

Article 40.13: Downtown Zones

Sections:

40.13.010	Purpose
40.13.020	Applicability
40.13.030	Quick Code Guides
40.13.040	Relationship to General Plan
40.13.050	Relationship to Downtown Davis Specific Plan
40.13.060	Relationship to Chapter 40, Zoning
40.13.070	Downtown Code Zoning Map
40.13.080	Downtown Zones
40.13.090	Neighborhood-Small
40.13.100	Neighborhood-Medium
40.13.110	Neighborhood-Large
40.13.120	Main Street-Medium
40.13.130	Main Street-Large
40.13.140	Allowed Uses

40.13.010 Purpose

This Article sets forth the standards for building form, land use and other topics, such as signage and landscape, within Downtown Zones. These standards reflect the community's vision for implementing the intent of the General Plan and Downtown Davis Specific Plan (Specific Plan) to ensure development that reinforces the highly valued character and scale of Downtown Davis' walkable urban center, neighborhoods, and corridors. This Article and Article 40.14 (Supplemental to Downtown Zones) are referred to collectively as "the Downtown Code."

40.13.020 Applicability

- A. The standards in this Article apply to all proposed development within Downtown Zones as identified below, and shall be considered in combination with the standards in Article 40.14 (Supplemental to Downtown Zones). If there is a conflict between any standards, the stricter standards shall apply.
1. **Site Standards.** The standards of Section 40.14.020 (Site Standards) apply to the following:
 - a. Wherever a project requires site development plan approval in accordance with Article 40.31 (Site Plan and Architectural Approval) or when otherwise required by this Article. The following still apply: Sections 40.27.010, 40.27.020, 40.27.030, 40.27.060, 40.27.090, 40.27.100, 40.27.110, 40.27.120.
 2. **Screening.** The standards of Section 40.14.030 (Screening) apply to the following:
 - a. All new development, and improvements to existing development.

3. **Landscaping.** The standards of Section 40.14.040 (Landscaping) and Article 40.42 (Water Efficient Landscaping). apply to the following:
 - a. All new development, and
 - b. Improvements to existing development.
4. **Parking.** The standards of Section 40.14.050 (Parking and Loading) apply to the following:
 - a. New development;
 - b. Changes in land use;
 - c. Changes in intensity of buildings or structures made after the effective date of this ordinance that cause an increase or decrease of 25 percent or greater in:
 - (1) Gross floor area;
 - (2) Seating capacity;
 - (3) Dwelling units; and/or
 - (4) Parking spaces.
5. **Building Types.** The standards of Section 40.14.070 (Specific to Building Types) apply to the following:
 - a. New buildings;
 - b. Additions over 15 percent (except public safety buildings); and
 - c. Facade renovations along front or side street facades (except public safety buildings).
6. **Massing, Facade and Architectural Elements.** The standards of Section 40.14.080 (Specific to Massing, Facade and Architectural Elements) apply to the following:
 - a. New Buildings;
 - b. Building facade renovation facing a street or civic space (except public safety and historic resource buildings).
7. **Frontage Types.** The standards of Section 40.14.090 (Specific to Frontage Types) apply to the following:
 - a. New Buildings;
 - b. Building facade renovation facing a street or civic space (except public safety and historic resource buildings); and
 - c. Private property improvements along front or side street.;and
 - d. Modifications of pedestrian entry along front or side street.
8. **New Civic Space.** The standards of Section 40.14.100 (Specific to Civic Spaces) apply to the following:
 - a. Developments of sites greater than 1.5 acres.

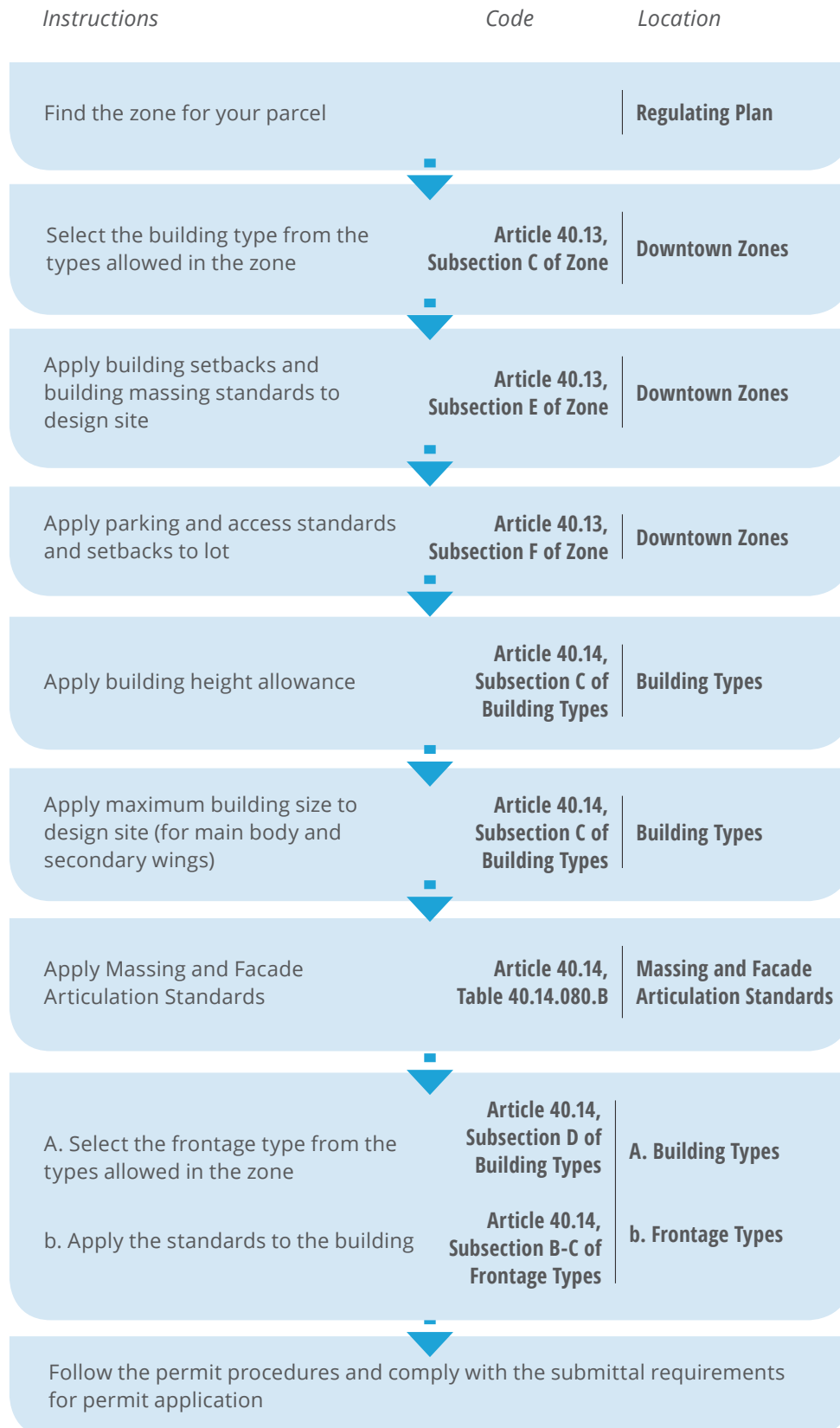
9. **Sign Types.** The standards of Section 40.14.110 (Specific to Sign Types) apply to the following:
 - a. On-site signs in any Downtown Zone;
 - b. New or modified signs regulated by Section 40.14.110 (Specific to Sign Types) shall not be erected or displayed until a sign and/or building permit is obtained; and
 - c. Applications shall be prepared and submitted (Permit Application) and processed for Permit Issuance.
 10. **General.**
 - a. From the allowed types for the zone, and in compliance with the listed standards, the following must be selected for each building site:
 - (1) Primary building type;
 - (2) At least one private frontage type; and
 - (3) At least one use type.
 - b. Building types, private frontage types, sign types, and use types not listed in the zone's standards are not allowed in that zone.
 11. **New Streets.**
 - a. A new street is required in the locations identified on the regulating plan when any of the following occur:
 - (1) New or modified vehicular access;
 - (2) New building;
 - (3) Building renovation or addition over 15 percent; or
 - (4) Development over 1.5 acres in total area.
 - b. When designing a new street or retrofitting an existing street, the Public Works Department standards apply.
- B. The standards in this Article shall be considered in combination with the relevant standards in Article 40.23 (Historic Resources Management), Article 40.26 (Special Uses), and Article 40.14 (Supplemental to Downtown Zones). In Downtown Zones, Article 40.27 (Exceptions and Modifications) is superseded by this Article. If there is a conflict between any standards, the more restrictive standards shall apply. Table 40.13.060.A (Relationship to Article 40, Zoning) identifies the relationship of this Article and Article 40.14 to existing Articles in Chapter 40 (Zoning).

- C. **Rules of Construction.** The following general rules of construction apply to the text of this code:
1. Terminology: shall, may and should. "Shall" is always mandatory and not permissive. "May" is permissive. "Should" is advisory and identifies guidance provided by the City in implementation of these regulations.
 2. Tenses and Numbers. Words used in the present tense include the future, words used in the singular include the plural, and the plural includes the singular, unless the context clearly indicates the contrary.
 3. Applicable. The applicable requirements of this code apply so as to not require stating the phrase "and all applicable requirements" throughout this code.
 4. Conjunctions. Unless the context clearly indicates otherwise, the following conjunctions shall be interpreted as follows:
 - a. "And" indicates that all connected items or provisions apply;
 - b. "Or" indicates that the connected items or provisions may apply; and
 - c. "Either/or" indicates that the connected items or provisions apply singly but not in combination.

40.13.030 Quick Code Guides

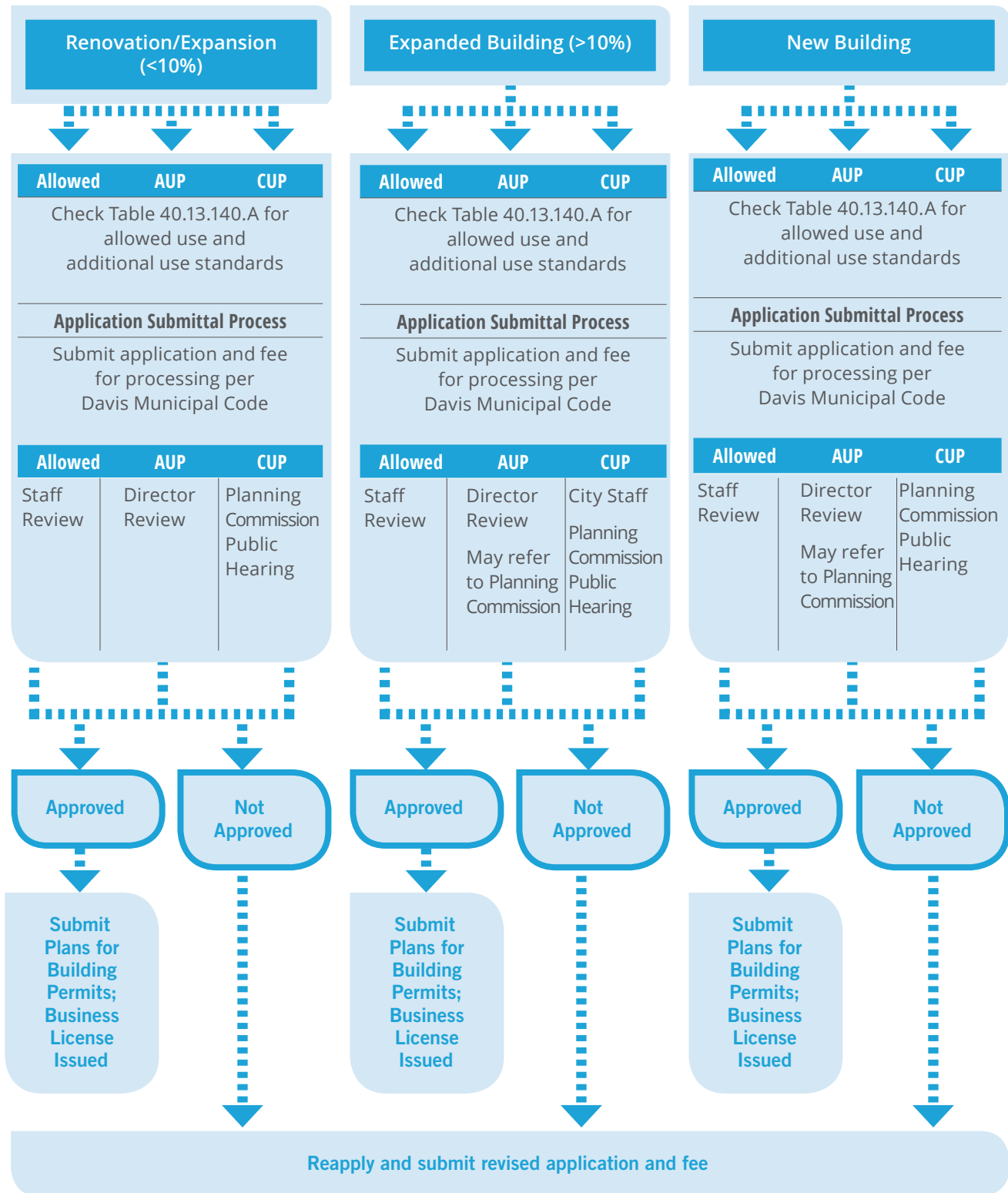
Applications for new buildings, new uses, signage improvements, and modifications are to be processed as identified in the following diagrams, using the City of Davis procedures and requirements in Articles 40.30 through 40.36.

Quick Code Guide: New or Modified Building



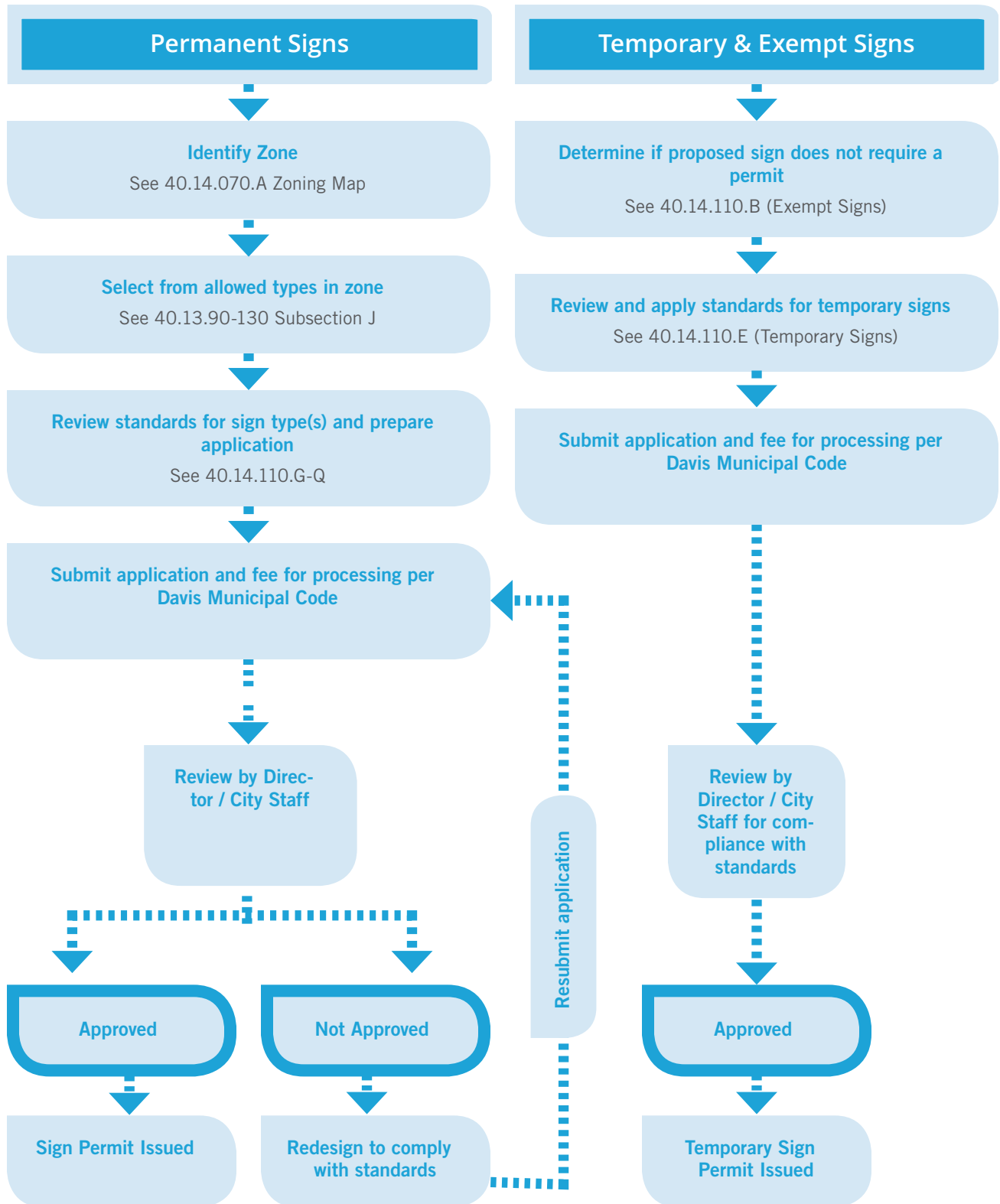
The above is intended as a summary guide. Please refer to the City's permit procedures and application requirements for all necessary information, including building permit requirements.

Quick Code Guide: New or Expanded Use



The above is intended as a summary guide. Please refer to the City's permit procedures and application requirements for all necessary information, including building permit requirements.

Quick Code Guide: New or Modified Signage



The above is intended as a summary guide. Please refer to the city's permit procedures and application requirements for all necessary information, including building permit requirements.

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40.13.040 Relationship to General Plan

The Downtown Davis Specific Plan refines the Davis General Plan vision for the Downtown Davis Specific Plan boundaries consistent with the 2018 community vision. The updated policy direction and land use designations in the Downtown Davis Specific Plan represent the refined community vision and direction for the zoning and standards. The zoning and standards that implement the Downtown Davis Specific Plan are provided in the Downtown Code.

The Downtown Specific Plan and Downtown Code affect the following policy documents identified in Table 40.13.040.A (Status of Policy Documents after Adoption of Downtown Code) within the Downtown Davis Specific Plan boundaries.

This information is provided in the Downtown Davis Specific Plan and Downtown Code for clarity and consistency.

Table 40.13.040.A Status of Policy Documents after Adoption of Downtown Code

Policy Document	Status after Adoption of Downtown Code
General Plan	Content related to Downtown to be updated.
Core Area Specific Plan	Replaced by the Downtown Davis Specific Plan and no longer in effect.
Davis Downtown and Traditional Residential Neighborhood Design Guidelines	Replaced by the Downtown Davis Specific Plan within the Downtown Davis Specific Plan boundaries.
Infill Development Principles and Expectations	Replaced by the Downtown Davis Specific Plan within the Downtown Davis Specific Plan boundaries.
Climate Action and Adaptation Plan	Content related to Downtown to be updated.
Sign Design Guidelines	Replaced by the Downtown Code within the Downtown Davis Specific Plan boundaries.

40.13.050 Relationship to Downtown Davis Specific Plan

The Downtown Code consists of Articles 40.13 and 40.14. Collectively, these two Articles implement the updated policy direction and land use designations in the Downtown Davis Specific Plan through new zoning districts and standards. The zoning districts are mapped in Figure 40.13.070.A (Downtown Zoning Map) to each parcel throughout the Downtown Davis Specific Plan boundaries in response to the refined community vision in the Downtown Davis Specific Plan. The Downtown Code Zoning Map replaces the zoning map for the Downtown Davis Specific Plan boundaries.

40.13.060 Relationship to Chapter 40, Zoning

The Downtown Code is coordinated with Chapter 40 as described in Table 40.13.060.A (Relationship to Chapter 40, Zoning).

Table 40.13.060.A Relationship to Chapter 40, Zoning		
Article	Title	Status
40.05	Core Area Infill (C-I) District	Replaced by Downtown Code.
40.13	Core Area Design (C-D) Combining District	Replaced by Downtown Code within Downtown Code Boundaries.
40.13A	Downtown and Traditional Neighborhood Overlay District	Replaced by Downtown Code.
40.14	Central Commercial (C-C) District	Replaced by Downtown Code.
40.15	Mixed Use (M-U) District	Replaced by Downtown Code within Downtown Code Boundaries.
40.23	Historical Resources Management	Downtown Code relies on this Article.
40.24	Performance Standards	Downtown Code relies on this Article.
40.25	Parking and Loading Area, Public Garages and Parking Lots	Replaced by Downtown Code.
40.25A	Bicycle Parking Standards	Downtown Code relies on this Article.
40.26	Special Uses	Downtown Code relies on this Article except for 46.26.020 which is replaced by Downtown Code.
40.27	Exceptions and Modifications	Downtown Code relies on this Article except for Sections 40.27.040 (Area and Lot width where public water and sewers unavailable), 050 (Front and Street Side Yards), 070 (Front Yards with excessive right-of-way), 080 (Minor Modifications).
40.28	Nonconforming Uses and Structures	Downtown Code relies on this Article.
40.29	Wireless Telecommunications Facilities	Downtown Code relies on this Article.
40.30	Conditional Use Permits	Downtown Code relies on this Article.
40.30A	Administrative Use Permits	Downtown Code relies on this Article.
40.30B	Temporary Uses	Downtown Code relies on this Article.
40.31	Site Plan and Architectural Approval	Downtown Code relies on this Article.
40.32	Planned Unit Development Approval	Downtown Code does not use this Article.
40.33	Variances	Downtown Code relies on this Article.
40.34	Prezoning	Downtown Code does not use this Article.
40.35	Appeals to City Council	Downtown Code relies on this Article.
40.36	Amendments	Downtown Code relies on this Article.
40.37	Enforcement	Downtown Code relies on this Article.
40.38	Solar Shade Control	Downtown Code relies on this Article.
40.39	Administrative Approvals	Downtown Code relies on this Article.
40.40	Alcohol Sales	Downtown Code relies on this Article.
40.42	Water Efficient Landscaping	Downtown Code relies on this Article.

40.13.070 Downtown Code Zoning Map

The zones established in this Article are mapped on Figure 40.13.070.A (Downtown Code Zoning Map). In addition to identifying the zoning for each parcel, the Downtown Code Zoning Map identifies specific urban design requirements in order to implement the community vision. These requirements are specified in Articles 40.13 and 40.14.

Figure 40.13.070.A Downtown Code Zoning Map

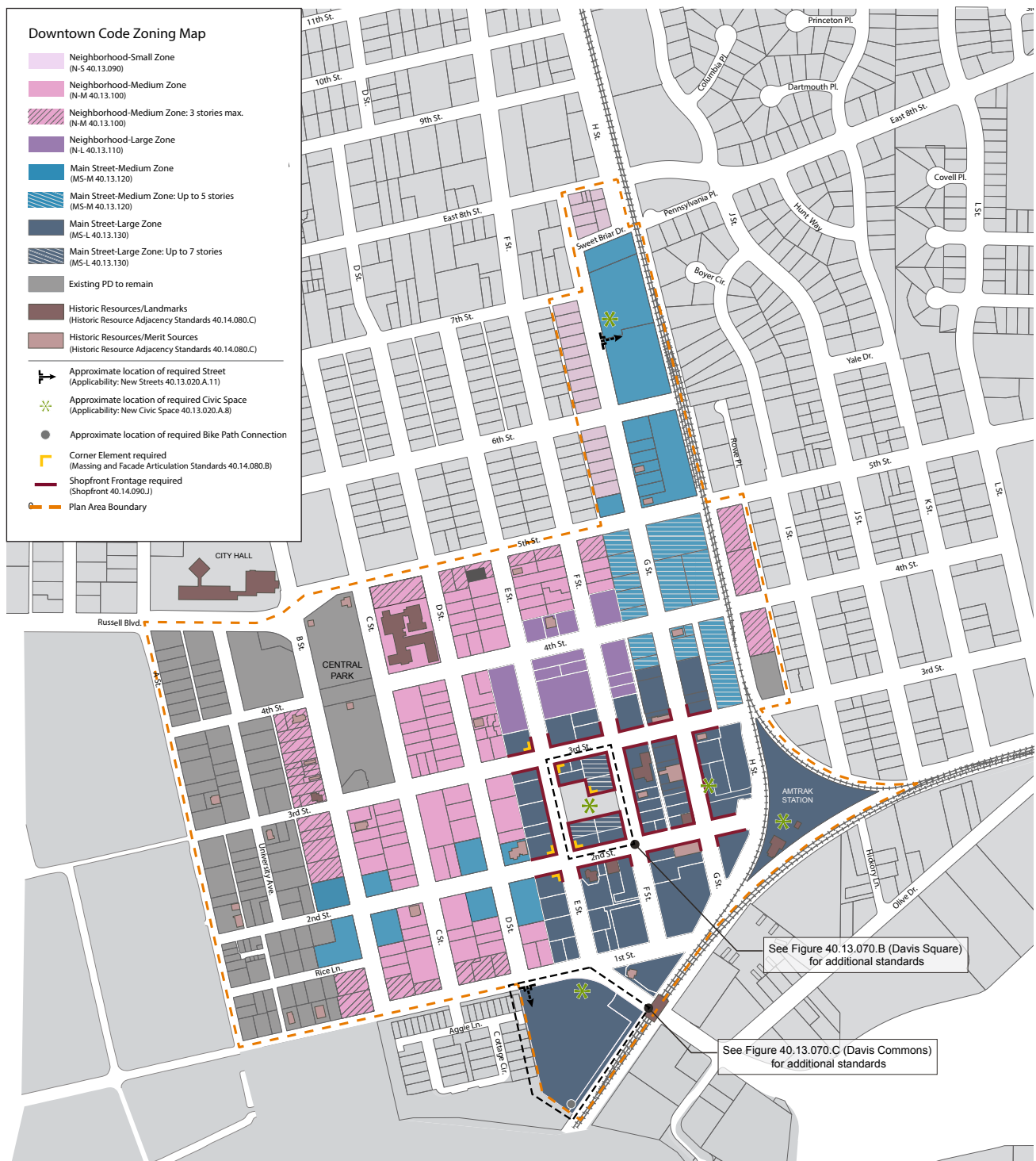


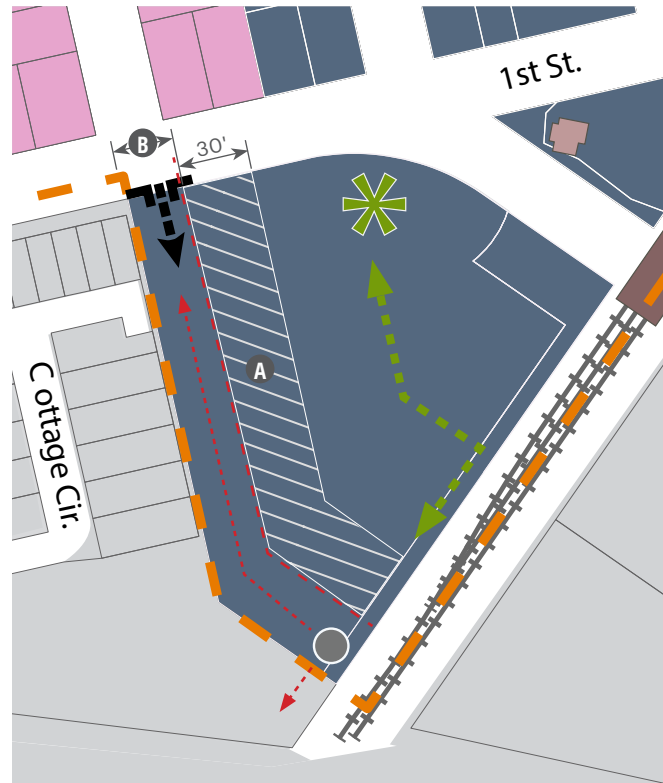
Figure 40.13.070.B Davis Square



- Main Street-Large Zone (MS-L 40.13.130)
- Main Street-Large Zone: Up to 7 stories (MS-L 40.13.130)
- Approximate location of required Civic Space: Plaza (Plaza 40.14.100.G)
- Corner Element required (Massing and Facade Articulation Standards 40.14.080.B)
- Shopfront Frontage required. (Shopfront 40.14.090.J)
- Required Pedestrian Connection and Pocket Plaza (Passage 40.14.100.E and Pocket Plaza 40.14.100.C)
- A** 120' min.
- B** 150' min.
- C** 100' min.
- D** 60' min. (Building separation above 4th story)
- E** 40' min. (Building separation above 4th story)

The above requirements are in addition to the zone standards.

