area of Public Land 18936.07 Acres
 Estimated " " Private Grant 5828.14 "
 Aggregate 22764.21 "

Section lines colored red, restored by Amos Mathews, but not changed.
 The colored lines are symbols of improvements on land on the ground, and are placed upon this Map, in accordance with instructions from the Commissioner of the General Land Office.

Merritt lines not otherwise noted, run with a variation of 16' 10".

Survey Designated	By whom surveyed	Date of Contract	Amount of Survey	When surveyed
Township lines not colored	R.B. Hoys	September 29 th 1852		1852
" " colored yellow	E. Dyer	August 15 th 1862		1862
" " red	Amos Mathews	(Special Instructions) April 21 st 1865	Ombs 25chs 10lbs	1865
Part of boundaries of Lot N ^o . 22	D.C. Cray	(Instructions) May 12 th 1852		1852
Section lines (including boundaries of Lot N ^o . 22) colored red	E. Dyer	August 15 th 1862		1862
Meanders	Amos Mathews	(Special Instructions) April 21 st 1865	5 " 71 " 2 "	April 1865

The above Map of Township N^o. VIII North, Range N^o. II East, Mount Diablo Meridian, is strictly conformable to the field notes of the surveys thereof, on file in this Office, which have been examined and approved.
 Surveyor General's Office
 San Francisco California
 May 12th 1865

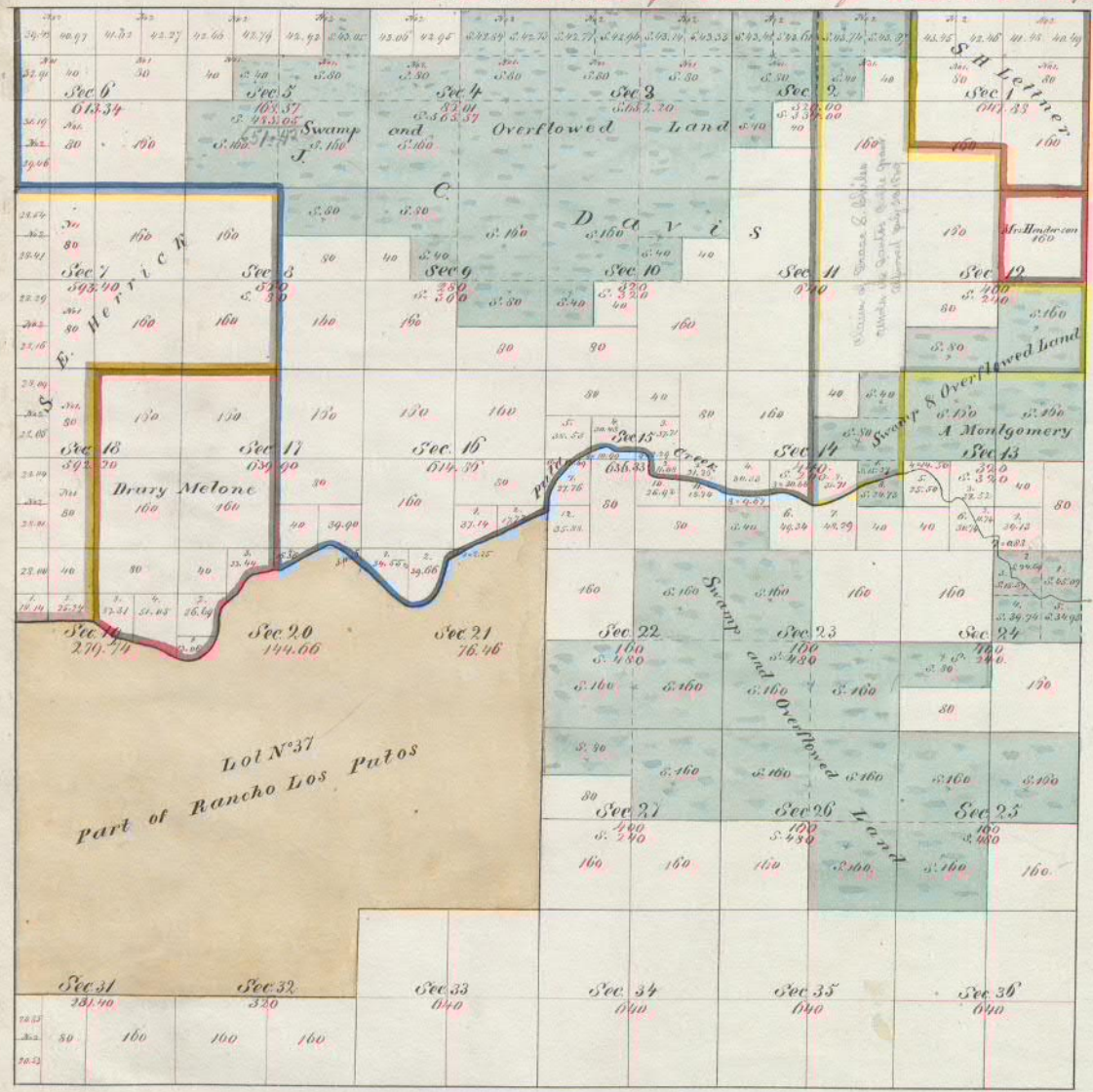
L. L. Lippin Surv. Gen. Cal.