Figure 40.13.070.C Davis Commons



- Main Street-Large Zone (MS-L 40.13.130)
- Approximate location of required Street. (New Streets 40.13.020.A.11)
- Approximate location of required Civic Space. (Specific to Civic Spaces 40.14.100)
- Approximate location of required Pedestrian Connection from Civic Space to south edge of site. Actual route subject to design and approval. (Passage 40.14.100.E)
- Approximate location of required Bike Path Connection from south edge of site to 1st Street. Actual route subject to design and approval.
- A** Building volumes in this area to be massed as follows: Two-story wing(s) extending at least 30' from main body, not wider than 35' with 15' min. separation between wing(s).
- B** 65' min. ROW for New Street, subject to City review and approval.

The above requirements are in addition to the zone standards.

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40.13.080 Downtown Zones

The Downtown Davis Form-Based Zones (Downtown Zones) are described in this Article, and each zone is established based on the intent of the desired physical form and character of the environments described in the Downtown Davis Specific Plan. These zones focus on mixed-use, walkable environments and range in function and intensity from primarily residential areas with a mix of building types of lower intensity (Neighborhood-Small), to moderate intensity neighborhoods (Neighborhood-Large) and centers (Main Street-Medium) and higher intensity commercial, retail, and residential areas along corridors and in neighborhoods (Neighborhood-Large and Main Street-Large). The naming of the Downtown Zones is based on a spectrum of context types in Davis from less urban to more urban as listed below in Table 40.13.080.A (Spectrum of Context Types). Table 40.13.080.B (Overview of Downtown Zones) provides an overview of the Downtown Zones and their intent. This information is provided as a link between the Downtown Davis Specific Plan's direction and the detailed standards in each Downtown Zone.


Reference	Downtown Zone	Context Type
40.13.090	Neighborhood-Small	Less Urban
40.13.100	Neighborhood-Medium	
40.13.110	Neighborhood-Large	
40.13.120	Main Street-Medium	
40.13.130	Main Street-Large	
		More Urban

Table: 40.13.080.B Overview of Downtown Zones

← Less Urban

Neighborhood-Small (N-S 40.13.090)



Zone(s)

Neighborhood-Small (N-S)

Sub-Zone(s)

None

Desired Form

Small Building Size

Primarily Detached Buildings

Small-to-Medium Building Site Width

Small Building Footprint

Medium-to-Large Front Setbacks

Small-to-Medium Side Setbacks

Up to 2 Stories

Min. 9' Ground Floor Ceiling Height

Front Yards, Porches, Stoops, Dooryards

General Use

Primarily residential with neighborhood supporting uses in ancillary buildings and at corners.

Intent

A walkable, urban neighborhood environment with small footprint, lower-intensity housing choices from Houses to Cottage Courts and Townhouses, supporting and within short walking distance of neighborhood-serving retail and services.

Neighborhood-Medium (N-M 40.13.100)



Zone(s)

Neighborhood-Medium (N-M)

Sub-Zone(s)

None

Desired Form

Medium Building Size

Attached and Detached Buildings

Medium Building Site Width

Small-to-Medium Building Footprint

Small-to-Medium Front Setbacks

Small-to-Medium Side Setbacks

Up to 4 Stories

Min. 9' Ground Floor Ceiling Height

Porches, Stoops, Dooryards

General Use

Primarily residential with neighborhood supporting uses in ancillary buildings and at corners.

Intent

A walkable, urban neighborhood environment with small-to-medium footprint, moderate-intensity housing choices from Cottage Courts to Multiplex Large and Courtyard Buildings, supporting and within short walking distance of neighborhood-serving retail and services.

Table: 40.13.080.B Overview of Downtown Zones (Continued)

More Urban **Neighborhood-Large (N-L 40.13.110)****Zone(s)**

Neighborhood-Large (N-L)

Sub-Zone(s)

None

Desired Form

Medium-to-Large Building Size

Attached Buildings

Medium-to-Large Building Site Width

Medium-to-Large Building Footprint

Small-to-Medium Front Setbacks

Small-to-Medium Side Setbacks

Up to 5 Stories

Min. 10' Ground Floor Ceiling Height

Forecourts, Shopfronts, Terraces

General Use

Primarily residential with neighborhood supporting uses in ancillary buildings and at corners.

Intent

A walkable, urban neighborhood environment with large footprint, high-intensity housing choices from Townhouses to Courtyard Buildings, supporting and within short walking distance of neighborhood-serving retail and services.

Main Street-Medium (MS-M 40.13.120)**Zone(s)**

Main Street-Medium (MS-M)

Sub-Zone(s)

None

Desired Form

Medium Building Size

Primarily Attached Buildings

Medium Building Site Width

Medium Building Footprint

Small-to-None Front Setbacks

Small-to-None Side Setbacks

Up to 4 Stories;

Up to 5 stories, see Figure 40.13.070.A (Zoning Map).

Min. 14' Ground Floor Ceiling Height

Forecourts, Shopfronts, Terraces, Galleries, Arcades

General Use

Ground floor retail, office, and service with residential and office in upper stories.

Intent

A walkable, vibrant district of medium footprint, moderate-intensity mixed-use buildings and housing choices from Main Street Buildings to Courtyard Buildings and Townhouses, supporting and within short walking distance of neighborhood-serving ground floor retail, food and services, including indoor and outdoor artisanal industrial businesses.

Table: 40.13.080.B Overview of Downtown Zones (Continued)

More Urban 

Main Street-Large (MS-L 40.13.130)



Zone(s)

Main Street-Large (MS-L)

Sub-Zone(s)

None

Desired Form

Medium-to-Large Building Size

Attached Buildings

Medium-to-Large Building Site Width

Medium-to-Large Building Footprint

No Front Setbacks

No Side Setbacks

Up to 5 Stories;

Up to 7 stories, see Figure 40.13.070.A (Zoning Map).

Min. 14' Ground Floor Ceiling Height

Forecourts, Shopfronts, Terraces, Galleries, Arcades

General Use

Ground floor retail, office, and service with residential and office in upper stories.

Intent

A walkable, vibrant urban main street environment serving multiple neighborhoods with commercial, retail, entertainment, and civic uses, public transportation, and large footprint, high-intensity mixed-use buildings and housing choices from Main Street Buildings to Courtyard Buildings.

Neighborhood-Small (N-S)

40.13.090 Neighborhood-Small



A. Intent

A walkable, urban neighborhood environment with small footprint, lower-intensity housing choices from Houses to Cottage Courts and Townhouses, supporting and within short walking distance of neighborhood-serving retail and services.

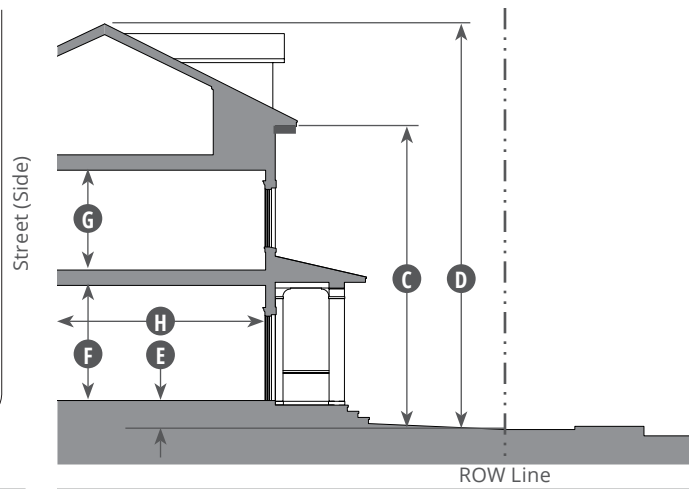
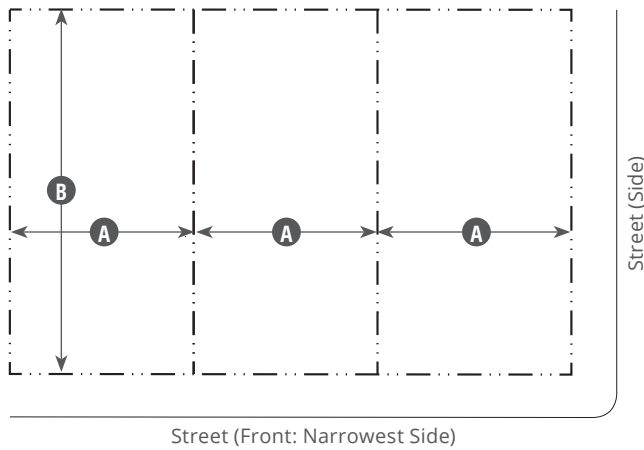
The following are generally appropriate form elements in this zone:

Small Building Size
 Primarily Detached Buildings
 Small-to-Medium Building Site Width
 Small Building Footprint
 Medium-to-Large Front Setbacks
 Small-to-Medium Side Setbacks
 Up to 2 Stories
 Min. 9' Ground Floor Ceiling Height
 Front Yards, Porches, Stoops, Dooryards

B. Sub-Zone(s)

None

General note: The image above is intended to provide a brief overview of this form-based zone and is illustrative.



Key

--- ROW/ Building Site Line

Key

--- ROW Line

— HTP (Highest Top Plate)

C. Building Types			
Primary Building Type	Building Site ¹		Standards
	Width A	Depth B	
Detached House	50' min.	100' min.	40.14.070.D
Duplex: Stacked	40' min.	100' min.	40.14.070.E
Duplex: Side-by-Side	50' min.	100' min.	40.14.070.F
Cottage Court ²	100' min.	100' min.	40.14.070.G
Multiplex: Small	50' min.; 100' max.	100' min.	40.14.070.H
Townhouse: House Form	25' min.; 75' max. ³	100' min.	40.14.070.J
Accessory Building Type			
Carriage House	N/A	N/A	40.14.070.C

¹ Sites of at least 1.5 acres are required to include civic space and new street(s) per Section 40.14.100 (Specific to Civic Spaces).

² Up to 1 Cottage may be a duplex or triplex.

³ Represents three townhouses side-by-side.

D. Building Form ¹			
Height			
Main Building			
Stories	2 stories max. ²		
Highest Top Plate	24' max.		C
Overall	35' max.		D

D. Building Form ¹ (Continued)		
Height		
Accessory Structure(s)		
Carriage House	2 stories max. ²	
Other	1 story max.	
Ground Floor Finish Level ³ E		
Residential	12" min. ⁴	
Non-Residential	6" max.	
Ground Floor Ceiling	9' min.	F
Upper Floor(s) Ceiling	9' min.	G

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

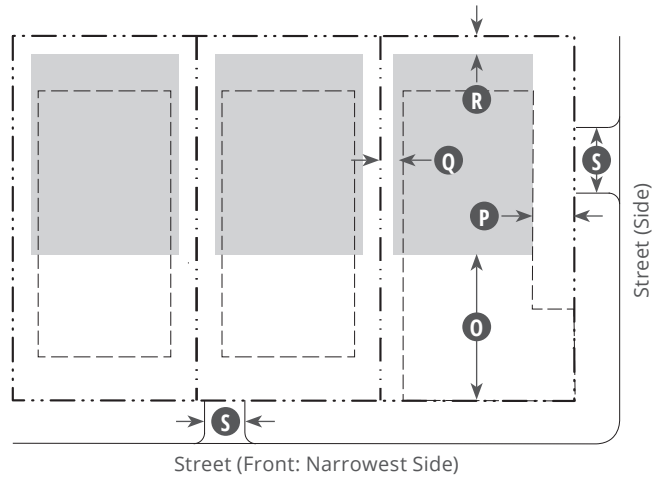
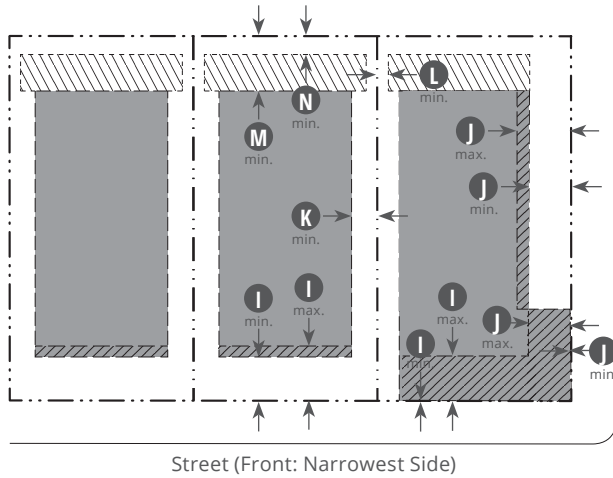
² See Section 40.14.070 (Specific to Building Types) for refinements to height and massing standards.

³ Common entries for multifamily buildings may be at grade per local and federal accessibility standards.

⁴ Required when facing a street and/or public ROW.

Footprint		
Lot Coverage	60% max. ¹	
Depth, Ground-Floor Space	30' min.	H
Accessory Structure(s)	36' x 30' max.	

¹ In compliance with stormwater management requirements.



Key

- ROW/ Building Site Line
- Setback Line
- Buildable Area
- ▨ Acc. Structures Only
- ▩ Facade Zone

Key

- ROW/ Building Site Line
- Building Setback Line
- Parking Area

E. Building Placement¹

Setback (Distance from ROW/Building Site Line)

Front (Facade Zone) ²		I
Interior Building Site	12' min.; 15' max.	
Corner Building Site	0' min.; 12' max.	
Side Street (Facade Zone)		J
First 1/3 of lot from corner	0' min.; 12' max.	
Rest of facade	12' min.; 15' max.	
Side		
Main Building	7' min.	K
Accessory Structure(s)	5' min.	L
Rear		
Main Building	15' min.	M
Accessory Structure(s)	5' min.	N
Building within Facade Zone		
Front	70% min.	
Side Street	50% min.	

F. Parking

Maximum Allowed Spaces

Residential Uses	
Studio or 1 Bedroom	1 per unit
2 or More Bedrooms	1.25 per unit
Non-Residential Uses	2.5/1,000 sf

Setback (Distance from ROW/Building Site Line)

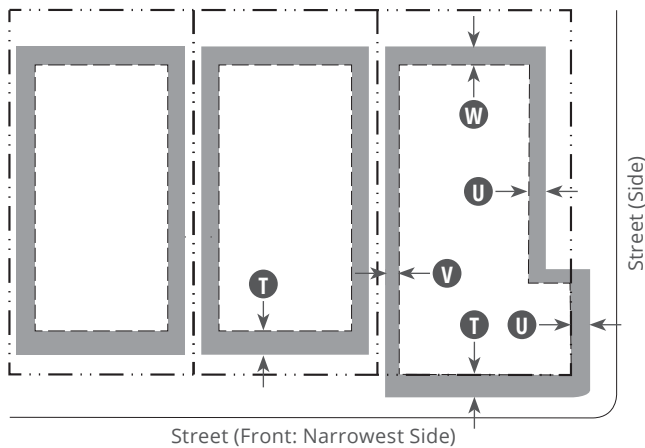
Front	40' min.	O
Side Street	12' min.	P
Side	5' min.	Q
Rear	5' min.	R

Miscellaneous

Driveway Width	10' max.	S
	with 2' wide planter	
Driveway width along alley: No max.		
Driveways may be shared between adjacent parcels.		
Driveways from street shall be at least 50' apart.		

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² Buildings on corner lots required to have equal architectural treatment on front and side street facades. Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).



Key

- ROW/ Building Site Line ■ Encroachment Area
- Setback Line

G. Encroachments

Encroachment Type	T	U	V	W
	Front	Side St.	Side	Rear
Frontage ¹	7' max.	4' max.	X	X
Steps to Building Entry	5' max.	5' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Unenclosed porches, balconies, and stairs	5' max.	3' max.	2' max.	4' max.
Signage, Awning ²	A	A	X	X
Landscaping	A ³	A ³	A ⁴	A ⁴
Fences or Freestanding Walls	A ³	A ³	A ⁴	A ⁴
Driveways, Walkways	A	A	A	A
Satellite Dish Antennas	X	X	A	A

Encroachments at grade are not allowed within a street ROW, alley ROW or across a building site line.

¹ See 40.14.090 (Specific to Frontage Types) for further refinement of allowed encroachments.

² Only within 50' of street corner.

³ 3' max. height.

⁴ 6' max. height; max. 4' when at alley and other ROW.

H. Frontages

Private Frontage Type ¹	Front	Side St.	Standards
Front Yard	A	A	40.14.090.C
Porch: Projecting	A	A	40.14.090.D
Porch: Engaged	A	A	40.14.090.E
Stoop	A	A	40.14.090.F
Dooryard	A	A	40.14.090.G

¹ Allowed types further refined by building type standards.

I. Streetscape

Replace or Infill Street Trees	Min. Trees
Addition, Renovation, or New Building	
< 1,000 sf	1
< 2,500 sf	2
> 2,500 sf	Along frontage

J. Signage

Sign Type	Max. Signs	Standards
Yard/Porch ¹	1 per building	40.14.110.G
Projecting ¹	1 per business	40.14.110.H
Awning/Canopy ¹	1 per business	40.14.110.I
Wall ¹	1 per building	40.14.110.J
Window	1 per business	40.14.110.L
Directory	1 per building	40.14.110.N

¹ Only within 50' of street corner.

Key A = Allowed X = Not Allowed

Neighborhood-Medium (N-M)

40.13.100 Neighborhood-Medium



A. Intent

A walkable, urban neighborhood environment with small-to-medium footprint, moderate-intensity housing choices from Cottage Courts to Multiplex Large and Courtyard Buildings, supporting and within short walking distance of neighborhood-serving retail and services.

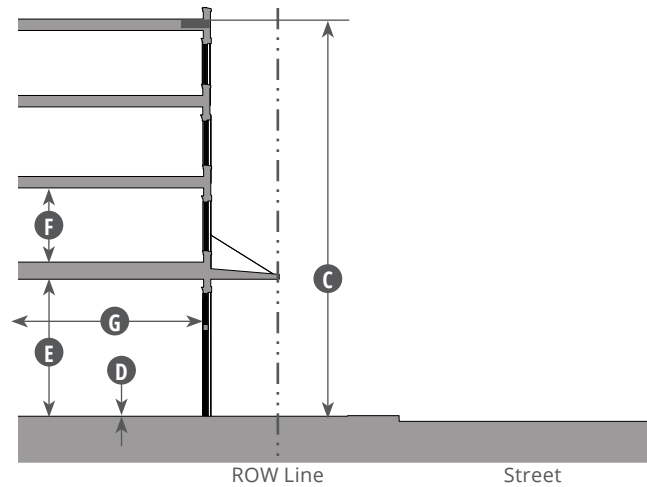
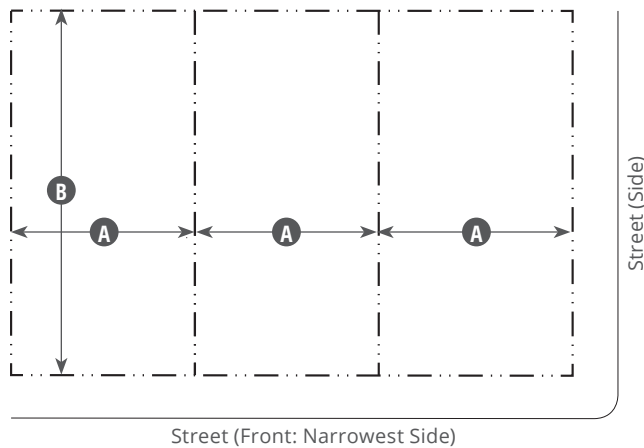
The following are generally appropriate form elements in this zone:

Medium Building Size
 Attached and Detached Buildings
 Medium Building Site Width
 Small-to-Medium Building Footprint
 Small-to-Medium Front Setbacks
 Small-to-Medium Side Setbacks
 Up to 4 Stories
 Min. 9' Ground Floor Ceiling Height
 Porches, Stoops, Dooryards

B. Sub-Zone(s)

None

General note: The image above is intended to provide a brief overview of this form-based zone and is illustrative.



Key

--- ROW/ Building Site Line

Key

--- ROW Line

— HTP (Highest Top Plate)

C. Building Types			
Primary Building Type	Building Site ¹		Standards
	Width A	Depth B	
Cottage Court ²	100' min.; 150' max.	100' min.	40.14.070.G
Multiplex: Large	50' min.; 100' max.	100' min.	40.14.070.I
Townhouse: House Form	25' min.; 100' max. ³	100' min.	40.14.070.J
Courtyard	100' min.	100' min.	40.14.070.K
Accessory Building Type			
Carriage House	N/A	N/A	40.14.070.C

¹ Sites of at least 1.5 acres are required to include civic space and new street(s) per Section 40.14.100 (Specific to Civic Spaces).

² Up to 1 Cottage may be a duplex or triplex.

³ Represents four Townhouses side-by-side.

D. Building Form ¹			
Height			
Main Building			
Stories	4 stories max. ^{2,3}		
Highest Top Plate	45' max.		C
Overall	55' max.		
Footprint			
Lot Coverage	70% max. ¹		
Depth, Ground-Floor Space	30' min.		G
Accessory Structure(s)	36' x 30' max.		

D. Building Form ¹ (Continued)			
Height			
Accessory Structure(s)			
Carriage House	2 stories max. ³		
Other	1 story max.		
Ground Floor Finish Level ⁴			
Residential	12" min. ⁵		D
Non-Residential	6" max.		
Ground Floor Ceiling			
	9' min.		E
Upper Floor(s) Ceiling			
	9' min.		F

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² 3 stories max. / 30' max. Highest Top Plate / 35' max. Overall as mapped in Figure 40.13.070.A (Zoning Map).

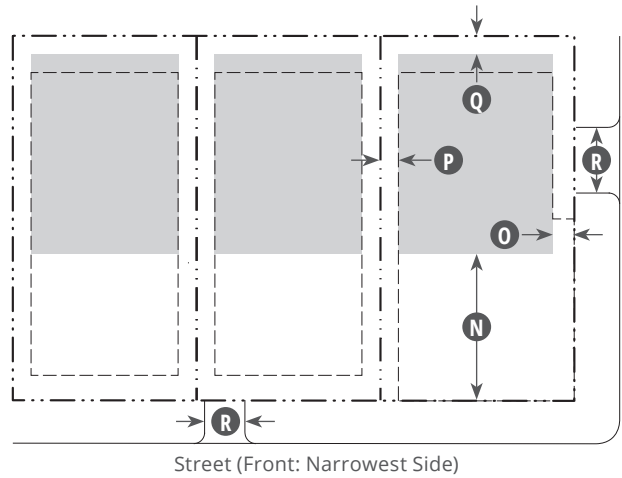
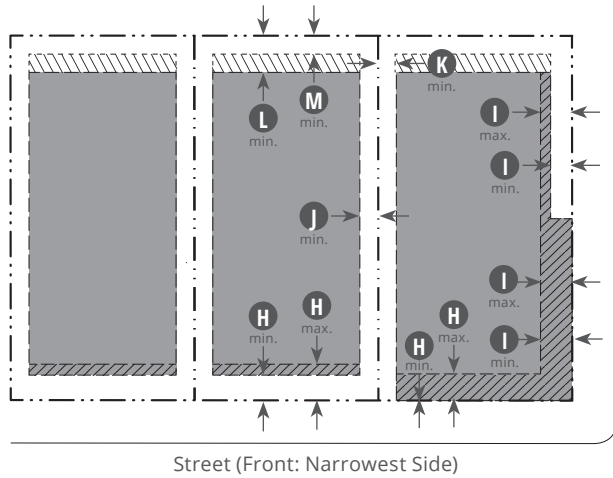
³ See Section 40.14.070 (Specific to Building Types) for refinements to height and massing standards.

⁴ Common entries for multifamily buildings may be at grade per local and federal accessibility standards.

⁵ Required when facing a street and/or public ROW.

Footprint			
Lot Coverage	70% max. ¹		
Depth, Ground-Floor Space	30' min.		G
Accessory Structure(s)	36' x 30' max.		

¹ In compliance with stormwater management requirements.



Key

- ROW/ Building Site Line
- Setback Line
- Buildable Area
- ▨ Acc. Structures Only
- ▩ Facade Zone

Key

- ROW/ Building Site Line
- Building Setback Line
- Parking Area

E. Building Placement¹

Setback (Distance from ROW/Building Site Line)

Front (Facade Zone)²		H
Interior Building Site	7' min.; 10' max.	
Corner Building Site	0' min.; 7' max.	
Side Street (Facade Zone)		I
First 1/2 of lot from corner	0' min.; 7' max.	
Rest of facade	7' min.; 10' max.	
Side		
Main Building	5' min.	J
Accessory Structure(s)	5' min.	K
Rear		
Main Building	10' min.	L
Adjacent to PD or R-1 Zone	15' min.	
Accessory Structure(s)	5' min.	M
Building within Facade Zone		
Front	70% min.	
Side Street	60% min.	

F. Parking

Maximum Allowed Spaces

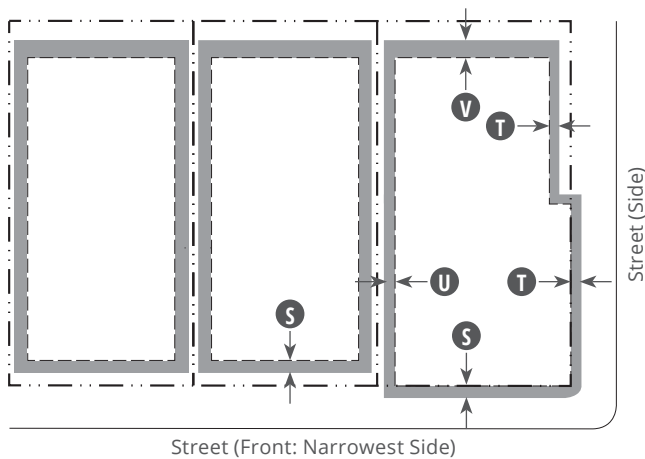
Residential Uses		
Studio or 1 Bedroom	1 per unit	
2 or More Bedrooms	1.25 per unit	
Non-Residential Uses		
	2.5/1,000 sf	
Setback (Distance from ROW/Building Site Line)		
Front	40' min.	N
Side Street	7' min.	O
Side	5' min.	P
Rear	5' min.	Q

Miscellaneous

Driveway Width	10' max.	R
	with 2' wide planter	
Driveway width along alley: No max.		
Driveways may be shared between adjacent parcels.		
Driveways from street shall be at least 50' apart.		

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² Buildings on corner lots required to have equal architectural treatment on front and side street facades. Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).



Key

- ROW/ Building Site Line
- Setback Line
- Encroachment Area

G. Encroachments

Encroachment Type	S	T	U	V
	Front	Side St.	Side	Rear
Frontage ³	4' max.	3' max.	X	X
Steps to Building Entry	5' max.	5' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Unenclosed porches, balconies, and stairs	5' max.	3' max.	2' max.	4' max.
Signage, Awning ⁴	A	A	X	X
Landscaping	A ¹	A ¹	A ²	A ²
Fences or Freestanding Walls	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A
Satellite Dish Antennas	X	X	A	A

Encroachments at grade are not allowed within a street ROW, alley ROW or across a building site line.

¹3' max. height.

²6' max. height; max. 4' when at alley and other ROW.

³See 40.14.090 (Specific to Frontage Types) for further refinement of allowed encroachments.

⁴Only within 50' of street corner.

H. Frontages

Private Frontage Type ¹	Front	Side St.	Standards
Porch: Projecting	A	A	40.14.090.D
Porch: Engaged	A	A	40.14.090.E
Stoop	A	A	40.14.090.F
Dooryard	A	A	40.14.090.G

¹Allowed types further refined by building type standards.

I. Streetscape

Replace or Infill Street Trees	Min. Trees
Addition, Renovation, or New Building	
< 1,000 sf	1
< 2,500 sf	2
> 2,500 sf	Along frontage

J. Signage

Sign Type	Max. Signs	Standards
Yard/Porch ¹	1 per building	40.14.110.G
Projecting ¹	1 per business	40.14.110.H
Awning/Canopy ¹	1 per business	40.14.110.I
Wall ¹	1 per building	40.14.110.J
Window	1 per business	40.14.110.L
Directory	1 per building	40.14.110.N

¹Only within 50' of street corner.

Key A = Allowed X = Not Allowed

Neighborhood-Large (N-L)

40.13.110 Neighborhood-Large



A. Intent

A walkable, urban neighborhood environment with large footprint, high-intensity housing choices from Townhouses to Courtyard Buildings, supporting and within short walking distance of neighborhood-serving retail and services.

The following are generally appropriate form elements in this zone:

- Medium-to-Large Building Size

- Attached Buildings

- Medium-to-Large Building Site Width

- Medium-to-Large Building Footprint

- Small-to-Medium Front Setbacks

- Small-to-Medium Side Setbacks

- Up to 5 Stories

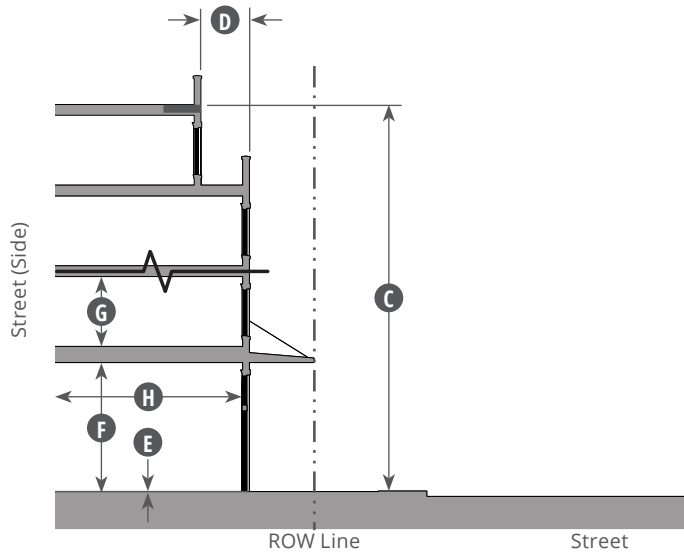
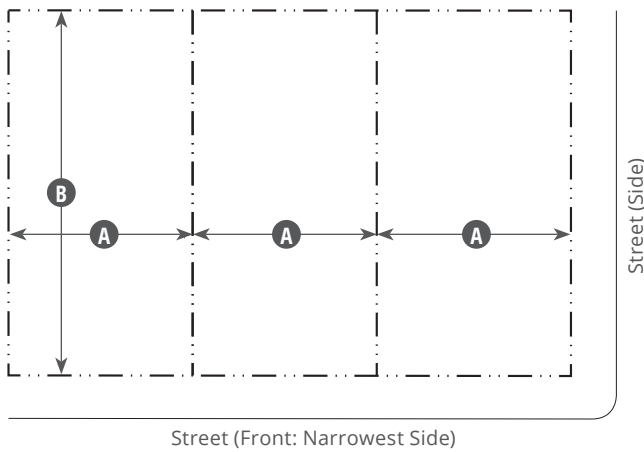
- Min. 10' Ground Floor Ceiling Height

- Forecourts, Shopfronts, Terraces

B. Sub-Zone(s)

None

General note: The image above is intended to provide a brief overview of this form-based zone and is illustrative.



Key

--- ROW/ Building Site Line

C. Building Types

Primary Building Type	Building Site ¹		Standards
	Width A	Depth B	
Multiplex: Large	75' min.; 150' max.	100' min.	40.14.070.I
Townhouse: Block Form	18' min.; 75' max. ²	100' min.	40.14.070.J
Courtyard	100' min.	120' min.	40.14.070.K

Accessory Building Type

Carriage House	N/A	N/A	40.14.070.C
----------------	-----	-----	-------------

¹ Sites of at least 1.5 acres are required to include civic space and new street(s) per Section 40.14.100 (Specific to Civic Spaces).

² Represents four townhouses side-by-side; each with up to 3 stacked units.

D. Building Form¹

Height

Main Building		
Stories	5 stories max. ²	
Highest Top Plate	55' max.	C
Overall	65' max.	
15' min. front and side street setback above 4th story required; corner elements exempt.		
Accessory Structure(s)		
Carriage House	2 stories max. ²	
Other	1 story max.	

Key

--- ROW Line

— HTP (Highest Top Plate)

D. Building Form¹ (Continued)

Height

Ground Floor Finish Level ³		E
Residential	12" min. ⁴	
Non-Residential	6" max.	
Ground Floor Ceiling	10' min.	F
Upper Floor(s) Ceiling	9' min.	G

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² See Section 40.14.070 (Specific to Building Types) for refinements to height and massing standards.

³ Common entries for multifamily buildings may be at grade per local and federal accessibility standards.

⁴ Required when facing a street and/or public ROW.

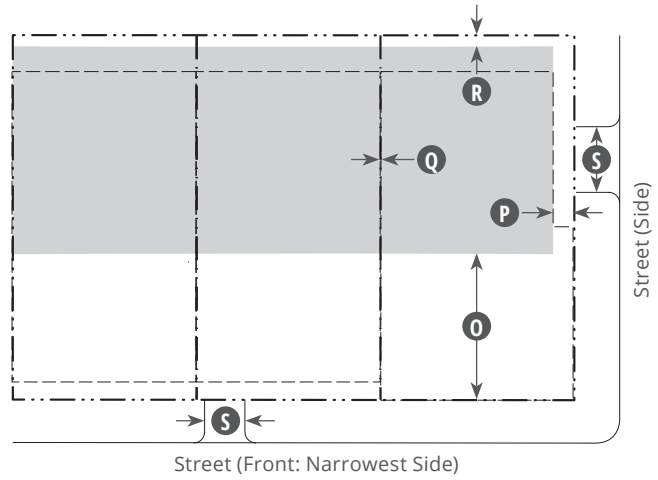
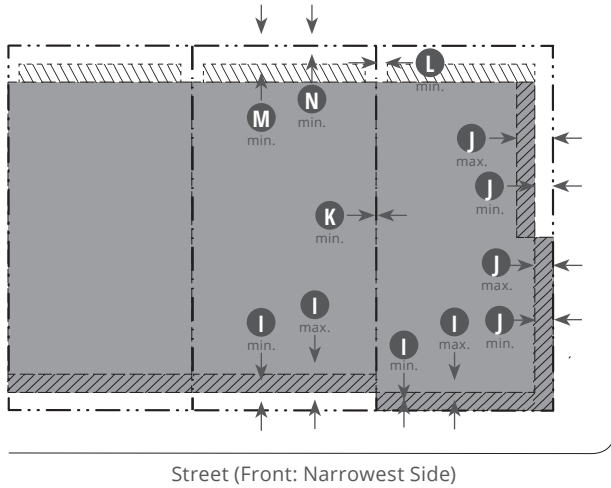
Footprint

Lot Coverage	80% max. ¹	
Depth, Ground-Floor Space	30' min.	H
Accessory Structure(s)	36' x 30' max.	

¹ In compliance with stormwater management requirements.

Miscellaneous

50' max. distance between entries to ground floor uses.
Loading docks not allowed on front street facades.



Key	Buildable Area
- - - - ROW/ Building Site Line	Acc. Structures Only
- - - - Setback Line	Facade Zone

E. Building Placement¹

Setback (Distance from ROW/Building Site Line)

Front (Facade Zone)²		I
Interior Building Site	5' min.; 10' max.	
Corner Building Site	0' min.; 5' max.	
Side Street (Facade Zone)		J
First 1/2 of lot from corner	0' min.; 5' max.	
Rest of facade	5' min.; 10' max.	
Side		
Main Building	0' min.	K
When adjacent to N-M Zone	7' min.	
Accessory Structure(s)	5' min.	L
Rear		
Main Building	10' min.	M
When adjacent to N-M Zone	15' min.	
Accessory Structure(s)	5' min.	N
Building within Facade Zone		
Front	70% min.	
Side Street	70% min.	

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² Buildings on corner lots required to have equal architectural treatment on front and side street facades. Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

Key	Parking Area
- - - - ROW/ Building Site Line	Building Setback Line

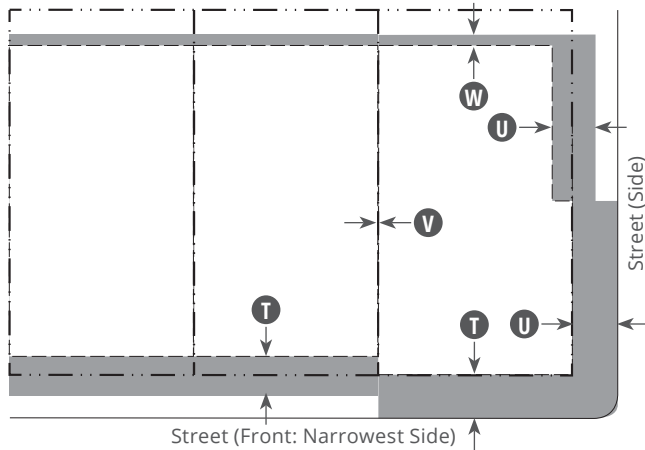
F. Parking

Maximum Allowed Spaces

Residential Uses		
Studio or 1 Bedroom	0.75 per unit	
2 or More Bedrooms	1 per unit	
Non-Residential Uses 2.5/1,000 sf		
Setback (Distance from ROW/Building Site Line)		
Front	40' min.	O
Side Street	5' min.	P
Side	0' min.	Q
Rear	3' min.	R

Miscellaneous

Driveway Width	10' max.	S
	with 2' wide planter	
Driveway width along alley: No max.		
Driveways may be shared between adjacent parcels.		
Driveways from street shall be at least 150' apart.		



Key

- - - - ROW/ Building Site Line ■ Encroachment Area
- - - - Setback Line

G. Encroachments				
Encroachment Type	T	U	V	W
	Front	Side St.	Side	Rear
Frontage ³	10' max.	10' max.	X	X
Steps to Building Entry	3' max.	3' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Unenclosed porches, balconies, and stairs	5' max. ⁴	5' max. ⁴	X	5' max.
Signage, Awning	A	A	X	X
Landscaping	A ¹	A ¹	A ²	A ²
Fences or Freestanding Walls	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A
Satellite Dish Antennas	X	X	A	A

Encroachments at grade are not allowed within a street ROW, alley ROW or across a building site line.

¹ 3' max. height.

² 8' max. height; max. 4' when at alley and other ROW.

³ See 40.14.090 (Specific to Frontage Types) for further refinement of allowed encroachments.

⁴ Balconies only.

H. Frontages			
Private Frontage Type ¹	Front	Side St.	Standards
Forecourt	A	A	40.14.090.H
Shopfront	A ²	A ²	40.14.090.J
Terrace	A	A	40.14.090.K

¹ Allowed types further refined by building type standards.

² Only within 50' of street corner.

I. Streetscape	
Replace or Infill Street Trees	Min. Trees
Addition, Renovation, or New Building	
< 1,000 sf	2
< 2,500 sf	3
> 2,500 sf	Along frontage

J. Signage		
Sign Type	Max. Signs	Standards
Yard/Porch ¹	1 per building	40.14.110.G
Projecting ¹	1 per business	40.14.110.H
Awning/Canopy ¹	1 per business	40.14.110.I
Wall ¹	1 per building	40.14.110.J
Window	1 per business	40.14.110.L
Directory	1 per building	40.14.110.N

¹ Only within 50' of street corner.

Key A = Allowed X = Not Allowed

Main Street-Medium (MS-M)

40.13.120 Main Street-Medium



A. Intent

A walkable, vibrant district of medium footprint, moderate-intensity mixed-use buildings and housing choices from Main Street Buildings to Courtyard Buildings and Townhouses, supporting and within short walking distance of neighborhood-serving ground floor retail, food and services, including indoor and outdoor artisanal industrial businesses.

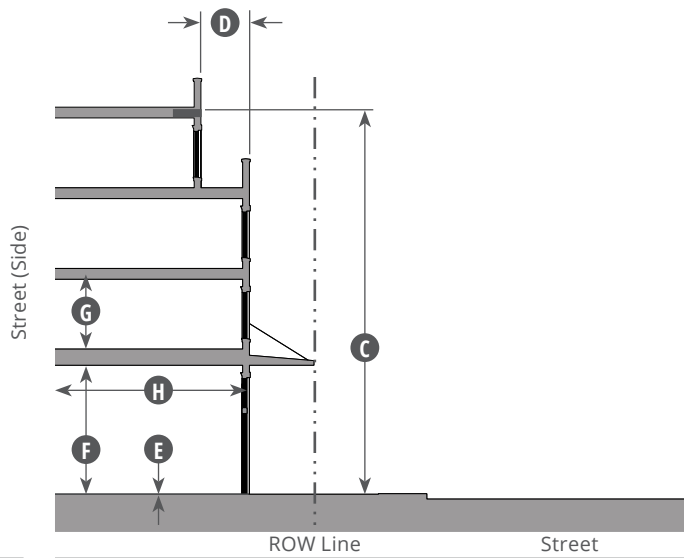
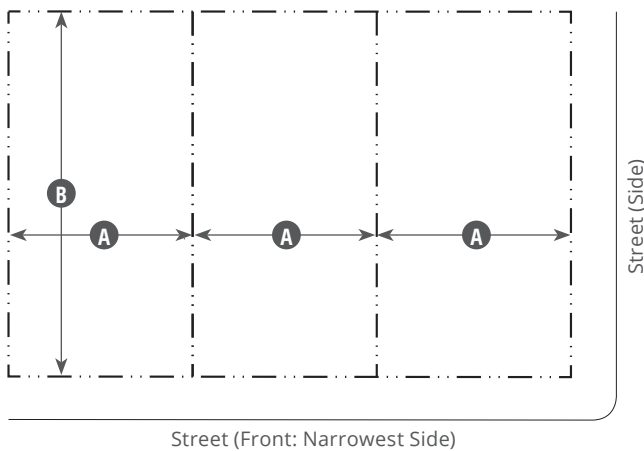
The following are generally appropriate form elements in this zone:

- Medium Building Size
- Primarily Attached Buildings
- Medium Building Site Width
- Medium Building Footprint
- Small-to-None Front Setbacks
- Small-to-None Side Setbacks
- Up to 4 Stories; Up to 5 stories, see Figure 40.13.070.A (Zoning Map).
- Min. 14' Ground Floor Ceiling Height
- Forecourts, Shopfronts, Terraces, Galleries, Arcades

B. Sub-Zone(s)

None

General note: The image above is intended to provide a brief overview of this form-based zone and is illustrative.



Key

--- ROW/ Building Site Line

Key

--- ROW Line

— HTP (Highest Top Plate)

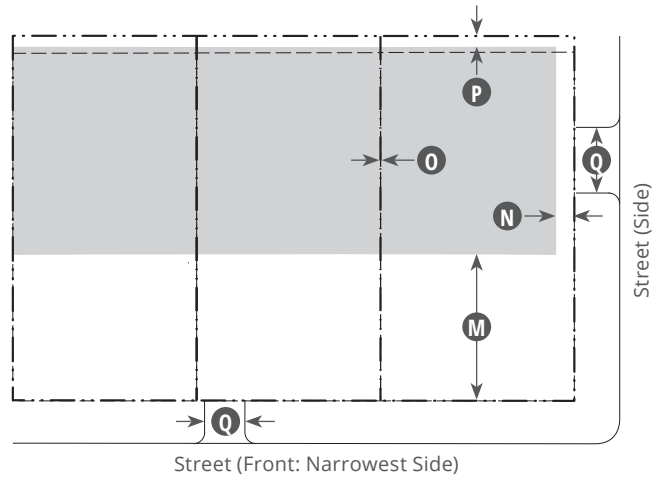
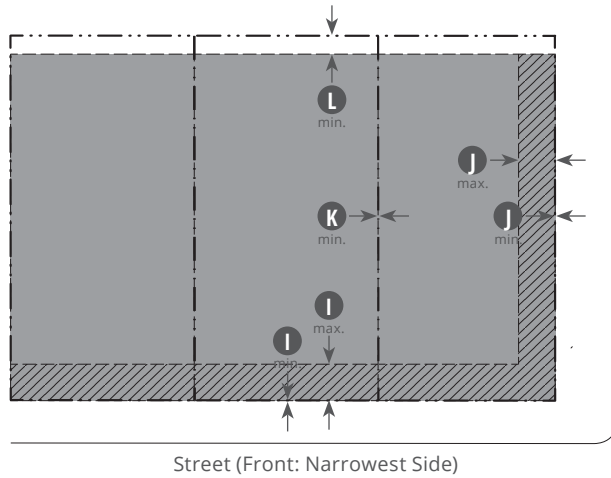
C. Building Types			
Primary Building Type	Building Site ¹		Standards
	Width A	Depth B	
Multiplex:	50' min.;	100' min.	40.14.070.I
Large	150' max.		
Townhouse:	18' min.	120' min.	40.14.070.J
Block Form	75' min. ²		
Courtyard	50' min.	120' min.	40.14.070.K
Main Street	25' min.	100' min.	40.14.070.L
Accessory Building Type			
Carriage House	N/A	N/A	40.14.070.C

¹ Sites of at least 1.5 acres are required to include civic space and new street(s) per Section 40.14.100 (Specific to Civic Spaces).

² Represents four townhouses side-by-side; each with up to 3 stacked units.

D. Building Form ¹			
Height			
Main Building			
Stories	4 stories max. ^{2,3}		
Highest Top Plate	45' max.		C
Overall	55' max.		
15' min. stepback above 3rd story required when abutting or across a street or alley from N-S Zone, PD, R-1 and R-2. D			
Accessory Structure(s)			
Carriage House	2 stories max. ²		

D. Building Form ¹ (Continued)			
Other	1 story max.		
Height			
Ground Floor Finish Level ⁴			E
Residential	12" min. ⁵		
Non-Residential	Flush with sidewalk		
Ground Floor Ceiling	14' min.		F
Upper Floor(s) Ceiling	9' min.		G
¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).			
² See Section 40.14.070 (Specific to Building Types) for refinements to height and massing standards.			
³ 5 stories max. / 55' max. Highest Top Plate / 65' max. Overall as mapped in Figure 40.13.070.A (Zoning Map).			
⁴ Common entries for multifamily buildings may be at grade per local and federal accessibility standards.			
⁵ Required when facing a street and/or public ROW.			
Footprint			
Lot Coverage	95% max. ¹		
Depth, Ground-Floor Space	30' min.		H
Accessory Structure(s)	36' x 30' max.		
¹ In compliance with stormwater management requirements.			
Miscellaneous			
50' max. distance between entries to ground floor uses.			
Loading docks not allowed on front or side street facades.			



Key

- ROW/ Building Site Line
- Setback Line
- █ Buildable Area
- ▨ Acc. Structures Only
- ▩ Facade Zone

Key

- ROW/ Building Site Line
- Building Setback Line
- █ Parking Area

E. Building Placement¹

Setback (Distance from ROW/Building Site Line)	
Front (Facade Zone) ²	0' min.; 10' max. I
Side Street (Facade Zone)	0' min.; 10' max. J
Side	
Main Building	0' min. K
Accessory Structure(s)	5' min.
Rear	
Main Building	10' min. L
When Alley Present	5' min.
Accessory Structure(s)	5' min.
Building within Facade Zone	
Front	80% min.
Side Street	70% min.

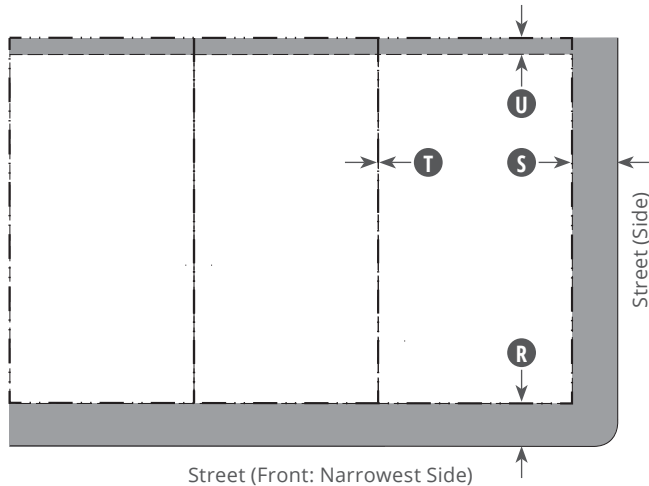
F. Parking

Maximum Allowed Spaces	
Residential Uses	
Studio or 1 Bedroom	0.75 per unit
2 or More Bedrooms	1 per unit
Non-Residential Uses	2.5/1,000 sf
Setback (Distance from ROW/Building Site Line)	
Front	40' min. M
Side Street	5' min. N
Side	0' min. O
Rear	3' min. P
Miscellaneous	
Driveway Width	10' max. Q
	with 2' wide planter

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² Buildings on corner lots required to have equal architectural treatment on front and side street facades. Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

Driveway width along alley: No max.
 Driveways may be shared between adjacent parcels.
 Driveways from street shall be at least 150' apart.



Key

- - - - ROW/ Building Site Line
- - - - Setback Line
- Encroachment Area

G. Encroachments				
Encroachment Type	R	S	T	U
	Front	Side St.	Side	Rear
Frontage ³	10' max.	10' max.	X	X
Steps to Building Entry	3' max.	3' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Unenclosed porches, balconies, and stairs	5' max. ⁴	5' max. ⁴	X	5' max.
Signage	A	A	X	X
Landscaping	A ¹	A ¹	A ²	A ²
Fences or Freestanding Walls	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A
Satellite Dish Antennas	X	X	A	A

Encroachments at grade are not allowed within a street ROW, alley ROW or across a building site line.

¹ 3' max. height.
² 8' max. height; max. 4' when at alley and other ROW.
³ See 40.14.090 (Specific to Frontage Types) for further refinement of allowed encroachments.
⁴ Balconies only.

Key A = Allowed X = Not Allowed

H. Frontages			
Private Frontage Type ¹	Front	Side St.	Standards
Forecourt	A	A	40.14.090.H
Maker Shopfront	X	A	40.14.090.I
Shopfront	A	A	40.14.090.J
Terrace	A	A	40.14.090.K
Gallery	A	A	40.14.090.L
Arcade	A	A	40.14.090.M

¹Allowed types further refined by building type standards.

I. Streetscape	
Replace or Infill Street Trees	Min. Trees
Addition, Renovation, or New Building	
< 1,000 sf	1
< 2,500 sf	2
> 2,500 sf	Along frontage

J. Signage		
Sign Type	Max. Signs	Standards
Yard/Porch	1 per building	40.14.110.G
Projecting	1 per business	40.14.110.H
Awning/Canopy	1 per business	40.14.110.I
Wall	1 per building	40.14.110.J
Wall Mural	1 per building	40.14.110.K
Window	1 per business	40.14.110.L
Sidewalk	1 per business	40.14.110.M
Directory	1 per building	40.14.110.N
Marquee	1 per building	40.14.110.P
Roof	1 per building	40.14.110.Q

Main Street-Large (MS-L)

40.13.130 Main Street-Large



A. Intent

A walkable, vibrant urban main street environment serving multiple neighborhoods with ground floor commercial, retail, food, entertainment, and civic uses in large footprint, high-intensity mixed-use buildings and housing choices from Main Street Buildings to Courtyard Buildings, served by public transportation.

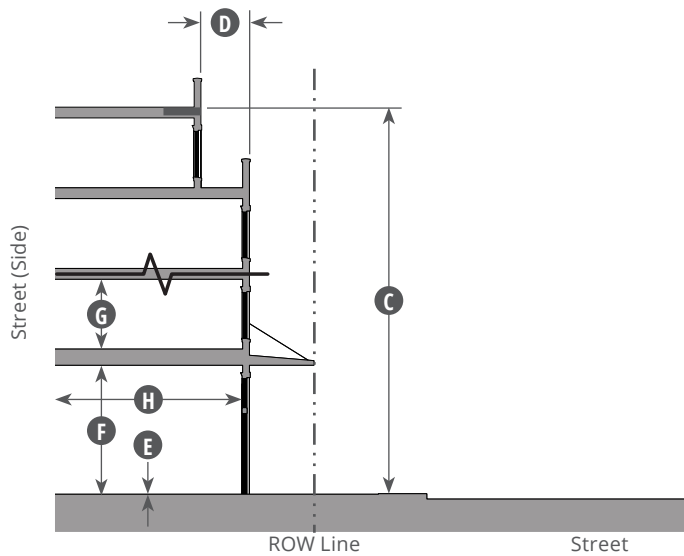
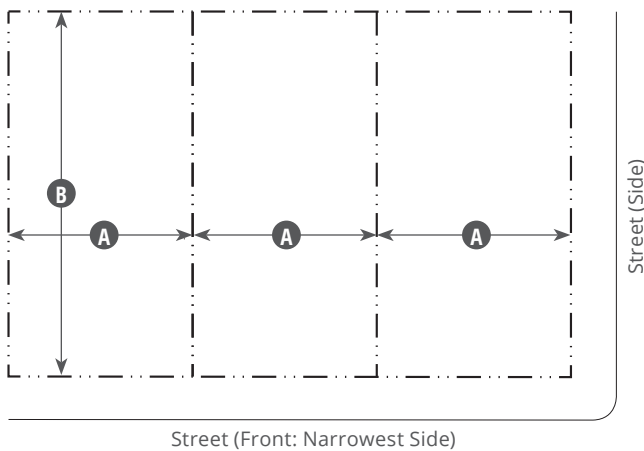
The following are generally appropriate form elements in this zone:

Medium-to-Large Building Size
 Attached Buildings
 Medium-to-Large Building Site Width
 Medium-to-Large Building Footprint
 No Front Setbacks
 No Side Setbacks
 Up to 5 Stories; Up to 7 stories, see Figure 40.13.070.A (Zoning Map).
 Min. 14' Ground Floor Ceiling Height
 Forecourts, Shopfronts, Terraces, Galleries, Arcades

B. Sub-Zone(s)

None

General note: The image above is intended to provide a brief overview of this form-based zone and is illustrative.