Township N^o 8 North

Range N^o 2 East

Mount Diablo Meridian

Rec^d with Sur Gen's letter of March 6. 1872



Noted on Trust Books

2000

Aggregate Area of Public land 12,974.55 acres
 Swamps & Overflowed land 5,955.52
 Lot No 37 Private Grant, 3,823.14
Aggregate 22,753.21

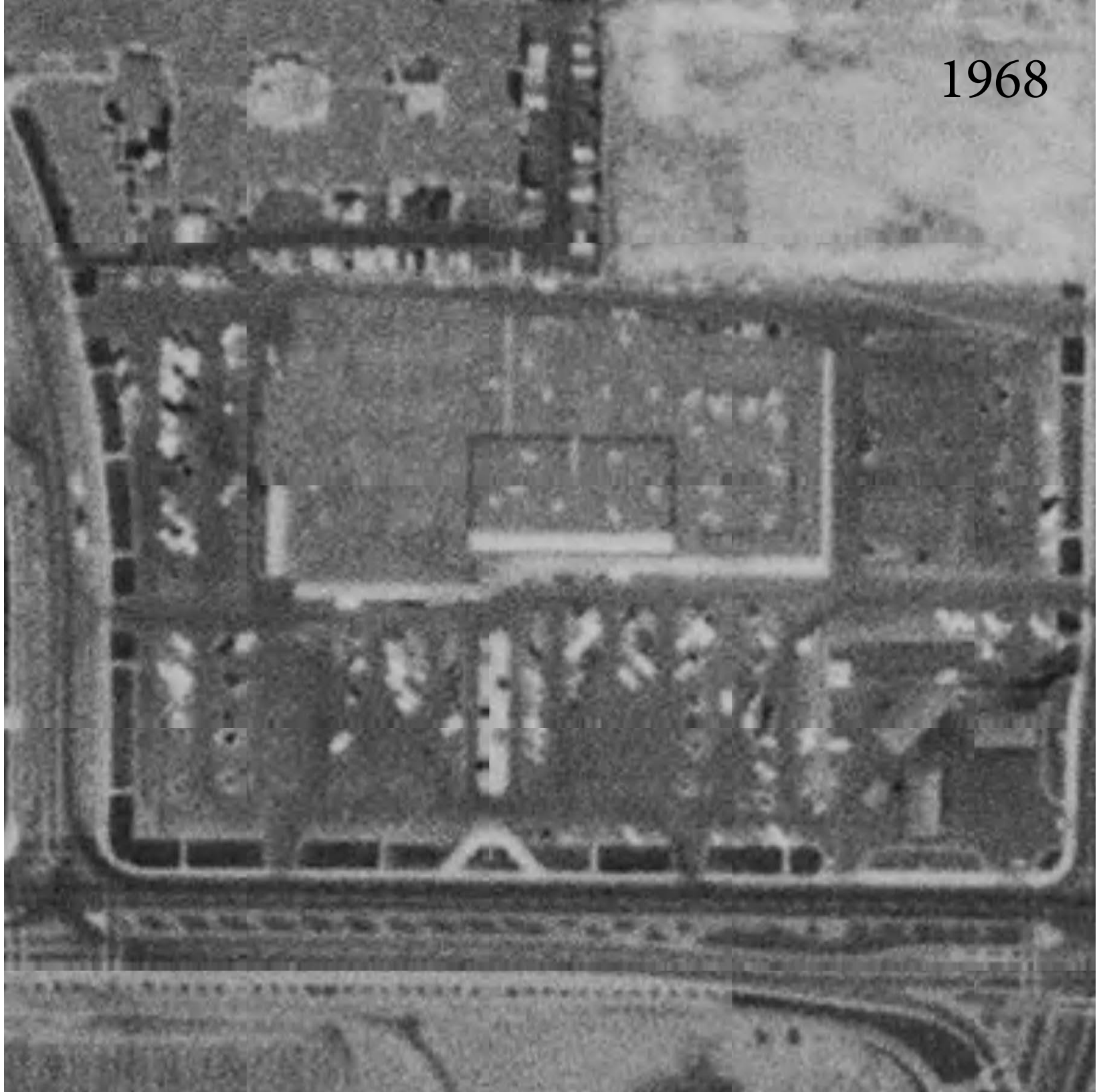
Note. The colored lines are eye sketches of improvements as found on the ground, and were placed on the Map of this Township approved May 12th 1865, by order of the Commissioner of the General Land Office.

The SW 1/4 of SW 1/4 of Sec 14 and all the land in Sections 22, 23, 24, 25, 26, & 27 shown on this Map as Swamp and Overflowed, is segregated as such on the "Plan of Swamp and Overflowed, in Solano County" filed by the State of California in this Office, but is not included in the list of Swamp lands certified by Robert Gardner, State Surveyor, of California under date of February 2nd 1872 and filed in this Office

The above Map of Township N^o 8 North, Range N^o 2 East of Mount Diablo Meridian represents the Amendments made to the Map of this Township approved May 12th 1865, in strict conformity with the instructions of the General Land Office, dated December 16th 1871, and the segregation of Swamps and Overflowed land, made by the State of California prior to July 23rd 1850, which segregation conforms to the system of surveys adopted by the United States.
 U. S. Surveyor General's Office
 San Francisco California
 January 11th 1872

J. R. Hixsonburgh
 U. S. Surv. Gen. Cal.

1968



1993



2001



2014