Key

--- ROW/ Building Site Line

Key

--- ROW Line

— HTP (Highest Top Plate)

C. Building Types			
Primary Building Type	Building Site ¹		Standards
	Width	Depth	
Courtyard	50' min.	120' min.	40.14.070.K
Main Street	20' min.; 200' max.	100' min.	40.14.070.M

Accessory Building Type			
Carriage House	N/A	N/A	40.14.070.C

¹ Sites of at least 1.5 acres are required to include civic space and new street(s) per Section 40.14.100 (Specific to Civic Spaces).

D. Building Form ¹			
Height			
Main Building			
Stories	5 stories max.	^{2,3}	
Highest Top Plate	65' max.		C
Overall	75' max.		
15' min. front and side street stepback above 4th story required; corner elements exempt.			D
Accessory Structure(s)			
Carriage House	2 stories max.	²	
Other	1 story max.		
Ground Floor Finish Level ⁴			E
Residential	12" min.	⁵	
Non-Residential	Flush with sidewalk		

D. Building Form ¹ (Continued)			
Height			
Ground Floor Ceiling	14' min.		F
Upper Floor(s) Ceiling	9' min.		G

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² See Section 40.14.070 (Specific to Building Types) for refinements to height and massing standards.

³ 7 stories max. / 75' max. Highest Top Plate / 85' max. Overall as mapped in Figure 40.13.070.A (Zoning Map).

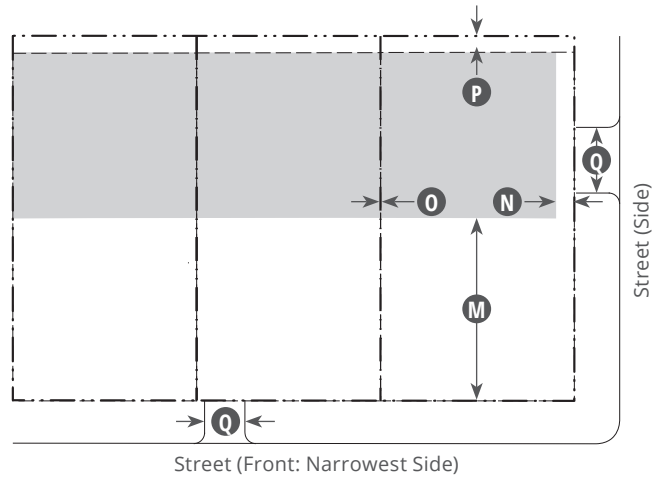
⁴ Common entries for multifamily buildings may be at grade per local and federal accessibility standards.

⁵ Required when facing a street and/or public ROW.

Footprint			
Lot Coverage	95% max.	¹	
Depth, Ground-Floor Space	40' min.		H
Accessory Structure(s)	36' x 30' max.		

¹ In compliance with stormwater management requirements.

Miscellaneous
 50' max. distance between entries to ground floor uses.
 Loading docks, overhead doors, and other service entries shall be screened and not located on front street facades.



Key	Buildable Area
- - - - ROW/ Building Site Line	Acc. Structures Only
- - - - Setback Line	Facade Zone

Key	Parking Area
- - - - ROW/ Building Site Line	
- - - - Building Setback Line	

E. Building Placement¹

Setback (Distance from ROW/Building Site Line)		
Front (Facade Zone) ²	0' min.; 10' max.	I
Side Street (Facade Zone)	0' min.; 10' max.	J
Side		
Main Building	0' min.	K
When adjacent to N-M Zone	7' min.	
Accessory Structure(s)	5' min.	
Rear		
Main Building	5' min.	L
When adjacent to N-M Zone	15' min.	
Accessory Structure(s)	5' min.	
Building within Facade Zone		
Front	90% min.	
Side Street	80% min.	

F. Parking

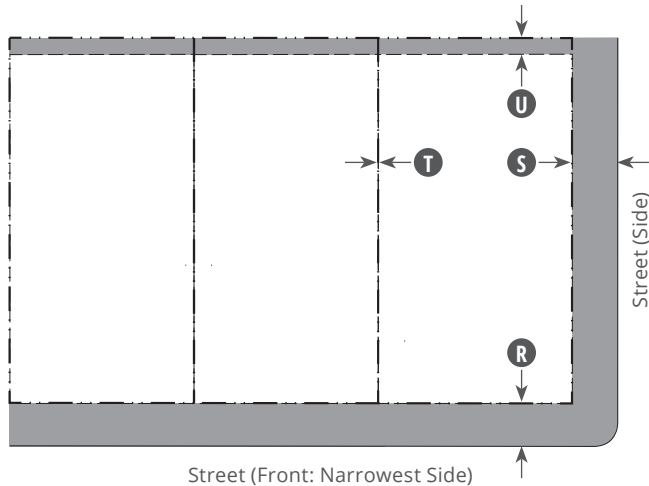
Maximum Allowed Spaces		
Residential Uses		
Studio or 1 Bedroom	0.75 per unit	
2 or More Bedrooms	1 per unit	
Non-Residential Uses		
	2.5/1,000 sf	
Setback (Distance from ROW/Building Site Line)		
Front	50' min.	M
Side Street	5' min.	N
Side	0' min.	O
Rear	5' min.	P
Miscellaneous		
Driveway Width Q		
≤ 40 spaces	10' max. with 2' wide planter	
> 40 spaces	18' max.	

¹ Lots abutting Historic Resources identified in Zoning Map are required to comply with Table 40.14.080.C (Historic Resource Adjacency Standards).

² Buildings on corner lots required to have equal architectural treatment on front and side street facades.

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

Driveway width along alley: No max.
 Driveways may be shared between adjacent parcels.
 Driveways from street shall be at least 150' apart.



Key

- - - - ROW/ Building Site Line
- █ Encroachment Area
- - - - Setback Line

G. Encroachments				
	R	S	T	U
Encroachment Type	Front	Side St.	Side	Rear
Frontage ³	10' max.	10' max.	X	X
Steps to Building Entry	3' max.	3' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Unenclosed porches, balconies, and stairs	5' max. ⁴	5' max. ⁴	X	5' max.
Signage, Awning	A	A	X	X
Landscaping	A ¹	A ¹	A ²	A ²
Fences or Freestanding Walls	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A
Satellite Dish Antennas	X	X	A	A

Encroachments at grade are not allowed within a street ROW, alley ROW or across a building site line.

¹ 3' max. height.
² 8' max. height; max. 4' when at alley and other ROW.
³ See 40.14.090 (Specific to Frontage Types) for further refinement of allowed encroachments.
⁴ Balconies only.

H. Frontages			
Private Frontage Type ¹	Front	Side St.	Standards
Forecourt	A	A	40.14.090.H
Shopfront	A	A	40.14.090.J
Terrace	A	A	40.14.090.K
Gallery	A	A	40.14.090.L
Arcade	A	A	40.14.090.M

¹ Allowed types further refined by building type standards.

I. Streetscape	
Replace or Infill Street Trees	Min. Trees
Addition, Renovation, or New Building	
< 1,000 sf	2
< 2,500 sf	3
> 2,500 sf	Along frontage

J. Signage		
Sign Type	Max. Signs	Standards
Projecting	1 per business	40.14.110.H
Awning/Canopy	1 per business	40.14.110.I
Wall	2 per building	40.14.110.J
Wall Mural	1 per building	40.14.110.K
Window	1 per business	40.14.110.L
Sidewalk	1 per business	40.14.110.M
Directory	1 per building	40.14.110.N
Changeable Copy	1 per business	40.14.110.O
Marquee	1 per building	40.14.110.P
Roof	1 per building	40.14.110.Q

40.13.140 Allowed Uses

Table 40.13.120.A (Allowed Uses) identifies the allowable uses in each zone, any additional requirements and the type of approval and/or permit required to authorize the use. Uses not listed in a zone are not allowed in that zone. In cases where a proposed use is similar in character to an allowed use in the zone, Section 40.27.090 of the Davis Zoning Code allows the Director to refer the matter to the Planning Commission for their review and determination.

Table 40.13.140.A Allowed Uses	Downtown Zones				
	N-S	N-M	N-L	MS-M	MS-L
Residential Uses¹					
Group Home	P	P	P	P	-
Home Occupation	P	P	P	P	P
Live/Work ²	-	AUP	AUP	AUP	AUP
Residential	P	P	P	P	P
Living Group	-	CUP	-	-	CUP
Rooming and Boarding House	-	P	P	P	-
Detached Accessory Dwelling Unit	P	P	-	-	-
Transitional and Supportive Housing	P	P	P	P	-
Retail and Food-Related Uses¹					
Alcohol Sales - Off Site	-	AUP	AUP	P	P
Bar/Nightclub	-	-	-	CUP	CUP
Micro-Brewery/Micro-Distillery/Winery					
≤ 5,000 sf	-	P	AUP	P	P
> 5,000 sf	-		-	p ⁶	-
Production, Artisanal	-	AUP	P	P	P

Notes

¹ All uses required to be in compliance with the frontage requirements in Section 40.14.090 (Specific to Frontage Types).

² See requirements in Section 40.14.060 (Live/Work Units).

³ Only within 50' of street corner.

⁴ Max. 2,500 sf.

⁵ If exposed to public view, stealth design required; subject to design review.

⁶ Only on building sites fronting G Street between 2nd and 5th Streets, and building sites adjacent to railroad between 3rd and 5th Streets.

Key

P Permitted **AUP** Administrative Use Permit **CUP** Conditional Use Permit

TUP Temporary Use Permit - Not Permitted

Table 40.13.140.A Allowed Uses (Continued)	Downtown Zones				
	N-S	N-M	N-L	MS-M	MS-L
Retail and Food-Related Uses¹					
Retail, General					
≤ 5,000 sf	AUP ³	P ³	P	P	P
> 5,000 sf and ≤ 10,000 sf	-	-	AUP	P	P
> 10,000 sf	-	-	-	AUP	P
Outdoor Sales and Display	-	P	-	P	P
Restaurant (may include outdoor seating)	AUP ³	P	P	P	P
w/Drive-Through Service	-	-	-	-	-
Office and Service Uses¹					
Administrative/Professional Office (Includes Dental And Optometry Office)	P	P	P	P	P
Automotive Services and Repair:					
Gasoline/Service Station	-	-	-	-	-
Limited Repair Services	-	-	-	-	-
Vehicle Washing and Detailing	-	-	-	-	-
Vehicular Repair and Painting	-	-	-	-	-
Business/Professional Service	AUP	AUP	P	P	P
w/Drive-Through Service	-	-	-	-	-
Civic/Government	-	AUP	-	AUP	AUP
Custom Light Manufacturing and Industrial Artisan					
≤ 5,000 sf	-	-	-	P	-
> 5,000 sf	-	-	-	P ⁶	-
Care Facility for the Elderly					
<7 persons	P	P	P	P	P
>7 persons	AUP	AUP	AUP	AUP	AUP

Notes

¹ All uses required to be in compliance with the frontage requirements in Section 40.14.090 (Specific to Frontage Types).
² See requirements in Section 40.14.060 (Live/Work Units).
³ Only within 50' of street corner.
⁴ Max. 2,500 sf.
⁵ If exposed to public view, stealth design required; subject to design review.
⁶ Only on building sites fronting G Street between 2nd and 5th Streets, and building sites adjacent to railroad between 3rd and 5th Streets.

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P Permitted **AUP** Administrative Use Permit **CUP** Conditional Use Permit
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Table 40.13.140.A Allowed Uses (Continued)	Downtown Zones				
	N-S	N-M	N-L	MS-M	MS-L
Office and Service Uses¹					
Day Care:					
Small House: <7 persons	P	P	P	P	P
Large House: 7 to 12 persons	AUP	AUP	AUP	AUP	AUP
Lodging:					
Bed and Breakfast	AUP	AUP	-	P	P
Hotel/Motel	-	AUP	AUP	P	P
Hospital	-	-	-	-	-
Medical Services	-	AUP	-	AUP	AUP
Personal Services	P	P	P	P	P
Veterinary Clinic/Boarding	-	AUP	-	AUP	AUP
Recreation, Education, and Assembly Uses¹					
Community/Religious Assembly	-	CUP	-	CUP	CUP
Health/Fitness Facility:					
≤ 5,000 sf	-	AUP	-	AUP	AUP
> 5,000 sf	-	-	-	-	AUP
Library, Museum, Public Art Gallery	-	P	-	P	P
Meeting Facility (public or private)	-	P	-	AUP	AUP
Park/Playground	P	P	P	P	P
Recreation, Indoor/Outdoor	-	AUP	-	AUP	AUP
School, College, University (public or private)	-	P	-	AUP	P
Studio; Art, Dance, Music, etc.	P ⁴	P ⁴	P	P	P
Theater, Cinema, Performing Arts	-	AUP	-	P	P

Notes

¹ All uses required to be in compliance with the frontage requirements in Section 40.14.090 (Specific to Frontage Types).

² See requirements in Section 40.14.060 (Live/Work Units).

³ Only within 50' of street corner.

⁴ Max. 2,500 sf.

⁵ If exposed to public view, stealth design required; subject to design review.

⁶ Only on building sites fronting G Street between 2nd and 5th Streets, and building sites adjacent to railroad between 3rd and 5th Streets.

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Table 40.13.140.A Allowed Uses (Continued)	Downtown Zones				
	N-S	N-M	N-L	MS-M	MS-L
Other Uses¹					
Broadcasting Facilities	-	-	-	AUP ⁶	AUP ⁶
Emergency Shelter	-	CUP	-	-	-
Parking Facility	-	-	AUP	P	P
Public Services/Facilities	-	P	P	AUP	AUP
Fire Station	-	P	-	-	-
Research and Development/Laboratory					
≤ 10,000 sf	-	CUP	AUP	P	AUP
> 10,000 sf				P ⁶	AUP ⁶
Telecommunication Facilities	-	-	-	AUP ⁵	AUP ⁵
Temporary Uses	TUP	TUP	TUP	TUP	TUP
Agricultural Land Uses¹					
Urban Agriculture	AUP	AUP	AUP	AUP	-

Notes

- ¹ All uses required to be in compliance with the frontage requirements in Section 40.14.090 (Specific to Frontage Types).
- ² See requirements in Section 40.14.060 (Live/Work Units).
- ³ Only within 50' of street corner.
- ⁴ Max. 2,500 sf.
- ⁵ If exposed to public view, stealth design required; subject to design review.
- ⁶ Only on building sites fronting G Street between 2nd and 5th Streets, and building sites adjacent to railroad between 3rd and 5th Streets.

Key

P Permitted **AUP** Administrative Use Permit **CUP** Conditional Use Permit
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Article 40.14: Supplemental to Downtown Zones

Sections:

40.14.010	Purpose and Applicability
40.14.020	Site Standards
40.14.030	Screening
40.14.040	Landscaping
40.14.050	Parking and Loading
40.14.060	Live/Work Units
40.14.070	Specific to Building Types
40.14.080	Specific to Massing, Facades and Architectural Elements
40.14.090	Specific to Frontage Types
40.14.100	Specific to Civic Spaces
40.14.110	Specific to Sign Types

40.14.010 Purpose and Applicability

This Article sets forth the standards for the development of each building type, frontage type, civic space type, and sign type within Downtown Zones. These standards supplement the standards for each zone in which the building, frontage, civic space, and sign types are allowed. These standards are intended to ensure development that establishes and/or reinforces the highly-valued character and scale of Davis' walkable urban center, neighborhoods, and corridors.

A. Applicability.

1. The standards in this Article apply to all proposed development within Downtown Zones and shall be considered in combination with the standards for the applicable zone.
2. Development with Education, Public Assembly, Transportation, Communications and/or Infrastructure uses shall comply with the standards of the zone, but is not required to meet the standards of Section 40.14.070 (Specific to Building Types).

40.14.020 Site Standards

- A. **Purpose.** The provisions of this Section are intended to ensure the development of property within Downtown Zones accomplishes the following:
 1. Makes a positive contribution to the development pattern of the area;
 2. Ensures that new or altered structures are compatible with the design and use of existing structures on neighboring properties;
 3. Respects the existing conditions and safety of neighboring properties; and
 4. Does not adversely affect neighboring properties, with "adversely affect" meaning to impact in a substantial, negative manner the habitability or enjoyability of these properties.
- B. **Allowable Exceptions in Downtown Zones.** The exceptions listed in Table 40.14.020.A (Downtown Zone Exceptions) shall be allowed without additional discretionary review if the requested exception meets the required findings.

Table 40.14.020.A: Downtown Zone Exceptions		
Types of Exceptions Allowed	Required Findings	Exception
Building Site		
Building Site Dimensions. A decrease in the minimum required or maximum allowed depth or width.	The exception accommodates an existing feature such as a tree, or utility. An existing or new building site can be developed following the intent of the zone and meet all other applicable standards for the zone.	Up to 10%
Building Setbacks		
Front, Side Street, Side or Rear. An increase or decrease of the minimum to maximum required setback areas for main structures.	The exception accommodates an existing feature such as a tree, or utility. The proposed development is visually compatible with the adjacent development and intent of the zone.	Up to 5' or 40% which ever is greater.
Facade within Facade Zone. A reduction of the amount of facade required within the facade zone.	The exception accommodates an existing feature such as a tree, or utility. The proposed development is visually compatible with the adjacent development and intent of the zone.	Up to 30% for up to half of the facade's length.

Table 40.14.020.A: Downtown Zone Exceptions (Continued)		
Types of Exceptions Allowed	Required Findings	Exception
Building Footprint		
Size of Main Body or Wing(s). An increase in the allowed size.	The exception accommodates an existing feature such as a tree, or utility. The proposed development is visually compatible with the adjacent development and intent of the zone.	Up to 20%
Parking Location¹		
Front setback. A reduction in the parking setback.	The exception accommodates an existing feature such as a tree, or utility. Parking shall not be visible from the front property line. The ground floor space shall remain habitable.	Up to 20%

¹Frontage requirement still apply.

40.14.030 Screening

- A. **Purpose.** This Section prescribes standards for screening, fences, and walls for the conservation and protection of property, the assurance of safety and security, the enhancement of privacy, the attenuation of noise, and the improvement of the visual environment of the neighborhood.
- B. **Design Standards for Screening.** Screening shall comply with the following:
1. **Zone Height Maximums.** Screening shall not exceed the maximums identified in Subsection G (Encroachments) of the applicable zone.
 2. **Screening Height Measurement.** Screening height shall be measured as the vertical distance between the finished grade at the base of the screen and the top edge of the screen material.
- C. **Reduction of Required Screening or Screening Design Standards.** The Director may completely or partially waive required screening and associated standards in cases where the Director deems the relief necessary to maintain or enhance the architectural character of the surrounding neighborhood.

- D. **Additional Screening Requiring Administrative Permit.** The following screening types shall comply with the specified requirements and shall require Director approval prior to issuance of a building or landscape permit, as applicable.
1. **Courtyard.** Fences, walls and other screening installed to create a courtyard without a roof shall be a maximum of five feet in height and be set back a minimum of ten feet from the front property line or back of sidewalk, whichever is the least. In reviewing the plan for the proposed courtyard, the Director shall consider, but not be limited to, the following:
 - a. Building characteristics including the dimensions, color and architectural design;
 - b. Compatibility of the architectural and design features of the proposed courtyard with the features of the adjoining, as well as neighboring buildings; and
 - c. Landscaping, including the effort to minimize removal of existing vegetation and to match replacements with vegetation of the site.
- E. **Screening on Retaining Walls.** The total height of screens and the retaining walls that they are mounted on or attached to is six feet. However, the Director may approve higher screening if it is determined that there will be little or no impact on the adjoining properties or the surrounding neighborhood and the height is necessary to achieve the objectives of this Section or is required for health and safety.
- F. **Mechanical Equipment Screening.**
1. Mechanical equipment exempt from screening:
 - a. Free-standing or roof-mounted solar equipment; and
 - b. Vents less than four feet in height may be exempt from the requirements in this Subsection F (Screening on Retaining Walls) subject to Director review.
 2. For all new installation or relocation of existing mechanical equipment, the equipment shall be screened.
 - a. **Roof-mounted equipment.** Building parapets or other architectural elements in the building's architecture style shall screen roof-mounted equipment.
 - (i) New buildings shall be designed to provide a parapet or other architectural element that is as tall or taller than the highest point on any new mechanical equipment to be located on the roof of the building; and
 - (ii) For existing buildings with no or low parapet heights, mechanical equipment shall be surrounded on all sides by an opaque screen wall as tall as the highest point of the equipment. The wall shall be architecturally consistent with the building and match the existing building with paint, finish, and trim cap detail. All new roof screens are subject to administrative review and may be referred to the Planning Commission, as determined by the Director.

- b. **Wall- and ground-mounted equipment:**
 - (i) Shall not be located between the face of the building and the street;
 - (ii) All screen devices shall be as high as the highest point of the equipment being screened. Equipment and screening shall be in compliance with the setbacks of the zone;
 - (iii) Screening shall be architecturally compatible and include matching paint, finish and trim cap of the building; and
 - (iv) All new mechanical screens for ground or wall-mounted equipment are subject to Director review.
- G. **Temporary Fencing.** Temporary fencing may be used to provide security for approved special events, construction sites, or vacant structures and land, which cannot otherwise be secured. All temporary fencing shall:
 - 1. Consist of chain link fencing or other materials as approved by the Director;
 - 2. Not exceed six feet in height;
 - 3. Be removed at the conclusion of the special event or completion of construction activities (i.e., final inspection) for which it was approved; and
 - 4. All approved fencing for construction sites shall not be installed until a building permit or grading permit has been issued and shall be removed prior to final inspection. The use of temporary fencing around occupied structures that can be secured by other means is prohibited. The use of temporary fencing around vacant land or vacant structures is subject to the terms and conditions specified in an administrative permit authorizing this fencing.
- H. **Barbed Wire, Razor Wire, and Chain Link.** Barbed Wire, Razor Wire, and Chain Link screening is not allowed.
- I. **Safety.** Fences, walls, other screening and landscaping, whether provided in accordance with the provisions of this Section or provided in addition to those provisions, are subject to review by the traffic engineer in the following areas:
 - 1. Within ten feet of the point of intersection of:
 - a. A vehicular access way or driveway and a street; or
 - b. A vehicular access way or driveway and a sidewalk;
 - 2. Within 20 feet of the point of intersection of two or more vehicular access ways, including driveways, alleys, or streets.
 - 3. As used in this Section, "point of intersection" is measured from the face of curb or if none, from the edge of pavement.

40.14.040 Landscaping

- A. **Purpose.** This Section prescribes landscaping standards for protection and enhancement of the environmental and visual quality of the community, enhancement of privacy, and the control of dust.
- B. **Required Landscaping.** The landscaping required by this Section shall be installed as part of the project or improvement requiring the landscaping. Requirements for landscaping in parking and loading areas shall be considered with Section 40.14.050 (Parking and Loading).
- C. **Landscape Plan Requirement.** Landscaping Plans are required for development in all zones. A Landscape Design Plan shall be submitted for projects requiring a landscape permit, plan check or site development plan review.
- D. **Design Standards.**
 - 1. Acceptable required landscaping materials are defined as follows:
 - a. Shrubs, of one-gallon size or larger;
 - b. Street trees, of 15-gallon size or larger, and double-staked;
 - c. Ground cover; and
 - d. Decorative nonliving landscaping materials such as sand, stone, gravel, wood or water may be used to satisfy a maximum of 25 percent of required landscaping area when approved by the Director.
 - 2. **Species Selection.** Native and drought tolerant species are encouraged to increase native plants and pollinator species.
 - 3. **Separation.** Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches higher than the adjacent vehicular area.
 - 4. **Existing Vegetation.** Every effort shall be made to incorporate mature on-site trees into the required landscaping, subject to approval by the Director.
 - 5. **Maintenance.** Required landscaping shall be maintained in a neat, clean and healthy condition. This shall include pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the appropriate watering of all planting.

40.14.050 Parking and Loading

- A. **Purpose.** This Section prescribes standards for and limits on the development of motor vehicle and bicycle parking, loading and access drives; and standards for reducing motor vehicle trips per capita to and from development. These standards are intended to ensure that development of property within Downtown Zones accomplishes the following:
1. Establishes and/or reinforces the character and scale of Downtown Davis as a walkable, urban neighborhood environment, where development supports and is within a short walking distance of retail and services;
 2. Ensures the provision of appropriately designed bicycle parking, in order to increase bicycle trips and reduce motor vehicle trips per capita;
 3. Appropriately limits, screens and landscapes motor vehicle parking, in order to reduce motor vehicle trips per capita, protect and enhance the environmental and visual quality of the community, enhance privacy, attenuate noise, and control dust; and
 4. Reduces motor vehicle trips per capita to and from development.
- B. On-site parking is allowed in all zones subject to the standards set forth in this Section.
- C. **General Parking Standards.**
1. **On-Site Parking.** Sharing of parking between different land uses and developments is allowed. Standards set forth elsewhere in the Municipal Code which limit or restrict the sharing of parking between different land uses and developments shall not apply to development in Downtown Zones.
 2. **Sharing of Non-Residential Parking Required.** If on-site parking spaces for non-residential uses are provided, such spaces shall be made available for use by the general public during at least one of the following time periods:
 - a. Monday through Friday, 8 AM to 5 PM; or
 - b. Monday through Friday, 5 PM to 11 PM and all day on Saturdays and Sundays.Owners and operators of these shared parking spaces may charge a fee for use of these spaces.
 3. **Larger Vehicle Parking.**
 - a. Trucks, tractors or tractor-trailers having a capacity of more than a one-and-one-half-ton load, front- and rear-end loaders, or any kind of commercial, industrial, agricultural or transportation vehicles/equipment used primarily for business purposes, shall not be parked or stored in the N-S, N-M, N-L, and MS-M zones for purposes other than unloading, loading or delivery services.
 - b. Automobiles, small trucks, vans, vehicle trailers permitted in conjunction with an approved home occupation (one per home occupation), and recreational vehicles, utilized for personal or business use, are excluded from the provisions of this Subsection.

- 4. **Storage of Unregistered or Inoperable Motor Vehicles.** Automotive vehicles, trailers, or vehicles of any kind or type, requiring licenses, but without current plates or inoperable, shall be only parked within completely enclosed buildings.
- 5. **Cargo or Freight Container.** Portable cargo or freight storage containers in any zone for purposes of loading or unloading, may be parked or stored on-premise for a period not to exceed 10 days in any one calendar year.
- 6. **Commercial Auto Repairs.** New businesses offering commercial repair service and/or restoration of vehicles are not allowed.

D. Number of Motor Vehicle Parking Spaces Allowed.

- 1. **Allowed Spaces.** The maximum number of parking spaces allowed is listed in Subsection F (Parking) of the applicable zone. For any use not listed in that section, parking shall not exceed a ratio equivalent to the average peak parking occupancy rate for the most comparable land use in the Institute of Transportation Engineers *Parking Generation* report. The Community Development Department shall determine the most comparable land use.
- 2. **Maximum Number of Parking Spaces in Downtown Zones.** When calculating the maximum number of parking spaces, numbers shall be rounded to the closest whole number.
- 3. **Exception In the Event of Changes of Use or Alterations to Existing Buildings or Structures.** If an existing building or structure is altered or existing land uses are changed, the existing number of parking spaces on a property may be retained, even if the resulting building, structure or land use would ordinarily be subject to a lower maximum parking allowance.
- 4. **No Minimum Requirement.** There is no requirement for a minimum number of automobile parking spaces at any land use.

E. **Electric Vehicle Charging.** If parking is provided at a development, electric vehicle charging facilities shall be provided in compliance with the requirements of the City of Davis Electric Vehicle Charging Facilities Plan.

F. Traffic-Minimizing Parking Standards.

- 1. **Carshare Parking Spaces.**
 - a. If parking is provided at a development, carshare parking spaces shall be provided in the amounts specified in Table 40.14.050.A (Required Carshare Parking Spaces).

Table 40.14.050.A: Required Carshare Parking Spaces	
Land Use	Carshare Parking Spaces Required
Residential	
0-49 units	None
50-100 units	1
101 or more units	2 + 1 per additional 200 units
Office/Research & Development	
≤ 10,000 sf	None
> 10,000 sf	1/10,000 sf

- b. The required carshare spaces shall be made available, at no cost, to a carshare service for purposes of providing carshare services to its members. At the election of the property owner, the carshare spaces may be provided
 - (1) On the building site; or
 - (2) On another off-street site within 800 feet of the building site.
 - c. Required carshare space or spaces shall be designed in a manner that will make the spaces accessible to non-resident subscribers from outside the building as well as building residents.
 - d. Prior to City approval of the first building or site permit for a building subject to the carshare requirement, a Notice of Special Restriction on the property shall be recorded indicating the nature of requirements of this Section and identifying the minimum number and location of the required carshare parking spaces. The form of the notice and the location or locations of the carshare parking spaces shall be approved by the City.
 - e. If it is demonstrated to the satisfaction of the City that no carshare service can make use of the dedicated carshare parking spaces, the spaces may be occupied by non-carshare vehicles; provided, however, that upon ninety (90) days of advance written notice to the property owner from a carshare service, the property owner shall terminate any non-carsharing leases for such spaces and shall make the spaces available to the carshare service for its use of such spaces.
2. **Carpool Spaces.** If parking is provided at a development, parking spaces reserved for use by carpool/vanpool vehicles shall be designated in preferred locations (such as closest to building entries). The locations of these spaces shall be approved by the City. The minimum number of carpool spaces required is listed in Table 40.14.050.B (Required Carpool Parking Spaces).

Table 40.14.050.B: Required Carpool Parking Spaces

Land Use	Carpool Parking Spaces Required
Office/Research & Development	
≤ 10 parking spaces	None
> 10 parking spaces	10% of the total number of spaces
All other land uses	None

3. **Parking Costs Unbundled from the Cost of Other Goods and Services.**
- a. **Residential Uses.** All off-street parking spaces accessory to residential uses in structures of four dwellings or more shall be leased or sold separately from the rental or purchase fees for dwellings for the life of the dwellings, such that potential renters or buyers have the option of renting or buying a residential unit at a price lower than would be the case if there were a single price for both the residential unit and the parking space. Renters or buyers of on-site inclusionary affordable units shall have an equal opportunity to rent or buy a parking space on the same terms and conditions as offered to renters or buyers of other dwellings.

- b. **Exception.** The Director may grant an exception from this requirement for developments which include financing for affordable housing that requires that costs for parking and housing be bundled together.
 - c. **Non-Residential Uses.** All off-street parking spaces accessory to non-residential uses shall be leased or sold separately from the rental or purchase fees for non-residential building space for the life of the building, such that potential renters or buyers have the option of renting or buying building space at a price lower than would be the case if there were a single price for both the building space and the parking space.
 - d. **Below-Cost Pricing Prohibited.** Where parking is required to be leased or sold separately, below-cost pricing is prohibited. Minimum rates for parking spaces shall be set initially at not less than the equivalent of \$300 per month per space for rented spaces and not less than \$50,000 per space for sold spaces. Thereafter, the City may annually review and adjust these rates to achieve the goal of ensuring that parking spaces are not rented or sold at below-cost prices. The City may also approve daily and/or hourly rental rates equivalent to the minimum monthly rate.
 - e. **Exception.** Off-street parking spaces accessory to retail uses are not required to be leased or sold separately from retail space and may be offered to shoppers and other visitors free of charge for stays of up to two hours.
4. **Parking Cash Out Required.** Each employer who provides a parking subsidy to employees working within the Downtown Code boundaries shall offer a parking cash-out program. "Employee" means any person, including regular employees, contract employees and contractors, who regularly works within the Downtown Code boundaries. "Parking cash-out program" means an employer-funded program under which an employer offers to provide a cash allowance to an employee equivalent to the parking subsidy that the employer would otherwise pay to provide the employee with a parking space. "Parking subsidy" means the difference between the out-of-pocket amount paid by an employer on a regular basis to secure the availability of an employee parking space not owned by the employer and the price, if any, charged to an employee for use of that space.

G. Parking Spaces, Building Site Design and Layout.

- 1. **Access.** The following standards are applicable to on-site parking lot access design:
 - a. All on-site parking facilities shall be designed with an appropriate means of vehicular access to a thoroughfare or to an alley to cause the least interference with traffic flow.
 - b. Parking spaces in any parking lot or parking structure shall not be designed or located so as to permit a vehicle to enter or exit a parking space directly from a public thoroughfare. Ingress to and egress from parking spaces shall be from an on-site aisle or driveway, except parking spaces within building sites may be designed or located so as to permit a vehicle to enter or exit a parking space directly from a public alley or rear lane.
 - c. On-site loading space(s) is not required.

2. **Driveways.**
 - a. **Access to Driveways.**
 - (i) **Developments of Two or Fewer Dwelling Units.** Access to and from driveways onto public thoroughfares shall be where practical by forward motion of the vehicle.
 - (ii) **All Other Developments.** Access to and from driveways onto public thoroughfares shall be by forward motion of the vehicle.
 - b. Driveways shall extend to and include the area between the building site line and the edge of the street pavement.
 - c. The design and construction of all on-site parking access drives shall meet City Standards.
3. **Identified as to Purpose and Location.** On-site parking areas of four or more spaces shall include painted lines, wheel stops, or other methods of identifying individual parking spaces and loading areas, while distinguishing such spaces from aisle and other circulation features.
4. **Materials.**
 - a. All on-site parking areas and driveways shall be surfaced with materials as approved by the City Engineer and maintained in compliance with the City Standards.
 - b. The use of pervious or semi-pervious parking area surfacing materials, including, but not limited to "grasscrete," or recycled materials such as glass, rubber, used asphalt, brick, block and concrete, is subject to approval by the Director and City Engineer. Where possible, such materials should be used in areas in proximity to and in combination with on-site stormwater control devices.

5. **Landscaping, Fencing, and Screening.** The landscaping, fencing and screening requirements identified in Table 40.14.050.D (Required Parking Lot Landscaping) shall be applied with the standards of Sections 40.14.030 (Screening), 40.14.040 (Landscaping) and Article 40.42 (Water Efficient Landscaping).

Table 40.14.050.D: Required Parking Lot Landscaping

Number of Parking Spaces	Percent of Gross Parking Area Required to be Landscaped
6 or fewer	0%; 5' min. wide planter between every 5 spaces, property line, building(s).
7 to 15	4%; 5' min. wide planter between every 5 spaces, property line, building(s).
16 to 30	8%; 5' min. wide planter between every 5 spaces, property line, building(s).
31 to 70	12%; 5' min. wide planter between every 5 spaces, property line, building(s).
71 and over	16%; 5' min. wide planter between every 5 spaces, property line, building(s).

Required Shade Trees	
Amount	1 tree per 2,700 sf of gross site area acre, minus building coverage (footprint).
Can size	15 gallon
Box size	20% must be 24" min.
Caliper	1" min.
Height at installation	6-8' min.
Required Shade	50% of parking lot. See 40.25.100.F
Characteristics	High branching, broad headed, shading form.
Location	Evenly spaced throughout the parking lot to provide uniform shade.
Required border	6" high curb or equivalent.
Border and stormwater	Curbs shall provide breaks every 4" to provide drainage to retention and filtration areas.
Tree well size ¹	5' min. in any direction.
Car overhangs	Must be prevented by stops.

¹ Any vehicle overhang requires the minimum planter area width to be expanded by an equivalent dimension.

- a. Parking and loading areas shall be screened from adjacent residential zones by a 6' wall, fence, or evergreen, subject to approval by the Director.
- b. Screening is not required when parking area(s) is adjacent to an alley.
- c. Landscaping areas shall accommodate stormwater management features to the extent feasible as determined by the City.
- d. For the portion of a parking area over which photo-voltaic solar collectors are installed where they also function as shade structures, the minimum requirement for trees shall be waived, and shrubs and ground covers shall be planted in compliance with Article 40.42 (Water Efficient Landscaping) for every eight parking spaces.

6. **Location.**

- a. Location of required on-site parking in all zones is regulated by setbacks set forth in Article 40.13 (Downtown Zones) and the following:
- (i) Parking lots with 20 or fewer spaces shall have all on-site parking areas separated at least five feet from buildings in order to provide a sidewalk between the building and parking area;
 - (ii) Parking lots with more than 20 spaces shall have all on-site parking areas separated at least 10 feet from buildings in order to make room for a sidewalk, landscaping, and other planting between the building and the parking area; and
 - (iii) This separation may be eliminated to the rear of buildings in areas designed for unloading and loading of materials.

7. **Size of Parking Lot.** Parking lots larger than one-quarter of an acre in size shall be broken down into smaller parking areas with planted landscape areas with a minimum width of 15 feet between them to minimize the perceived scale of the total field of stalls.

8. **Tandem Parking.** Tandem parking is allowed in all zones for all uses.

H. **Bicycle Parking Requirements.**

- 1. **Applicability.** Bicycle parking requirements apply in all zones.
- 2. **Number of Bicycle Parking Spaces and Standards.** Bicycle parking shall be provided in compliance with the requirements of the Municipal Code, Article 40.25.A (Bicycle Parking Standards).

I. **Transit Passes for Employees and Residents.**

- 1. **Free transit for employees and residents.** Developments shall be required to provide passes for local transit service to the development's employees and residents free of charge. This requirement may be satisfied by enrolling the development in a deep-discount group pass program. Each employee shall be provided with a transit pass, and a minimum of one transit pass per dwelling shall be provided.

J. **Commercial Transportation Demand Management (TDM) Standards.**

1. **TDM Plan Required.** Developments shall be required to prepare and implement a TDM Plan with programs and measures designed to achieve a 50 percent drive-alone employee mode share target. TDM Plans shall comply with the following requirements:
 - a. **TDM Plan Baseline Requirements.** The TDM plan shall include the following measures and shall describe how these measures will be implemented. If any of the measures listed below are provided by a Transportation Management Association (TMA) such as Yolo Commute (the region's TMA) or a similar organization, then those measures may be implemented by ensuring that the development's occupants are enrolled as members in the TMA or similar organization:
 - (i) Employers and employees in the development shall be enrolled as members in a TMA, such as Yolo Commute;
 - (ii) On-site employee transportation coordinator to serve as a liaison between the employer/property owner and the TMA and to oversee the TDM program;
 - (iii) Shared bicycles, if a bikeshare service is not available in the Plan Area;
 - (iv) Telecommute/flexible work schedule program, when feasible;
 - (v) Guaranteed ride home program;
 - (vi) Occupants of the development shall be enrolled as members in a TMA, such as Yolo Commute;
 - (vii) Carpool matching services; and
 - (viii) Marketing of TDM programs to employees.
 - b. **Approval of TDM Plan.** The applicant shall submit the TDM plan to the City for approval. The City may request additional program measures to ensure the proposed plan will achieve the 50 percent drive-alone employee mode share target. The City may require that an applicant hire a third party to review the TDM plan to determine its efficacy in achieving the mode share requirement.
 - (1) The City may allow applicants to provide funding for district-wide programs as part of the TDM plan if it is not possible to achieve the 50 percent employee drive-alone target through a site-specific TDM Plan.
 - c. **Employee Transportation Coordinator.** The applicant shall designate an Employee Transportation Coordinator (ETC). The ETC will serve as the point of contact for the TMA and will provide the TMA and City with materials and data showing compliance with TDM and monitoring requirements.

40.14.060 Live/Work Units

- A. **Purpose.** This Section provides standards for the construction and operation of live/work units and for the reuse of existing buildings to accommodate live/work opportunities where allowed in the zone.
- B. **Permit Required.** See Table 40.13.140.A (Allowed Uses) for permit required for live/work units.
- C. **Allowed Zones.** Live/work is allowed in existing or new buildings as allowed by the zone.
- D. **Application Requirements.** In addition to the information and materials required for an Administrative Use Permit, the City may require an application for a live/work unit to include a Phase I Environmental Assessment for the site, including an expanded site investigation to determine whether lead based paint and asbestos hazards are present in an existing structure proposed for conversion to live/work. The purpose of this requirement is to assess whether there are any hazardous or toxic materials on the site that could pose a health risk to the residents. If the Phase I Environmental Assessment shows potential health risks, a Phase 2 Environmental Assessments shall be prepared and submitted to the Department to determine if re-remediation may be required.
- E. **Limitation on Use.** The nonresidential ("work") component of a live/work unit shall be a use allowed within the zone. A live/work unit shall not be established or used in conjunction with any of the following activities:
 - 1. Adult-oriented businesses;
 - 2. Vehicle maintenance or repair (such as body or mechanical work, including boats and recreational vehicles, vehicle detailing and painting, upholstery, etc.);
 - 3. Storage of flammable liquids or hazardous materials beyond that normally associated with a residential use; and
 - 4. Any other activity or use, as determined by the Director to not be compatible with residential activities and/or to have possibility of affecting the health or safety of live/work unit residents, because of the potential for the use to create dust, glare, heat, noise, noxious gasses, odor, smoke, traffic, vibration, or other impacts, or would be hazardous because of materials, processes, products, or wastes.
- F. **Occupancy Requirements.** The residential ("live") component of a live/work unit shall be the principal residence of at least one individual employed in the business conducted within the live/work unit.

G. Operating Requirements.

1. **Sale or Rental of Portions of Unit.** No portion of a live/work unit may be separately rented or sold as a commercial or industrial space for any person not living in the premises or as a residential space for any person not working in the same unit.
2. **Notice to Occupants.** The owner or developer of any structure containing live/work units shall provide written notice to all live/work occupants and users that the surrounding area may be subject to levels of dust, fumes, noise, or other effects associated with commercial and industrial uses at higher levels than would be expected in more typical residential areas. State and Federal health regulations notwithstanding, noise and other standards shall be those applicable to commercial and industrial properties in the applicable zone.
3. **On-Premises Sales.** On-premises sales of goods are limited to those produced within the live/work unit; provided, that retail sales activity shall be incidental to the primary production work within the unit. Open studio programs and gallery shows may be included as allowed by the zone.
4. **Nonresident Employees.** Up to two persons who do not reside in the live/work unit may work in the unit, unless this employment is otherwise prohibited or limited by the Minor Use Permit. The employment of three or more persons who do not reside in the live/work unit may be allowed based on an additional finding that the employment will not adversely affect parking and traffic conditions in the immediate vicinity of the unit. The employment of any persons who do not reside in the live/work unit shall comply with all applicable Uniform Building Code (UBC) and Uniform Fire Code (UFC) requirements.
5. **Client and Customer Visits.** Client and customer visits to live/work units are allowed subject to any applicable conditions of the Administrative Use Permit to ensure compatibility with adjacent commercial or industrial uses, or adjacent residentially-zoned areas.

- H. **Changes in Use.** A live/work unit shall not be converted to either entirely residential use or entirely business use unless approved by the City. No live/work unit shall be changed to exclusively residential use in any structure where residential use is not allowed.

I. **Additional Standards.**

1. **Main Street Medium and Main Street Large Zones.** In commercial live/work occupancies, the "work" component shall be located in the front or public portion of the building or unit in which the combined use is located.
2. **Floor Area Requirements.** The floor area of each unit's work space shall be at least 30 percent of the total floor area of the unit.
3. **Separation and Access.** Each live/work unit shall be separated from other live/work units or other uses in the building. Access to each live/work unit shall be provided from a public street, or common access area, corridors, or halls. The access to each unit shall be clearly separated from other live/work units or other uses within the structure.
4. **Facilities for Commercial or Industrial Activities.** A live/work unit shall be designed to accommodate commercial or industrial uses as evidenced by the provision of flooring, interior storage, ventilation, and other physical improvements of the type commonly found in exclusively commercial or industrial facilities used for the same work activity.
5. **Integration of Living and Working Space.** Areas within a live/work unit that are designated as living spaces shall be integral to the live/work unit. The living space of a live/work unit shall be accessed only by means of an interior connection from the work space, and shall have no exterior access except as required by the Building Code.
6. **Mixed-Occupancy Buildings.** If a building contains mixed occupancies of live/work units and other nonresidential uses, occupancies other than live/work shall meet all applicable requirements for those uses, and proper occupancy separations shall be provided between the live/work units and other occupancies, as determined by the Building Official.

40.14.070 Specific to Building Types

A. Overview.

1. Building Types are important for providing affordable housing opportunities and incubating small businesses as amenities within walkable neighborhoods.
2. This Section sets forth standards for the development of each building type. Table 40.14.070.A (Overview of Building Types) provides an overview of the allowed building types. The names of the building types are not intended to limit uses within a building type. For example, a detached house may have non-residential uses within it, such as a restaurant or office, as allowed by the zone.
3. Building types are categorized into two groups: house-form buildings and block-form buildings. House-form buildings are those that are the size of a house, typically ranging in footprint from as small as 25 feet up to 80 feet overall. Block-form buildings are individually as large as most or all of a block or, when arranged together along a street, appear as long as most or all of a block.
4. The building site size standards for each building type are set in the Downtown Zones, see Sections 40.13.090 through 40.13.130 to generate pedestrian-oriented buildings. The building site size designates the range of building site sizes on which the given building type is allowed to be built. If the subject building site is smaller than the allowed building site size, a different building type must be selected.
5. Each building site shall have only one primary building type, except as follows:
 - a. Where allowed by the zone and as allowed in Section 40.14.070.C (Carriage House), one Carriage House is allowed in addition to the primary building type;
 - b. The Cottage Court may consist of up to nine individual Cottages;
 - c. The Courtyard Type may consist of up to three individual structures; and
 - d. More than one building type is allowed on a parcel that identifies proposed multiple building site lines that meet the requirements of this Article. See Figure 40.14.070.A (Example of Multiple Building Sites on an Existing Parcel).

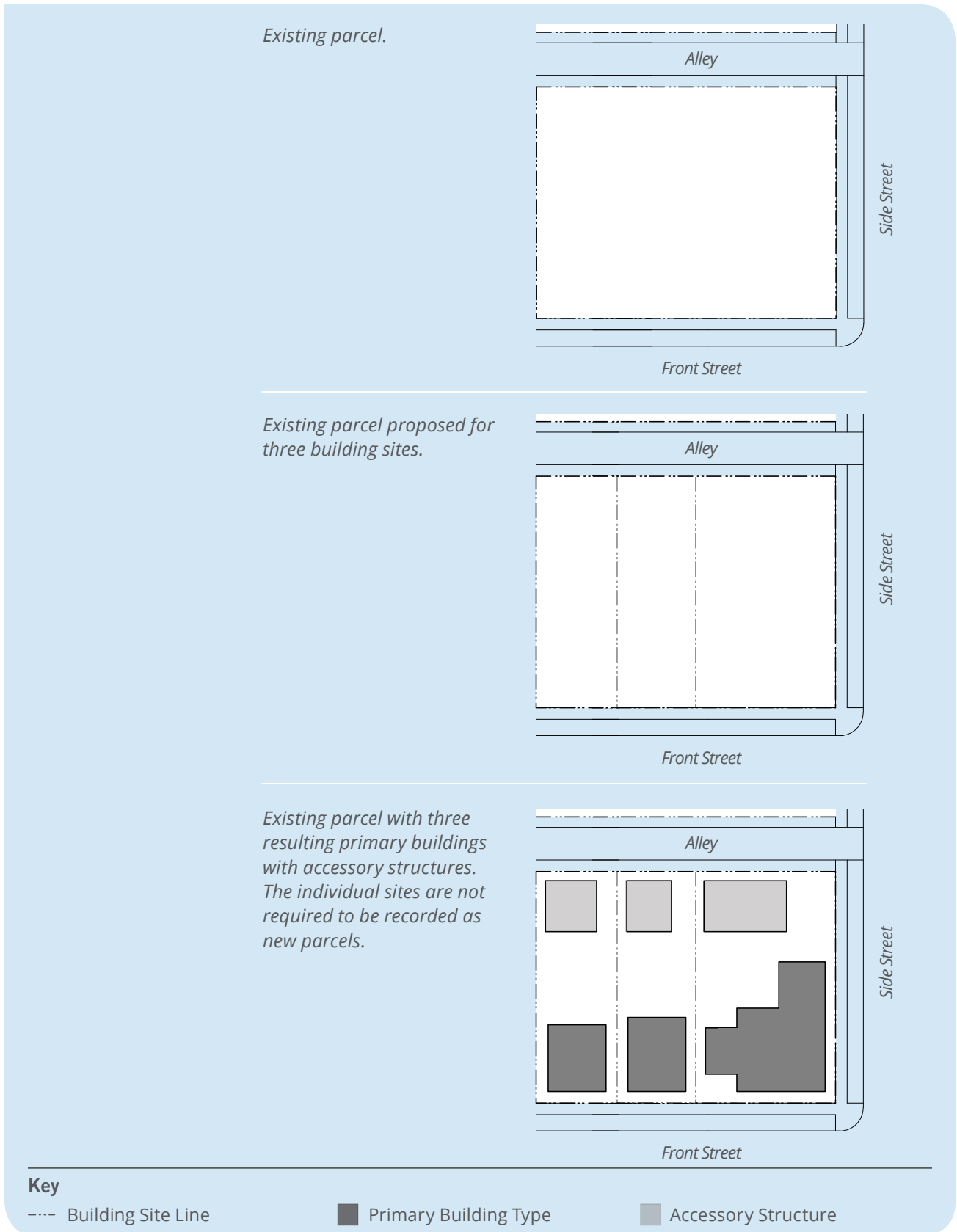





Figure 40.14.070.A: Example of Multiple Building Sites on an Existing Parcel.



Table 40.14.070.A: Overview of Building Types																					
Zones	<table border="1"> <tr> <td>N-S</td> <td>N-M</td> <td>N-L</td> </tr> <tr> <td>MS-M</td> <td>MS-L</td> <td></td> </tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr> <td>N-S</td> <td>N-M</td> <td>N-L</td> </tr> <tr> <td>MS-M</td> <td>MS-L</td> <td></td> </tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr> <td>N-S</td> <td>N-M</td> <td>N-L</td> </tr> <tr> <td>MS-M</td> <td>MS-L</td> <td></td> </tr> </table>	N-S	N-M	N-L	MS-M	MS-L	
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MS-M	MS-L																				
Building Type	Carriage House	Detached House	Duplex (Stacked)																		
Illustration																					
Form	House-Form Building	House-Form Building	House-Form Building																		
Description	40.14.070.C: Carriage House. An accessory structure typically located at the rear of a building site that provides either a small residential unit, home office space, or other small commercial or service use, as allowed by the zone. The unit may be above a garage or at ground level.	40.14.070.D: Detached House. A small-to-medium-sized detached structure with one unit and private open space. It is typically located within a lower-intensity residential neighborhood in a walkable urban setting, potentially near a neighborhood main street.	40.14.070.E: Duplex (Stacked). A small-to-medium-sized detached structure that consists of two stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-to-large single-family home and is appropriately scaled to fit within lower-intensity residential neighborhoods. Each unit has private open space.																		

Key

T# Allowed

T# Not Allowed

Table 40.14.070.A: Overview of Building Types (Continued)




Zones	<div style="display: flex; justify-content: space-around;"> <div style="border: 1px solid black; padding: 2px;">N-S</div> <div style="border: 1px solid black; padding: 2px;">N-M</div> <div style="border: 1px solid black; padding: 2px;">N-L</div> </div> <div style="display: flex; justify-content: space-around; margin-top: 2px;"> <div style="border: 1px solid black; padding: 2px;">MS-M</div> <div style="border: 1px solid black; padding: 2px;">MS-L</div> </div>			<div style="display: flex; justify-content: space-around;"> <div style="border: 1px solid black; padding: 2px;">N-S</div> <div style="border: 1px solid black; padding: 2px;">N-M</div> <div style="border: 1px solid black; padding: 2px;">N-L</div> </div> <div style="display: flex; justify-content: space-around; margin-top: 2px;"> <div style="border: 1px solid black; padding: 2px;">MS-M</div> <div style="border: 1px solid black; padding: 2px;">MS-L</div> </div>		
Building Type	Duplex (Side-by-Side)			Cottage Court		
Illustration						
Form	House-Form Building			House-Form Building Syn: Bungalow Court		
Description	<p>40.14.070.F: Duplex (Side-by-Side). A small-to-medium-sized detached structure that consists of two side-by-side dwelling units, both facing the street and within a single-building massing. This Type has the appearance of a medium-to-large single-family home and is appropriately scaled to fit within lower-intensity residential neighborhoods. Each unit has private open space.</p>			<p>40.14.070.G: Cottage Court. A group of small, detached structures, providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court is common open space and takes the place of a private rear yard, thus becoming an important community-enhancing element. Private open space is not required. This Type is appropriately-scaled to fit within low-to-moderate-intensity neighborhoods and can be applied in non-residential contexts.</p>		

Key

T# Allowed

T# Not Allowed

Table 40.14.070.A: Overview of Building Types (Continued)



Building Type	Multiplex: Small	Multiplex: Large	Townhouse
Illustration 			
Form	House-Form Building Syn: TripLEX to Sixplex	House-Form Building Syn: Mansion Apartment	House-Form 2 to 3 units; Block-Form 4 to 8 units Syn: Rowhouse
Description	40.14.070.H: Multiplex: Small. A medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwellings, typically with one shared entry or individual entries along the front. This Type has the appearance of a medium-sized single-family home and is appropriately scaled to fit as a small portion of low- to moderate-intensity neighborhoods. Private open space is not required.	40.14.070.I: Multiplex: Large. A medium-to-large-sized structure that consists of 7 to 18 side-by-side and/or stacked dwellings, typically with one shared entry. This Type is appropriately scaled to fit in within moderate-intensity neighborhoods or as a small portion of lower-intensity neighborhoods.	40.14.070.J: Townhouse. A small-to-large-sized typically attached structure that consists of up to 3 or up to 8 Townhouses placed side-by-side. Each townhouse may consist of one unit or up to two, stacked units. As allowed by the zone, this Type may also occasionally be detached with minimal separations between buildings. Each unit has private open space. This Type is typically located within moderate-to-high intensity neighborhoods, or near or on a neighborhood main street.

Key

T# Allowed

T# Not Allowed

Table 40.14.070.A: Overview of Building Types (Continued)

Zones	<table border="1"> <tr> <td>N-S</td> <td>N-M</td> <td>N-L</td> </tr> <tr> <td>MS-M</td> <td>MS-L</td> <td></td> </tr> </table>			N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr> <td>N-S</td> <td>N-M</td> <td>N-L</td> </tr> <tr> <td>MS-M</td> <td>MS-L</td> <td></td> </tr> </table>			N-S	N-M	N-L	MS-M	MS-L	
N-S	N-M	N-L																
MS-M	MS-L																	
N-S	N-M	N-L																
MS-M	MS-L																	
Building Type	Courtyard			Main Street														
Illustration																		
Form	House-Form Building Syn: Courtyard Apartment			Block-Form Building														
Description	40.14.070.K: Courtyard. A building comprised of one to three structures typically detached but may be attached that contain multiple attached and/or stacked units, accessed from one or more shared courtyards. The shared court is common open space. Private open space is not required. This Type is typically integrated as a small portion of lower-intensity neighborhoods or more consistently into moderate-to-high intensity neighborhoods and can be applied in non-residential contexts.			40.14.070.L: Main Street. A small-to-large-sized structure, typically attached, but may be detached, intended to provide a vertical mix of uses with ground-floor retail or service uses and upper-floor service or residential uses. This Type makes up the primary component of portions of neighborhood and downtown main streets, therefore being a key component to providing walkability.														

Key

T# Allowed

T# Not Allowed

40.14.070.C Carriage House



Carriage House flat above garage.



Carriage House with living unit above and beside garage.



Carriage House flat above garage.

1. Description

An accessory structure typically located at the rear of a building site that provides either a small residential unit, home office space, or other small commercial or service use, as allowed by the zone. The unit may be above a garage or at ground level.

2. Number of Units

Units per Building	1 max.
Carriage Houses per Building Site	1 max.
House-Form Building.	

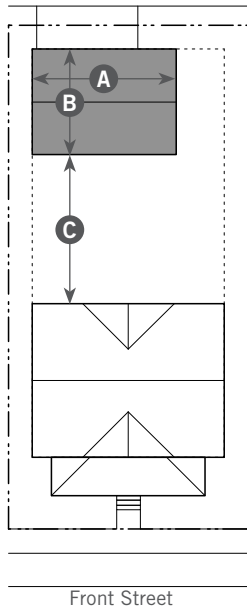
N-S	N-M	N-L	MS-M	MS-L
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Not allowed on the building site of a Main Street building.

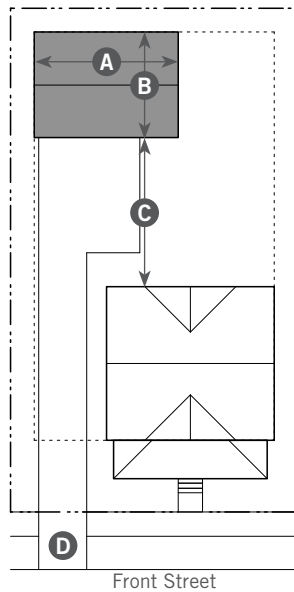
General Note: Photos on this page are illustrative, not regulatory.

Key	T# Allowed	T# Not Allowed
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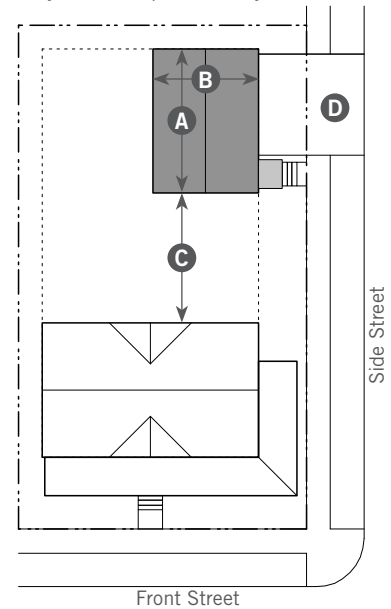
Alley access required if alley exists



Alley access required if alley exists



Alley access required if alley exists



Key

- ROW / Building Site Line
- Setback Line
- Building

3. Building Size and Massing

Height

Max. Number of Stories	2
Max. Height to Highest Top Plate	24'

Main Body

Width	36' max.	(A)
Depth	30' max.	(B)
Separation from Primary Building	10' min. ¹	(C)

¹ Carriage House may be connected to primary building by an uninhabitable space such as a breezeway.

Miscellaneous

Carriage House shall not be taller or have a larger footprint than the primary building on the building site.

Key

- ROW / Building site Line
- Setback Line
- Frontage

4. Allowed Frontage Types

Frontage type not required.

5. Pedestrian Access

Main Entrance Location Side street, alley, or internal to building site

The main entrance shall not be through a garage.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone. (D)

7. Private Open Space

Private Open Space not required.

40.14.070.D Detached House



Two-story Detached House with small engaged porch.



Two-story House with projecting porch.



Two-story House with projecting porch.

1. Description

A small-to-medium-sized detached structure with one unit and private open space. It is typically located within a lower-intensity residential neighborhood in a walkable urban setting, potentially near a neighborhood main street.

2. Number of Units

Units per Building 1 max.

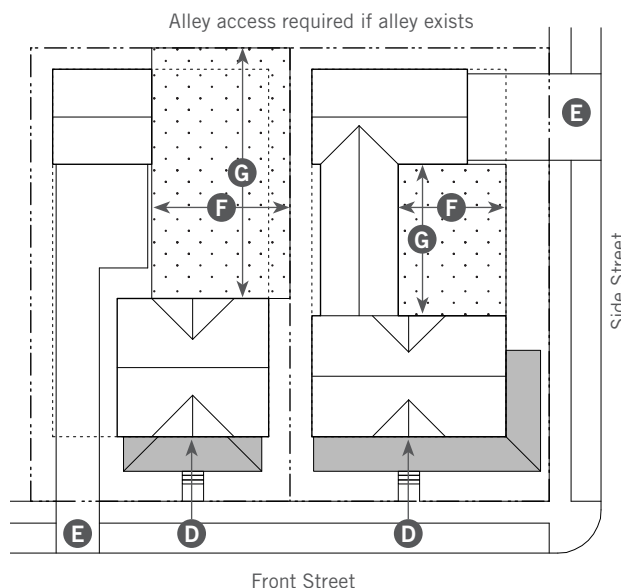
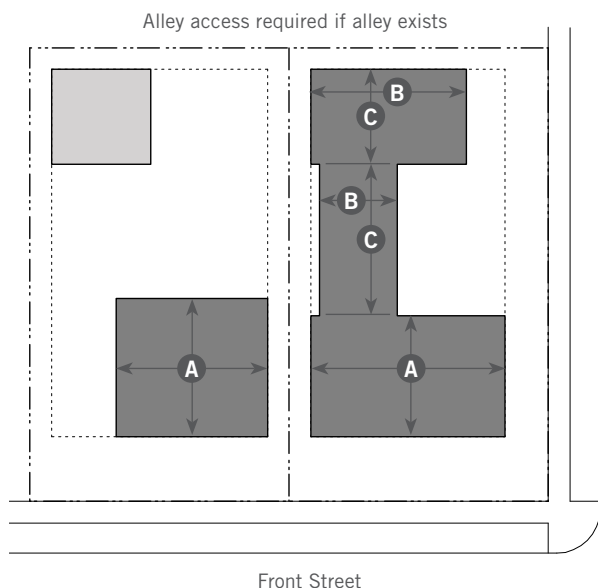
Houses per Building site 1 max.

House-Form Building.

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key **T# Allowed** **T# Not Allowed**



Key

- ROW / Building Site Line
- Setback Line
- Building

3. Building Size and Massing

Height	N-S
Max. Number of Stories	2
Max. Height to Highest Top Plate	24'
Rooftop Room allowed on uppermost roof per Table 40.14.080.D (Rooftop Room Standards).	

Main Body

Size	36' x 48' max.	(A)
------	----------------	------------

Secondary Wing(s)¹

Width	15' max.	(B)
Depth	20' max.	(C)

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

¹Secondary wings limited to 1 story. Max. 14' to highest top plate.

Key

- ROW / Building site Line
- Setback Line
- Frontage
- Private Open Space

4. Allowed Frontage Types

Front Yard	40.14.090.C
Porch: Projecting	40.14.090.D
Porch: Engaged	40.14.090.E

5. Pedestrian Access

Main Entrance Location	Front Street	(D)
------------------------	--------------	------------

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone. **(E)**

7. Private Open Space

Width	20' min.	(F)
Depth	20' min.	(G)

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body.

40.14.070.E Duplex (Stacked)



Two-story Duplex with engaged porch.



Two-story Duplex with engaged porch.



Two-story Duplex with stacked units and projecting porch.

1. Description

A small-to-medium-sized detached structure that consists of two stacked dwelling units, both facing the street and within a single building. This Type has the appearance of a medium to large single-family home and is appropriately scaled to fit within lower-intensity residential neighborhoods. Each unit has private open space.

2. Number of Units

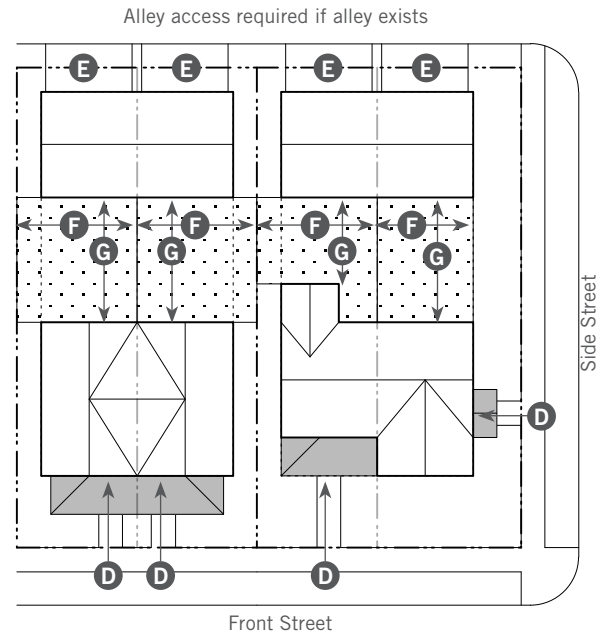
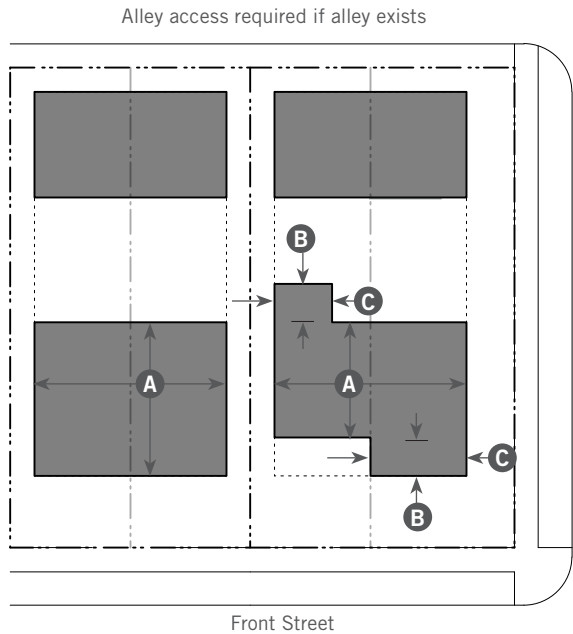
Units per Building	2 max.
Duplexes per Building site	1 max.

House-Form Building.

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key	T# Allowed	T# Not Allowed
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Key

- ROW / Building Site Line
- Setback Line
- Building

3. Building Size and Massing

Height	N-S
Max. Number of Stories	2
Max. Height to Highest Top Plate	24'
Rooftop Room allowed on uppermost roof per Table 40.14.080.D (Rooftop Room Standards).	

Main Body

Size	26' x 35' max.	A
------	----------------	----------

Secondary Wing(s)

Depth	12' max.	B
Width	18' max.	C

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

4. Allowed Frontage Types

Front Yard	40.14.090.C
Porch: Projecting	40.14.090.D
Porch: Engaged	40.14.090.E
Stoop	40.14.090.F
Dooryard	40.14.090.G

Key

- ROW / Building site Line
- Setback Line
- Frontage
- Private Open Space

5. Pedestrian Access

Main Entrance Location Front street¹ **D**

Each unit shall have an individual entry facing the street on, or within 10' of the front facade.

¹On corner building sites, each unit shall front a different street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone. **E**

7. Private Open Space

Width	15' min.	F
Depth	15' min.	G

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body.

40.14.070.F Duplex (Side-by-Side)



Two-story Duplex side-by-side units, each with a projecting porch.



One-story Duplex with a projecting porch.



Two-story Duplex with front yard and raised entry.

1. Description

A small-to-medium-sized detached structure that consists of two side-by-side dwelling units, both facing the street and within a single building. This Type has the appearance of a medium to large single-family home and is appropriately scaled to fit within lower-intensity residential neighborhoods. Each unit has private open space.

2. Number of Units

Units per Building 2 max.

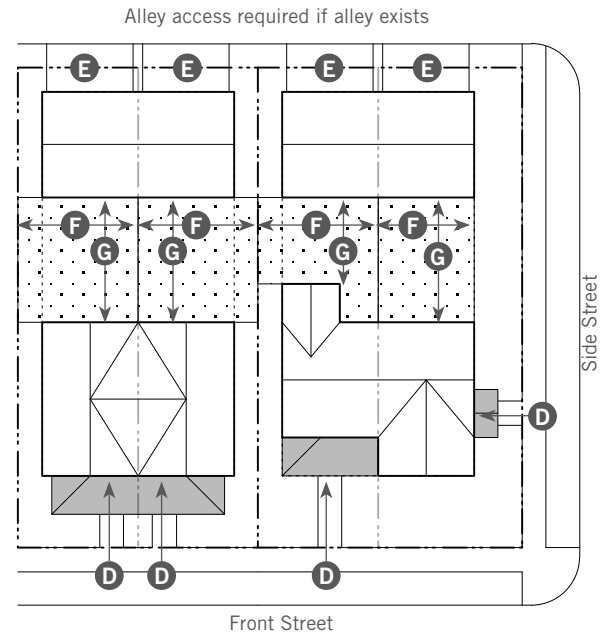
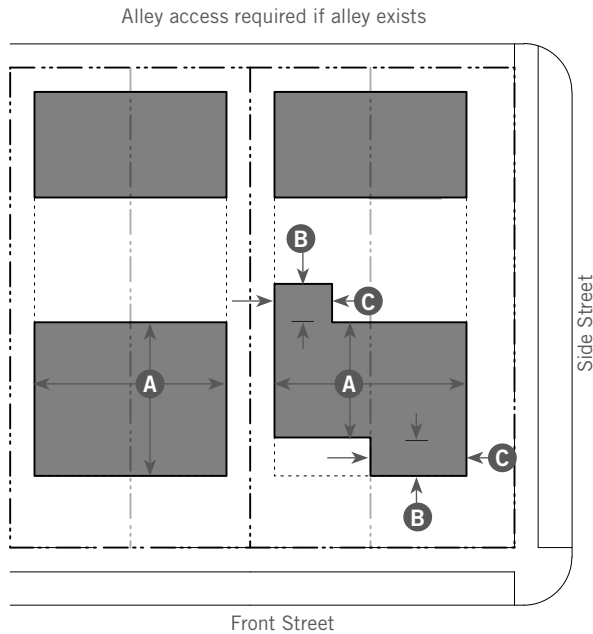
Duplexes per Building Site 1 max.

House-Form Building.

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key T# **Allowed** T# **Not Allowed**



Key

- ROW / Building Site Line
- Setback Line
- Building

3. Building Size and Massing

Height	N-S
Max. Number of Stories	2
Max. Height to Highest Top Plate	24'
Rooftop Room allowed on uppermost roof per Table 40.14.080.D (Rooftop Room Standards).	

Main Body

Size	36' x 48' max.	A
------	----------------	----------

Secondary Wing(s)

Depth	24' max.	B
Width	18' max.	C

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

4. Allowed Frontage Types

Front Yard	40.14.090.C
Porch: Projecting	40.14.090.D
Porch: Engaged	40.14.090.E
Stoop	40.14.090.F
Dooryard	40.14.090.G

Key

- ROW / Building site Line
- Setback Line
- Frontage
- Private Open Space

5. Pedestrian Access

Main Entrance Location	Front street ¹	D
------------------------	---------------------------	----------

Each unit shall have an individual entry facing the street on, or within 10' of the front facade.

¹On corner building sites, each unit shall front a different street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone.	E
--	----------

7. Private Open Space

Width	15' min.	F
Depth	15' min.	G

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body.

40.14.070.G Cottage Court



A five-building, one-story Cottage Court with projecting porches along a court leading to entries.



One-story Cottage Court with stoops.



One-story Cottage Court with stoops.

1. Description

A group of small, detached structures, arranged to define a shared court that is typically perpendicular to the street. The shared court is common open space and takes the place of a private rear yard, thus becoming an important community-enhancing element. Private open space is not required. This Type is appropriately-scaled to fit within low-to-moderate-intensity neighborhoods and can be applied in non-residential contexts.

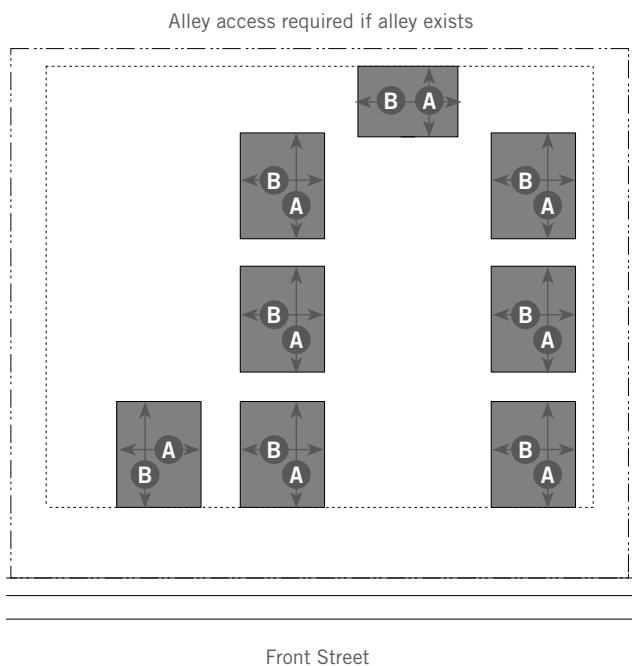
2. Number of Units

Units per Building	1 max.
Cottages per Building site ¹	3 min.; 9 max.
Up to 1 Cottage may be a duplex or triplex as allowed by the zone.	
Syn: Bungalow Court.	
House-Form Buildings.	

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key **T# Allowed** **T# Not Allowed**



Key

- ROW / Building Site Line ■ Building
- Setback Line

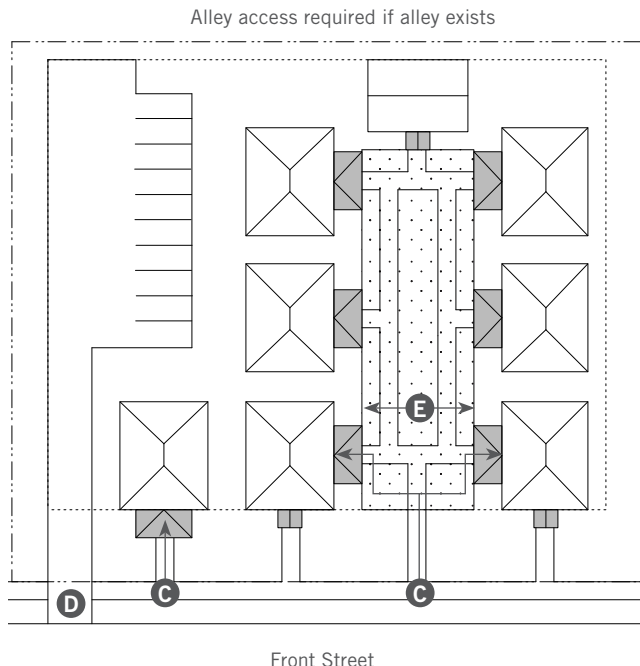
3. Building Size and Massing

Height	N-S	N-M
Max. Number of Stories	1	1
Max. Height to Highest Top Plate	14'	18'
Main Body		
Width	32' max.	(A)
Depth	24' max.	(B)

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

4. Allowed Frontage Types

Porch: Projecting	40.14.090.D
Stoop	40.14.090.F
Dooryard	40.14.090.G



Key

- ROW / Building site Line ■ Frontage
- Setback Line □ Common Open Space

5. Pedestrian Access

- Shared court shall be accessible from front street. **(C)**
- Main entrance location to units from shared court.
- Units on a corner may enter from the side street.
- Pedestrian connections shall link all buildings to the public ROW, shared court, and parking areas.

6. Vehicle Access and Parking

- Driveway and parking location shall comply with standards in Subsection F (Parking) of the applicable zone. **(D)**
- Spaces may be individually accessible by the units and/or a common parking area located at the rear or side of the building site.

7. Common Open Space

Width	20' min.	(E)
Depth	30' mins. (3 Units); 40' min. (5 to 9 Units)	

Required street setbacks and driveways shall not be included in the common open space area calculation.

40.14.070.H Multiplex: Small



Two-story Multiplex Small on corner building site with two entries.



Two-story Multiplex Small with small front yard.



Two-story Multiplex Small with stoops.

1. Description

A medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwellings, typically with one shared entry or individual entries along the front. This Type has the appearance of a medium-sized single-family home and is appropriately scaled to fit as a small portion of low- to moderate-intensity neighborhoods. Private open space is not required.

2. Number of Units

Units per Building 3 min.; 6 max.

Multiplexes per Building Site 1 max.

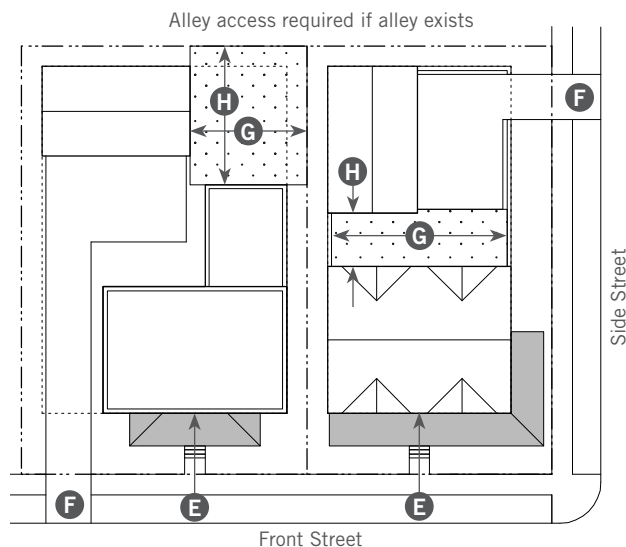
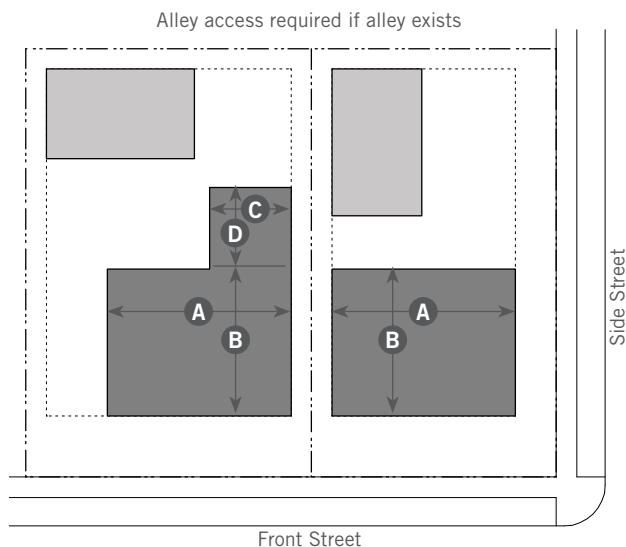
Syn: Triplex to Sixplex.

House-Form Building.

- N-S
- N-M
- N-L
- MS-M
- MS-L

General Note: Photos on this page are illustrative, not regulatory.

Key **Allowed** **Not Allowed**



Key

- ROW / Building Site Line
- Setback Line
- Building

3. Building Size and Massing

Height	N-S	N-M
Max. Number of Stories	3	3
Max. Height to Highest Top Plate	32'	32'
Main Body		
Width	48' max.	(A)
Depth	48' max.	(B)
Secondary Wing(s)		
Width	24' max.	(C)
Depth	30' max.	(D)

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

4. Allowed Frontage Types

Front Yard	40.14.090.C
Porch: Projecting	40.14.090.D
Porch: Engaged	40.14.090.E
Stoop	40.14.090.F
Dooryard	40.14.090.G

Key

- ROW / Building site Line
- Setback Line
- Frontage
- Common Open Space

5. Pedestrian Access

Main Entrance Location Front street **(E)**
 Each unit may have an individual entry.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone. **(F)**

7. Common Open Space

Width	25' min.	(G)
Depth	12' min.	(H)

Required street setbacks and driveways shall not be included in the common open space area calculation.
 Required common open space shall be located behind the main body.

40.14.070.1 Multiplex: Large



Two-story Multiplex Large with basement and stoop entries.



Two-story Multiplex Large with front yard.



Two-story Multiplex Large with central entry.

1. Description

A medium-to-large-sized structure that consists of 7 to 18 side-by-side and/or stacked dwellings, typically with one shared entry. This Type is appropriately scaled to fit in within moderate-intensity neighborhoods or as a small portion of lower-intensity neighborhoods.

2. Number of Units

Units per Building 7 min.; 18 max.

Multiplexes per Building Site 1 max.

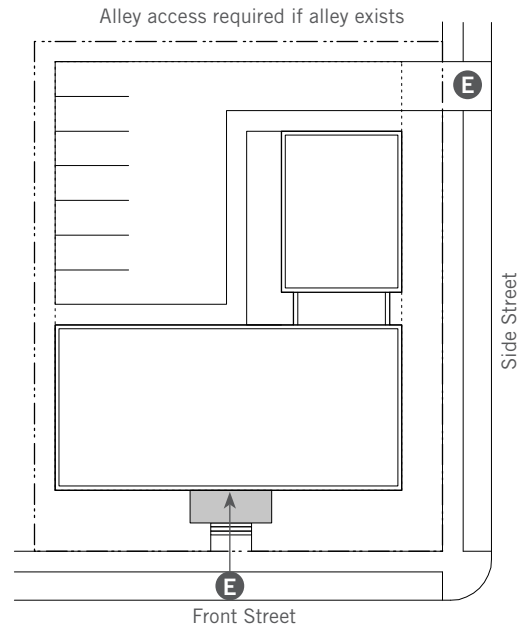
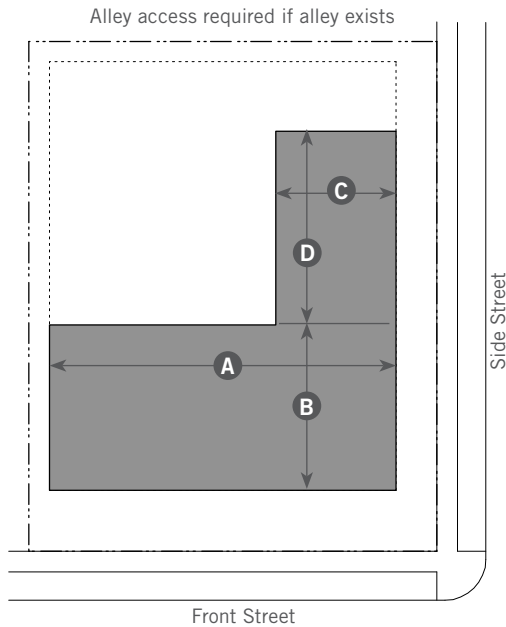
Syn: Mansion Apartment.

House-Form Building.

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key **T# Allowed** **T# Not Allowed**



Key

- ROW / Building Site Line
- Setback Line
- Building

3. Building Size and Massing

Height	N-M	N-L	MS-M
Max. Number of Stories	4	4	4
Max. Height to Highest Top Plate	45'	45'	45'
Main Body			
Width	80' max.		(A)
Depth	60' max.		(B)
Secondary Wing(s)			
Width	30' max.		(C)
Depth	40' max.		(D)

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

Key

- ROW / Building site Line
- Setback Line
- Frontage

4. Allowed Frontage Types

Front Yard	40.14.090.C
Porch: Projecting	40.14.090.D
Stoop	40.14.090.F
Terrace	40.14.090.K

5. Pedestrian Access

Main Entrance Location **(E)**

Units located in the main body shall be accessed by a common entry along the front street.

On corner building sites, units in a secondary wing may enter from the side street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone.

7. Common Open Space

Common open space is not required.

40.14.070.J Townhouse



Four-story Townhouses with paired stoop entries.



Two-story Townhouses massed as one building.



Two and three-story Townhouses with stoops and dooryards.

1. Description

A small-to-large-sized typically attached structure that consists of up to 3 or up to 8 Townhouses placed side-by-side. Each townhouse may consist of one unit or up to two, stacked units. As allowed by the zone, this Type may also occasionally be detached with minimal separations between buildings. Each unit has private open space. This Type is typically located within moderate-to-high intensity neighborhoods, or near or on a neighborhood main street.

2. Number of Units

	N-S	N-M	N-L	MS-M
Max. Units per Townhouse	2	2	3	3
Max. Townhouses per Building Site	1	1	1	1

Syn: Rowhouse.

House-Form Building 2-3 units max. per run

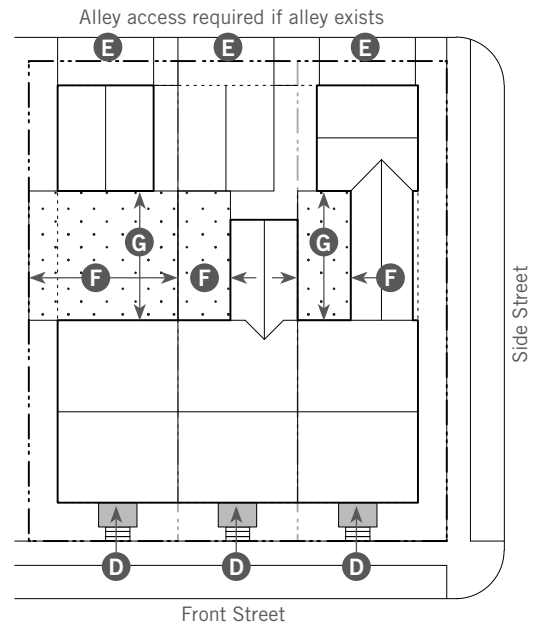
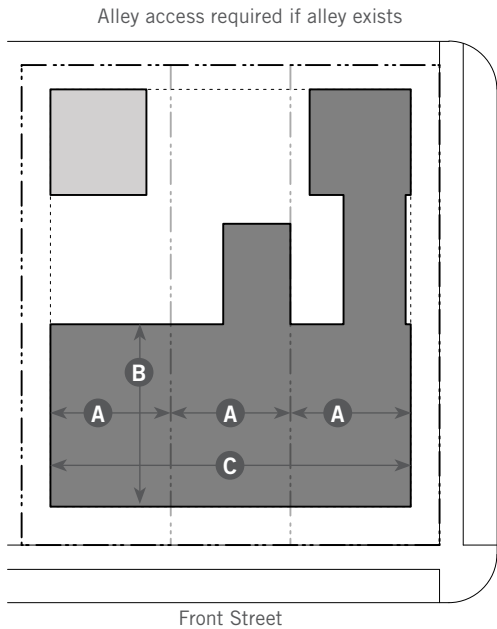
N-S	N-M	N-L	MS-M	MS-L
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Block-Form Building 4-8 units max. per run

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key T# Allowed T# Not Allowed



Key

- ROW / Building Site Line
- Shared Building Site Line¹
- Setback Line
- Building

¹Townhouses may have a shared building site line.

Key

- ROW / Building site Line
- Setback Line
- Frontage
- Private Open Space

3. Building Size and Massing

Height	N-S	N-M	N-L	MS-M
Max. Number of Stories	2	3	5 ¹	4
Max. Height to Highest Top Plate	24'	34'	60'	45'

¹ Each Townhouse may be divided vertically into three units.

Main Body

Townhouse Width	18' min.; 30' max.	A
Townhouse Depth	50' max.	B
Width per Run	House-form: 75' max; Block-form: 180' max.	C

Secondary Wing (s)

The footprint area of secondary wing(s) may not exceed the footprint area of the main body.

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

4. Allowed Frontage Types

Porch: Projecting	40.14.090.D
Porch: Engaged	40.14.090.E
Stoop	40.14.090.F
Dooryard	40.14.090.G
Terrace	40.14.090.K

5. Pedestrian Access

Main Entrance Location	Front street	D
------------------------	--------------	----------

Each unit shall have an individual entry facing a street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone.	E
--	----------

7. Private Open Space

Width	8' min.	F
Depth	8' min.	G

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body.

40.14.070.K Courtyard



Three-story Courtyard with at-grade entries for dwellings and/or non-residential uses.



One-story Courtyard with stoop entries.



One courtyard leading to a second courtyard at left.

1. Description

A building comprised of one to three structures typically detached but may be attached that contain multiple attached and/or stacked units, accessed from one or more shared courtyards. The shared court is common open space. Private open space is not required. This Type is typically integrated as a small portion of lower-intensity neighborhoods or more consistently into moderate-to-high intensity neighborhoods and can be applied in non-residential contexts.

2. Number of Units

Units per Building Site 24 max.

Courtyard Buildings per Building Site 1 max.

Syn: Courtyard Apartment.

House-Form Building.

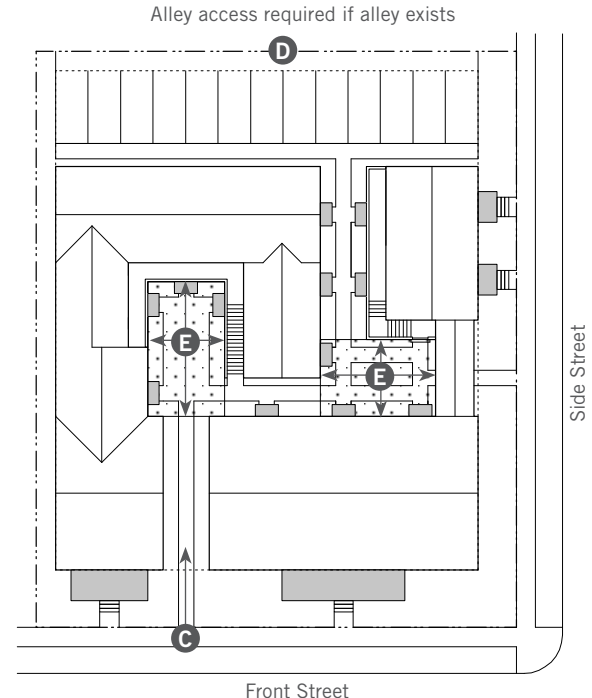
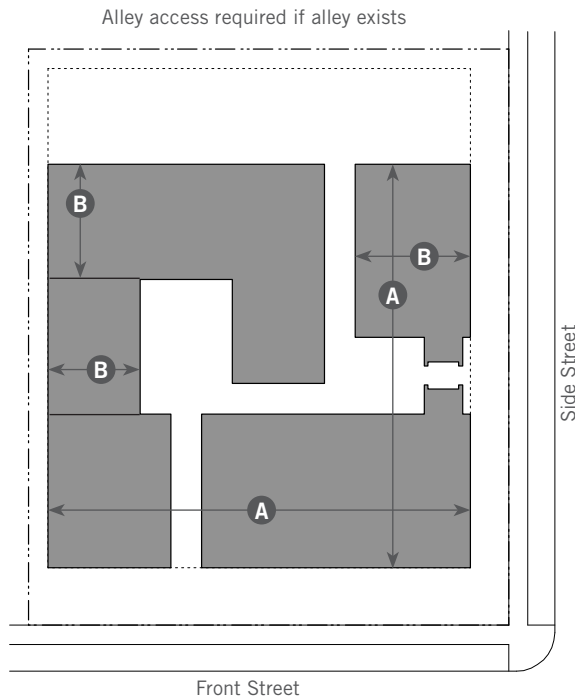
N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key

T# Allowed

T# Not Allowed



Key

- ROW / Building Site Line
- Setback Line
- Building (may consist of multiple structures)

3. Building Size and Massing

Height	N-M	N-L	MS-M	MS-L
Max. Number of Stories	2 ¹	4	3	5
Max. Height to Highest Top Plate	24'	45'	34'	60'

¹ Rooftop Room allowed on uppermost roof per Table 40.14.080.D (Rooftop Room Standards).

Main Body/Secondary Wing(s)

Size	150' max. A
	65' max. B

Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

4. Allowed Frontage Types

Porch: Projecting	40.14.090.C
Porch: Engaged	40.14.090.D
Stoop	40.14.090.F
Shopfront	40.14.090.J
Terrace	40.14.090.K

Key

- ROW / Building site Line
- Setback Line
- Frontage
- Common Open Space

5. Pedestrian Access

The main entry of ground floor units shall be directly off of a courtyard or street, whichever is closer.

Courtyards shall be accessible from the front street. **C**

Multiple courtyards required to be connected via a passage through or between buildings.

6. Vehicle Access and Parking

Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone. **D**

7. Common Open Space

Main Body Height ¹	Size E
-------------------------------	---------------

The courtyard may be centrally located, or located to one side of the lot.

1 to 2 Stories (min./max.) 20' to 40' by 20' to 85'

3 to 3 Stories (min./max.) 25' to 50' by 30' to 105'

4 to 5 Stories (min./max.) 25' to 50' by 40' to 135'

¹ Height measured at the highest story along courtyard.

Building shall define at least two walls of a courtyard.

Side(s) of courtyard not defined by building shall be defined by 2'-6" to 6' tall wall with entry gate/door.

40.14.070.L Main Street



Three-story Main Street building forms a contemporary streetscape with variation.



Three-story Main Street building with occupied attic space.



Two-story Main Street building with tall ground floors.

1. Description

A small-to-large-sized structure, typically attached, but may be detached, intended to provide a vertical mix of uses with ground-floor retail or service uses and upper-floor service or residential uses. This Type makes up the primary component of portions of neighborhood and downtown main streets, therefore being a key component to providing walkability.

2. Number of Units

Units per Building Unrestricted¹

Main Street Buildings per Building Site 1 max.

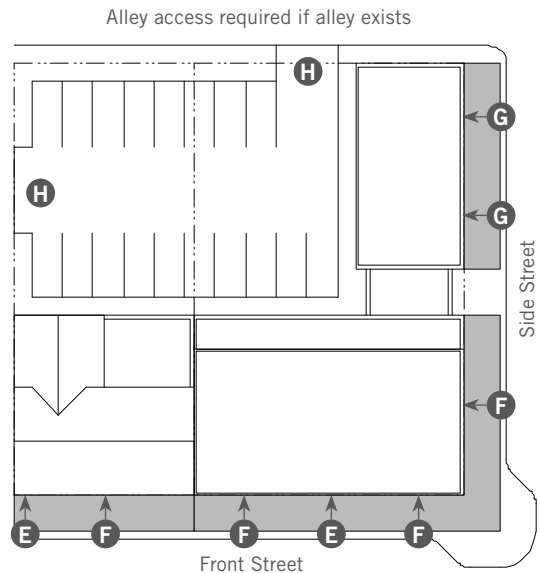
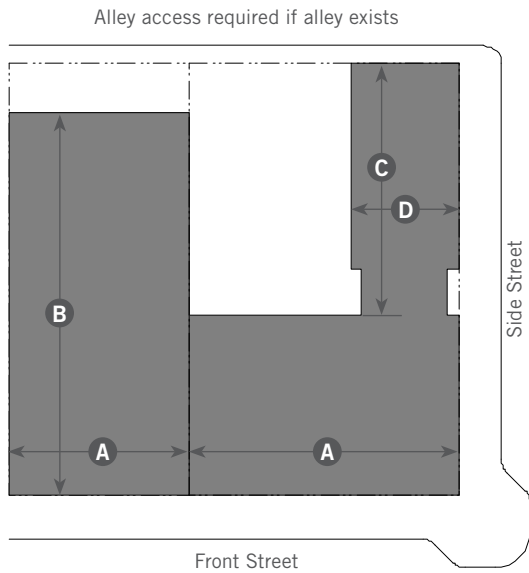
¹ Number of units restricted by UBC and UFC requirements.

Block-Form Building.

N-S	N-M	N-L	MS-M	MS-L
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General Note: Photos on this page are illustrative, not regulatory.

Key T# **Allowed** T# **Not Allowed**



Key

- ROW / Building Site Line
- Building
- Setback Line

3. Building Size and Massing

Height	MS-M	MS-L
Max. Number of Stories	4; (5) ¹	5; (7) ¹
Max. Height to Highest Top Plate	50; (65) ¹	60; (90) ¹
¹ Additional height is allowed, see Figure 40.13.070.A (Downtown Code Zoning Map).		
Main Body		
Size	150' max.	A
	120' max.	B
Secondary Wing(s)¹		
Size	100' max.	C
	65' max.	D

¹Required on corner building sites.
 Facades on a street or civic space shall be designed in compliance with Section 40.14.080 (Specific to Massing, Facades and Architectural Elements).

Key

- ROW / Building site Line
- Frontage
- Setback Line

4. Allowed Frontage Types

Dooryard ¹	40.14.090.G
Forecourt	40.14.090.H
Shopfront	40.14.090.J
Terrace	40.14.090.K
Gallery	40.14.090.L

¹Only on side streets.

5. Pedestrian Access

- Upper floor units shall be accessed by a common entry along the front street. **E**
- Ground floor units may have individual entries along the front street or side street. **F**
- On corner building sites, units in a secondary wing or accessory structure may enter from the side street. **G**

6. Vehicle Access and Parking

- Driveway and parking location shall comply with standards in Subsection F (Parking) of the zone. **H**

7. Common Open Space

Common open space is not required.

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40.14.080 Specific to Massing, Facades and Architectural Elements

- A. **Overview.** This Section sets forth standards that supplement the zone standards to further refine building form and physical character per Downtown Davis Specific Plan vision. Table 40.14.080.A (Overview of Specific to Massing, Facades and Architectural Elements) provides an overview of the requirements.
- B. **Massing and Facade Articulation Standards.** As required by Subsection 3 (Building Size and Massing) of the standards of each building type, facades on a street or civic space shall be designed in compliance with the standards identified in Table 40.14.080.B (Massing and Facade Articulation Standards).
- C. **Historic Resource Adjacency Standards.**
As required by Subsection D (Building Form) and Subsection E (Building Placement) of each zone, all building sites adjacent to Historic Resources identified in Figure 40.13.070.A (Downtown Code Zoning Map) shall comply with additional massing standards identified in Table 40.14.080.C (Historic Resource Adjacency Standards).
- D. **Rooftop Room Standards.** As identified in Subsection 3 (Building Size and Massing) of the standards of each building type in Section 40.14.070 (Specific to Building Types), one Rooftop Room is allowed on the uppermost roof in compliance with the standards identified in Table 40.14.080.D (Rooftop Room Standards).

Table 40.14.080.A Overview of Specific to Massing, Facades and Architectural Elements

Scenario	Minimum Requirements	Reference
Massing and Facade Articulation Standards		
All Buildings	All items of Subsection 1	40.14.080.B.1 a. Tripartite Facade Design
Buildings over 3 stories	All item of Subsection 2	40.14.080.B.2 a. Change in Color or Material
Buildings over 75 feet long ¹	All items of Subsection 3	40.14.080.B.3 a. Vertical Articulation
Corner Elements; as identified in Figure 40.13.070.A (Downtown Code Zoning Map).	All items of Subsection 4	40.14.080.B.4 a. Corner Elements
Historic Resource Adjacency Standards		
All Buildings	All items of Subsection 1	40.14.080.C.1 a. Ground Floor Ceiling Height b. Side Setbacks
House-Form Buildings	All items of Subsection 2	40.14.080.C.2 a. Side Stepbacks b. Side Setbacks
Block-Form Buildings	All items of Subsection 3	40.14.080.C.3 a. Main Body and Wing(s) b. Side Setbacks
Rooftop Room Standards		
Buildings up to 2 stories; as allowed by Subsection C (Building Size and Massing) of the building type.	All items of Subsection 1	40.14.080.D.1 a. General b. Form c. Placement d. Openings

¹ As measured along street or civic space.

Table 40.14.080.B Massing and Facade Articulation Standards

1. All buildings



a. Tripartite

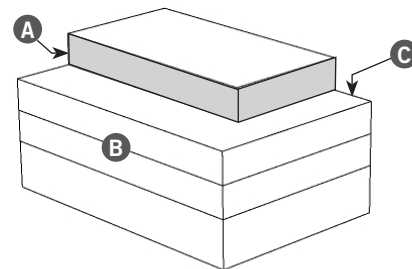
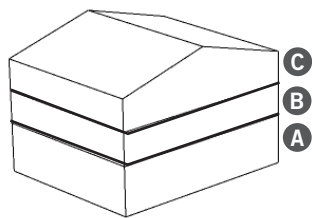
New facades and renovations along a street or civic space shall be designed with tripartite architecture. An expression line, setback or other architectural element shall be used to delineate the base and top.

2. Buildings over 3 stories



a. Change in Color or Material

New facades and renovations along a street or civic space on buildings over 3 stories shall be designed to modulate the apparent size and scale of the building by changing colors and/or materials. This may be applied throughout the building but is required above the third story.



Distinct Base	A	Change in Color and/or Material	A
Middle	B	Vertical or horizontal articulation as applicable.	B
Top	C	Stepback required by zone	C

General Note: Photos on this page are illustrative, not regulatory.

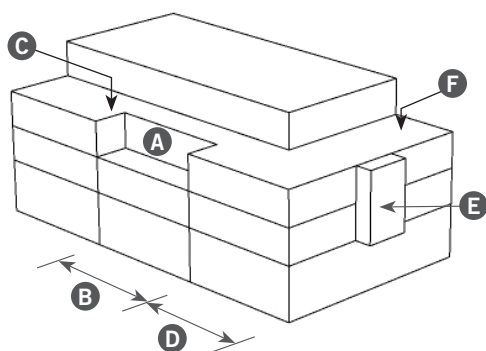
Table 40.14.080.B Massing and Facade Articulation Standards (Continued)

3. Buildings over 75 feet long



a. Vertical Articulation

New facades and renovations along a street or civic space shall modulate the apparent size and scale of the building by stepping a portion of the facade upward or downward from the predominant building height by at least one story. The stepping may be distributed along the facade for the minimum required amount. This technique offers the opportunity to organize a long building into multiple apparent buildings to avoid the appearance of a block-long building.



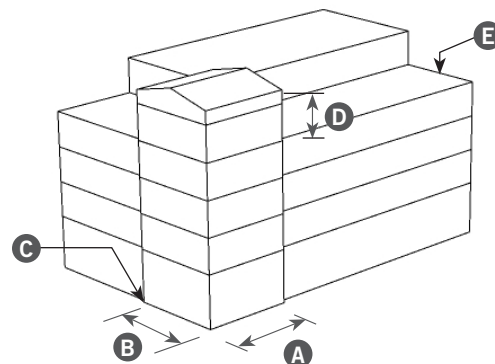
Vertical Stepping	A
Stepping on buildings 75' to 100' long: 25' min.	B
Stepping on buildings 100' to 200' long: 50' min.	B
Depth: 10' min.	C
Facade without openings: 10' max.	D
Bay Window Element: 8' min. width Required when a volume exceeds 75' in length	E
Stepback required by zone	F

4. Corner Elements



a. Corner Elements

Where required on the Zoning Map, new facades and renovations shall include a corner element to give visual importance to the corner and further shape the public realm.

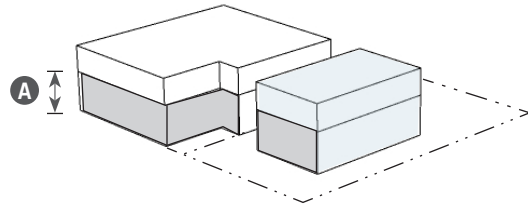


Width: 25' min.	A
Width: 25' min.	B
Projection Depth: 3' min.	C
Top story height: 14' max.	D
Stepback required by zone	E

Table 40.14.080.C Historic Resource Adjacency Standards

1. All Buildings

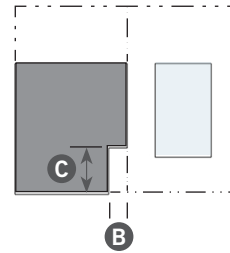
a. Ground Floor Ceiling Height



The ground floor ceiling height is required to match the height of the ground floor ceiling of the adjacent historic resource building.

Ground Floor Ceiling Height. A

b. Side Setbacks



Minimum 10' side setback is required on the side facing the adjacent historic resource building for a minimum depth of 25' measured from the front setback.

Side Setback: 10' min. B

Depth: 25' min. or to align with adjacent front facade of main body. C

Resulting facade shall be treated as a front or side street facade.

Key

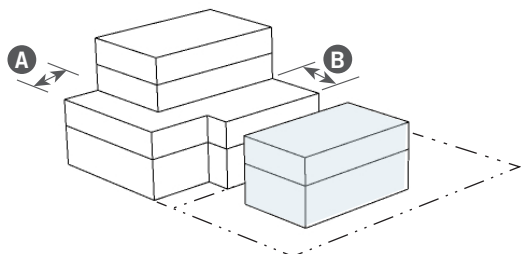
---- Building Site Line

Historic Resource as identified on Zoning Map

Table 40.14.080.C Historic Resource Adjacency Standards (Continued)

2. House-Form Buildings

a. Side Stepbacks



A front and side stepback is required above the 2nd-story or above the top story of the adjacent historic resource building if over 2 stories.

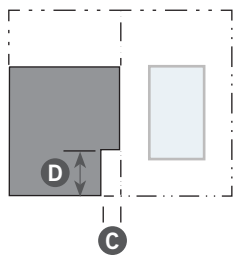
Front Stepback: 15' min.

A

Side Stepback: 25' min.

B

b. Side Setbacks



Minimum 10' side setback is required on the side facing the adjacent historic resource building for a minimum depth of 25' measured from the front setback.

Side Setback: 10' min.

C

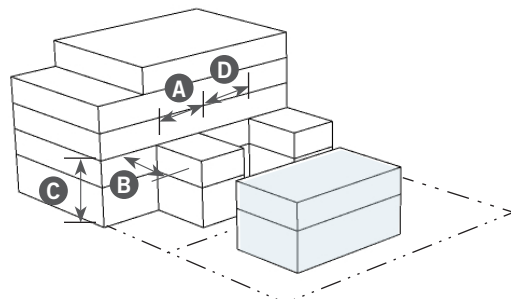
Depth: 25' min. or to align with adjacent front facade of main body.

D

Resulting facade shall be treated as a front or side street facade.

3. Block-Form Buildings

a. Main Body and Wing(s)



Within 35 feet of the adjacent historic resource building's building site, the new building or addition is required to reduce in size through a wing extending from the larger building mass. Additional wings are allowed but must be separated by the distance below.

Wing Width: 20' max.

A

Wing Depth: 25' min.

B

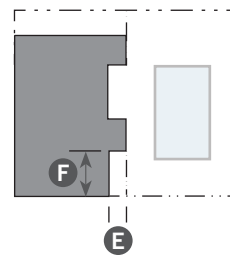
Wing Height: 2 stories max.

C

Distance between wings: 25' min.

D

b. Side Setbacks



Minimum 10' side setback is required on the side facing the adjacent historic resource building for a minimum depth of 25' measured from the front setback.

Side Setback: 10' min.

E

Depth: 25' min. or to align with adjacent front facade of main body.

F

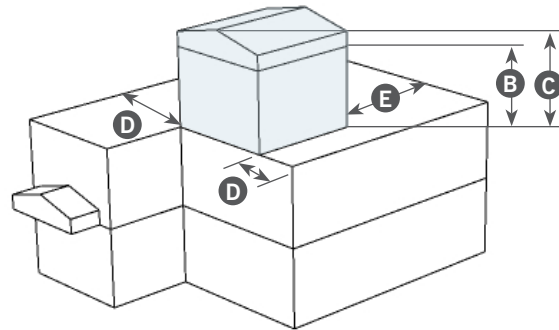
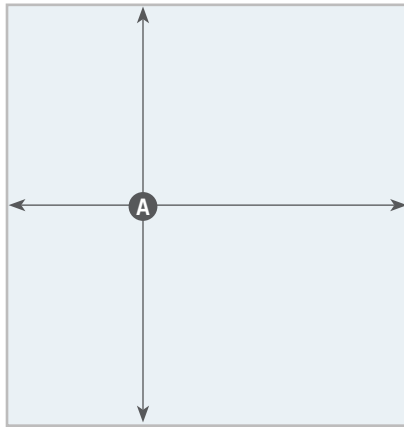
Resulting facade shall be treated as a front or side street facade.

Key

---- Building Site Line

■ Historic Resource as identified on Zoning Map

Table 40.14.080.D Rooftop Room Standards
1. Buildings up to 2 stories



a. General

Max. Rooftop Rooms per Building	1 ¹
---------------------------------	----------------

¹Must be allowed by the Building Type.
 Materials shall be consistent with the main building.
 Exterior access is allowed in compliance with UBC and UFC standards.

b. Room Form

Interior clear dimensions	12' max.	A
Floor-to-Ceiling Height	10' max.	B
Overall Height	14' max.	C

When room is present, roof shall be consistent with roof style of main building.

Key

Rooftop Room

c. Room Placement

Side setback	10' min.	D
Rear setback	15' min.	E

Shall be located in uppermost roof of main building.

d. Room Openings

Opening or glazing on each side	75% min.
---------------------------------	----------

Openings shall be vertically proportioned, not square or horizontal.

Openings may be glazed.

Shutters, when present, shall be of sufficient width to cover the adjacent opening.



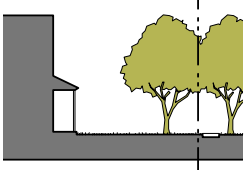
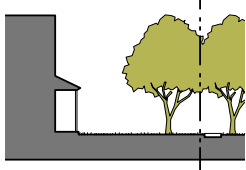
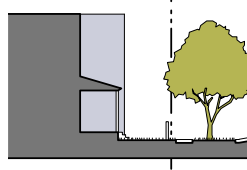
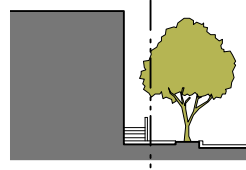
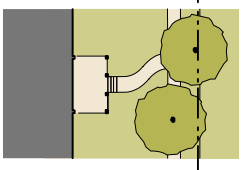
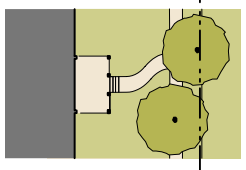
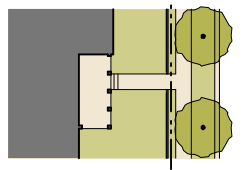
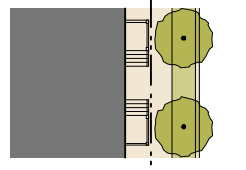
(Above) Examples of Rooftop Rooms and their limited footprint compared to the main building.

40.14.090 Specific to Frontage Types

A. Overview.

1. This Section sets forth standards applicable to all frontages in Downtown Zones. Frontages are the components of a building that provide the transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). Table 40.14.090.A (Overview of Frontage Types) provides an overview of the allowed frontage types. The names of the frontage types indicate their particular configuration or function and are not intended to limit uses within the associated building. For example, a porch may be used by non-residential uses such as a restaurant or office as allowed by the zone.
2. Each building shall have at least one frontage type along each street frontage or along a civic space.
3. Frontage types not listed in Subsection H (Frontages) of the applicable zone standards are not allowed in that zone.
4. Frontage types not listed in Subsection 4 (Allowed Frontage Types) of the applicable building type standards are not allowed on that building type.
5. Each building may have multiple frontage types in compliance with the allowed types in Subsection 4 (Allowed Frontage Types) of each building type standards.
6. Each frontage type shall be located in compliance with the facade zone per Subsection E (Building Placement) of the zone standards.
7. Standards are stated for the front of a building site and are to be adjusted for side street facades in compliance with the setbacks of the zone.

Table 40.14.090.A Overview of Frontage Types

Zones	N-S		N-M		N-S		N-M		N-S		N-M					
	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M				
	MS-L		MS-L		MS-L		MS-L		MS-L		MS-L					
Frontage Type	Front Yard				Porch: Projecting				Porch: Engaged				Stoop			
Section																
Plan																
Description	<p>40.14.090.C: Front Yard. The main facade of the building is set back from the front building site line resulting in a yard providing a buffer from the street. The yard may be fenced or unfenced.</p>				<p>40.14.090.D: Porch: Projecting. The main facade of the building is set back from the front building site line with a porch encroaching into the front set back. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be one or two stories, is open on three sides, and all habitable space is located behind the building setback line.</p>				<p>40.14.090.E: Porch: Engaged. A portion of the main facade of the building is set back from the front building site line to include a porch that projects from the facade that is set back. The porch may project into the front yard. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be one or two stories and has two adjacent sides that are engaged to the building while the other two sides are open.</p>				<p>40.14.090.F: Stoop. The main facade of the building is near the front or side street building site line with an elevated stoop, leading to the sidewalk. The Stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The Stoop is typically used for residential uses with small setbacks.</p>			

Key

T# Allowed

T# Not Allowed

Table 40.14.090.A Overview of Frontage Types (Continued)

Zones	N-S		N-M		N-S		N-M		N-S		N-M					
	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M				
	MS-L		MS-L		MS-L		MS-L		MS-L		MS-L					
Frontage Type	Dooryard				Forecourt				Maker Shopfront				Shopfront			
Section																
Plan																

Description **40.14.090.G: Dooryard.** The main facade of the building is set back from the front building site line, which is defined by a low wall, hedge, or other allowed screening, creating a small Dooryard. Each Dooryard is separated from adjacent Dooryards. The Dooryard may be raised or at grade and is appropriate for ground-floor residential or non-residential.

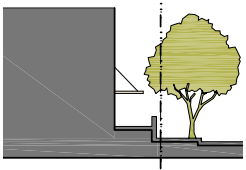
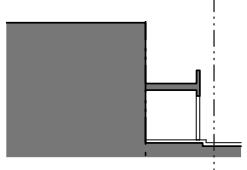
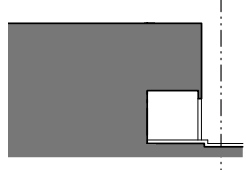
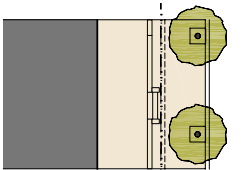


40.14.090.H: Forecourt. The main facade of the building is at or near the front building site line and a portion is set back, creating a small court, extending the public realm into the building site. The space may be used as an entry court or shared garden space for housing, or as an additional shopping or restaurant seating area within retail and service areas.

40.14.090.I: Maker Shopfront. The main facade of the building is at or near the front building site line with an at-grade or elevated entrance from the sidewalk. This type is intended for industrial artisan businesses to show their activity to people passing by on the sidewalk as well as for retail sales of products made on-site. This type may include a decorative roll-down or sliding door, including glazing and an awning that overlaps the sidewalk.

40.14.090.J: Shopfront. The main facade of the building is at or near the front building site line with at-grade entrance along the sidewalk. This type is intended for service, retail, or restaurant use. This type includes substantial glazing between the shopfront base and the ground floor ceiling and may include an awning that overlaps the sidewalk.

Key T# Allowed T# Not Allowed

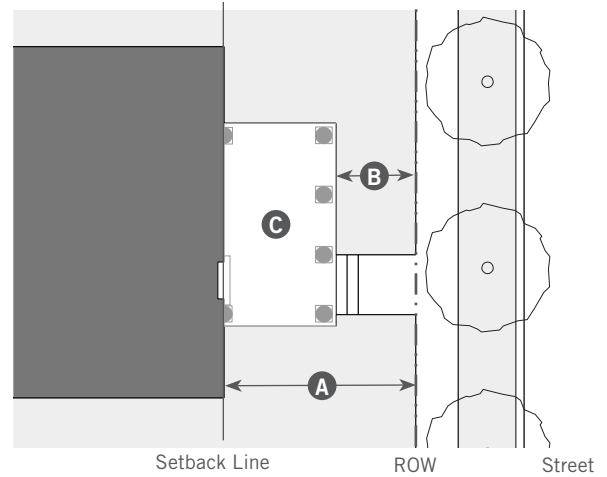
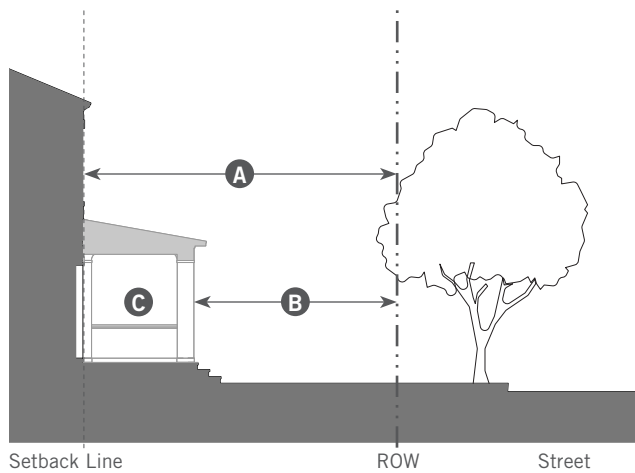
Table 40.14.090.A Overview of Frontage Types (Continued)

Frontage Type	Terrace	Gallery	Arcade																		
Zones	<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L	
N-S	N-M																				
N-L	MS-M																				
MS-L																					
N-S	N-M																				
N-L	MS-M																				
MS-L																					
N-S	N-M																				
N-L	MS-M																				
MS-L																					
Section																					
Plan																					

Description	<p>40.14.090.K: Terrace. The main facade is at or near the front or side street building site line with an elevated terrace providing public circulation along the facade. This type is used to provide at-grade access while accommodating an existing or intended grade change.</p>	<p>40.14.090.L: Gallery. The main facade of the building is at or near the front building site line and the gallery element overlaps a sidewalk not in the right-of-way. This type may be one or two stories. When used in nonresidential settings, the shopfront type is included, When used in residential settings, stoops, dooryards, and forecourts are included.</p>	<p>40.14.090.M: Arcade. The main facade of the building is at or near the front building site line and the arcade element, including habitable spaces, overlaps a sidewalk not in the right-of-way. When used in nonresidential settings, the shopfront type is included, When used in residential settings, stoops, dooryards, and forecourts are included.</p>
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Key T# Allowed T# Not Allowed

40.14.090.C Front Yard



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is set back from the front building site line resulting in a yard providing a buffer from the street. The yard may be fenced or unfenced.

2. Size

Overall: Per zone setback standards **A**

Distance between Porch and Sidewalk 6' min. **B**

3. Miscellaneous

Fences or allowed screening between front yards or between the sidewalk and front yard are allowed up to 3' tall.

Front Yards may include a Porch. **C**

N-S **N-M** **N-L** **MS-M** **MS-L**



Front Yard with fence for privacy and separation (covered entry shown).



Small Front Yard with landscaping to help accent and define the space.

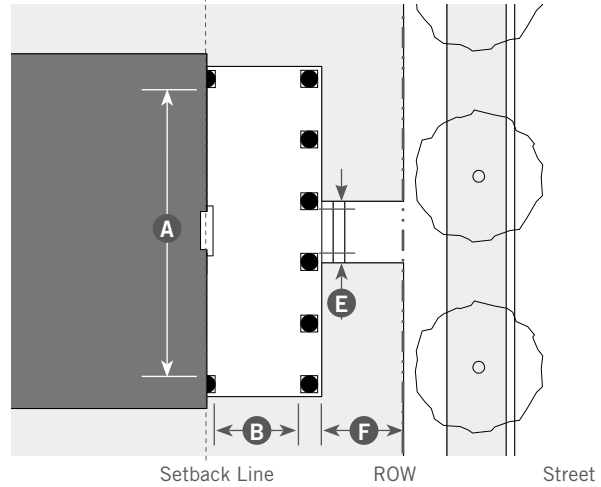
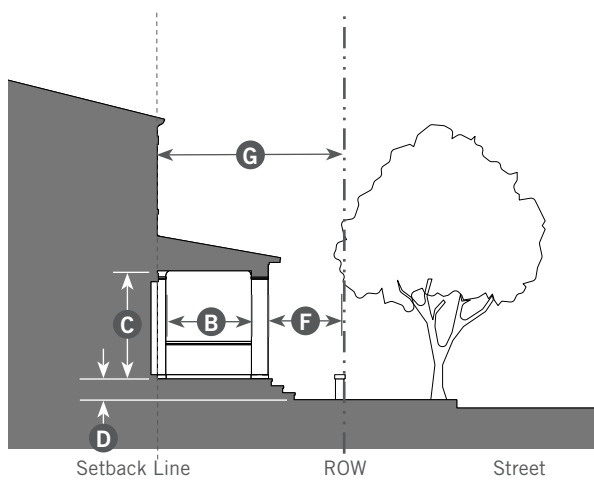
General Note: Photos on this page are illustrative, not regulatory.

Key

T# Allowed

T# Not Allowed

40.14.090.D Porch: Projecting



Key

--- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is set back from the front building site line with a porch encroaching into the front setback. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be one or two stories, is open on three sides, and all habitable space is located behind the building setback line.

2. Size

Width, Clear	10' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Finish Level above Sidewalk	12" min.	D
Stories	2 max.	
Pedestrian Access	3' wide min.	E
Distance between Porch and Sidewalk	6' min.	F
Depth	15' min.	G

3. Miscellaneous

- Porch must be open on three sides and have a roof.
- Porches are an allowable encroaching element, see Subsection G (Encroachments) of zone.
- When ramps are included Design Review is required.

Key **T# Allowed** **T# Not Allowed**

N-S **N-M** **N-L** **MS-M** **MS-L**



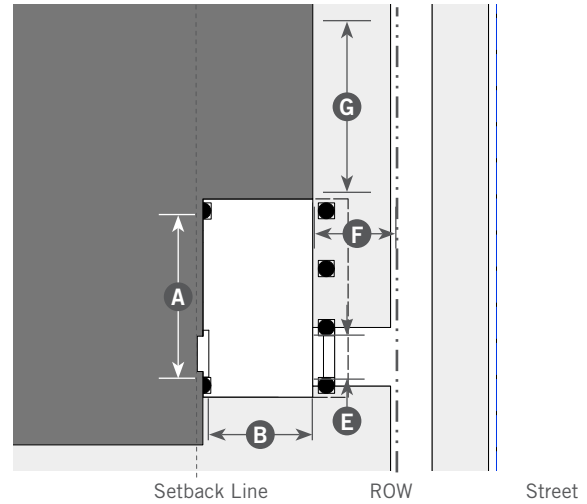
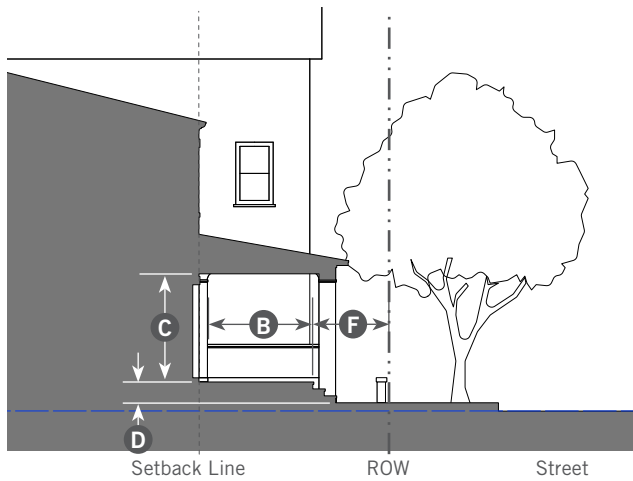
A Projecting Porch that matches the symmetry of the house.



A Projecting Porch on the front creates a space for seating and a platform for decor.

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.E Porch: Engaged



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

A portion of the main facade of the building is set back from the front building site line to include a porch that projects from the facade that is set back. The porch may project into the front yard. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be one or two stories and has two adjacent sides that are engaged to the building while the other two sides are open.

2. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Stories	2 max.	
Finish Level above Sidewalk	12" min.	D
Pedestrian Access	3' wide min.	E
Distance between Porch and Sidewalk	6' min.	F

3. Miscellaneous

Up to 20% of the building facade and porch(es) may project beyond the setback line into the encroachment area for the zone. **G**

Porch must be open on two sides and have a roof.

When ramps are included Design Review is required.

Key

T# Allowed

T# Not Allowed

N-S **N-M** **N-L** **MS-M** **MS-L**



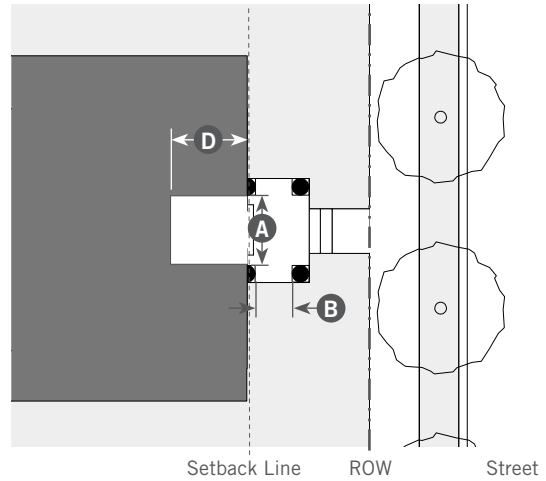
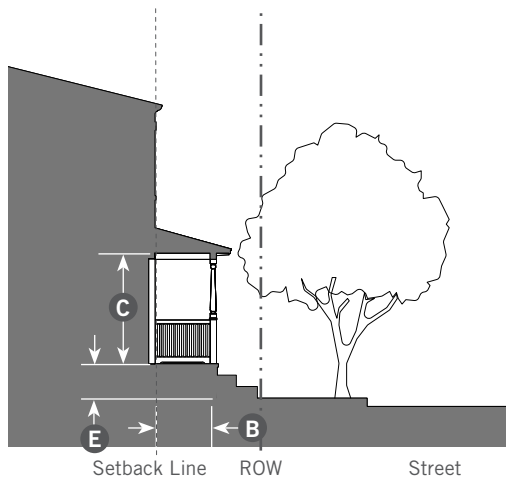
Two-story engaged porch with its long side fronting the street.



Engaged porch with centered entry.

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.F Stoop



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is near the front or side street building site line with an elevated stoop, leading to the sidewalk. The Stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The Stoop is typically used for residential uses with small setbacks.

2. Size

Width, Clear	5' min.	A
Depth, Clear	5' min.	B
Height, Clear	8' min.	C
Stories	1 max.	
Depth of Recessed Entries	12' max.	D
Finish Level above Sidewalk	12" min.	E

3. Miscellaneous

- Stairs may be perpendicular or parallel to the building facade.
- Ramps shall be parallel to facade or along the side of the building.
- Entry doors are covered or recessed to provide shelter from the elements.
- Gates are not permitted.
- All doors shall face the street.
- When ramps are included Design Review is required.

Key **T# Allowed** **T# Not Allowed**

N-S **N-M** **N-L** **MS-M** **MS-L**



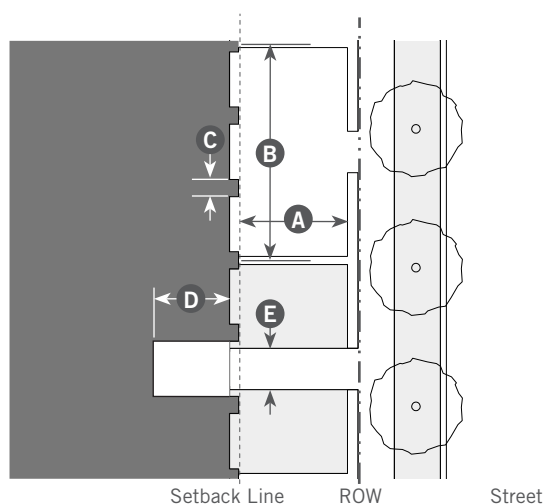
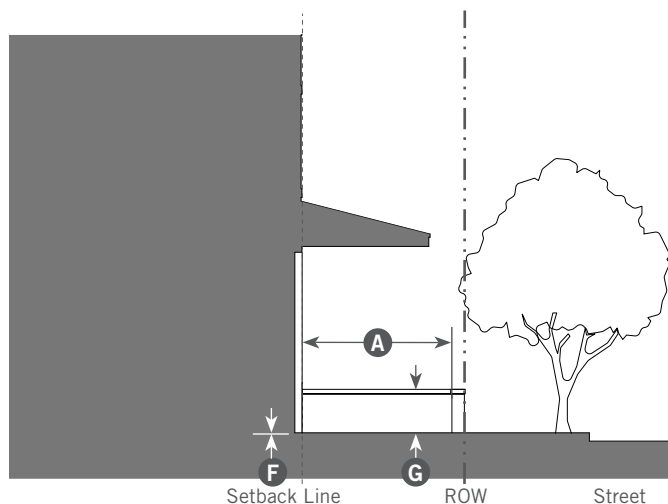
Stoops define the entry to this dwelling while elevating the ground floor from the sidewalk level.



Stoop with paired entries to Townhouse units.

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.G Dooryard



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is set back from the front building site line, which is defined by a low wall, hedge, or other allowed screening, creating a small Dooryard. Each Dooryard is separated from adjacent Dooryards. The Dooryard may be raised or at grade and is appropriate for ground-floor residential or non-residential.

2. Size

Depth, Clear	8' min.	A
Length	15' min.	B
Distance between Glazing	4' max.	C
Depth of Recessed Entries	12' max.	D
Pedestrian Access	3' wide min.	E
Finish Level above Sidewalk	12" min.	F
Height of Dooryard Fence/Wall above Finish Level	36" max.	G

3. Miscellaneous

For live/work, retail, service, and restaurant uses, the Shopfront Frontage Type is to be applied.

Each Dooryard shall provide access to only one ground floor entry.

When ramps are included Design Review is required.

N-S N-M N-L MS-M MS-L



Small Dooryards include low fences to provide a visual transition from the public sidewalk.



A series of small Dooryards with small gardens along the front of each ground floor unit.

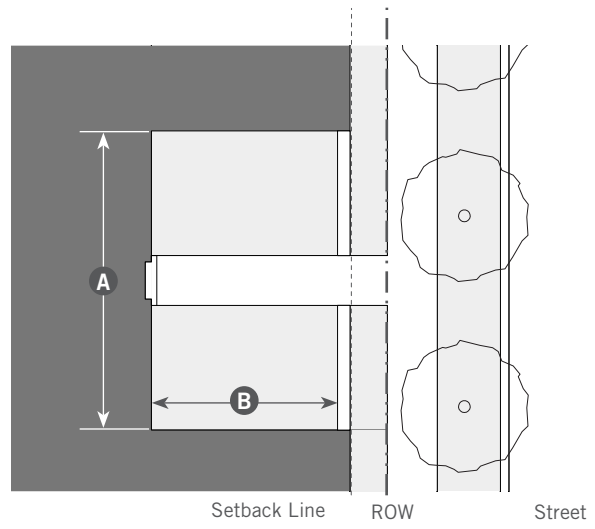
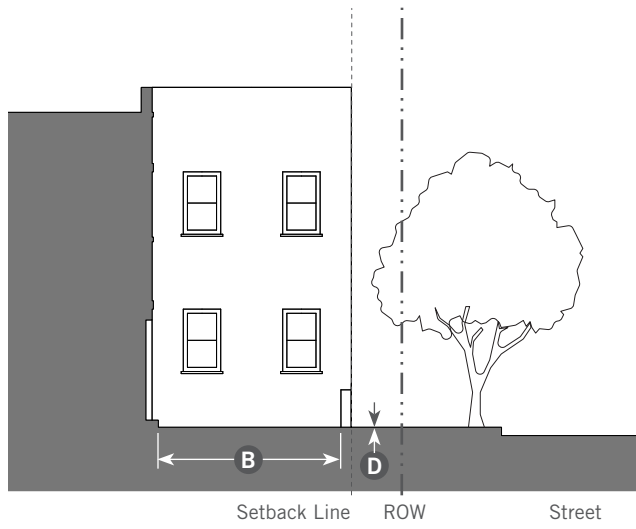
General Note: Photos on this page are illustrative, not regulatory.

Key

T# Allowed

T# Not Allowed

40.14.090.H Forecourt



Key

--- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is at or near the front building site line and a portion is set back, creating a small court, extending the public realm into the building site. The space may be used as an entry court or shared garden space for housing, or as an additional shopping or restaurant seating area within retail and service areas.

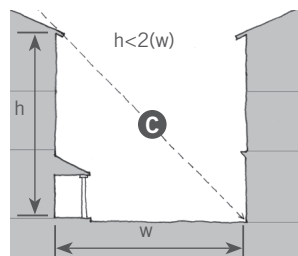
2. Size

Width, Clear	15' min.	A
Depth, Clear	15' min.	B
Ratio, Height to Width	2:1 max.	C
Height from Sidewalk	Flush with sidewalk	D

3. Miscellaneous

May be utilized to group several entries at a common elevation in compliance with the zones' ground floor finish level standards.

The proportions and orientation of these spaces shall comply with the diagram below for solar orientation and user comfort.



Key **T# Allowed** **T# Not Allowed**

N-S N-M **N-L** MS-M MS-L



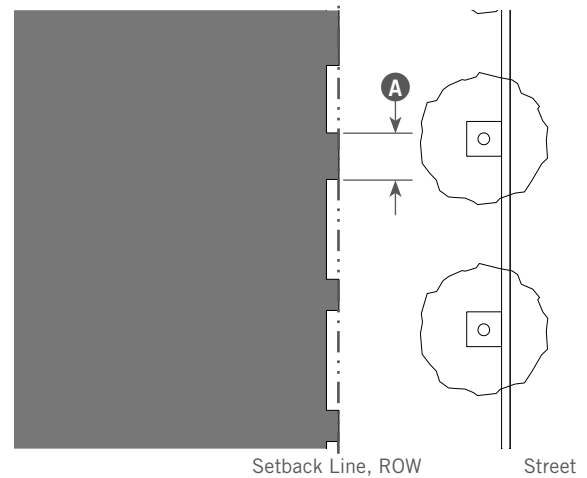
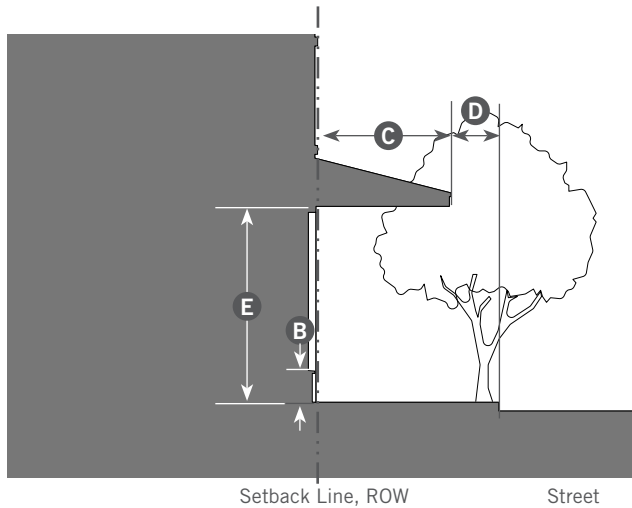
Forecourt visually extends the public realm into this retail and office building



Forecourt provides unique entries for tenants and reduces the overall massing of the buildings shaping the space.

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.I Maker Shopfront



Key

--- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is at or near the front building site line with an at-grade or elevated entrance from the sidewalk. This type is intended for industrial artisan businesses to show their activity to people passing by on the sidewalk as well as for retail sales of products made on-site. This type may include a decorative roll-down or sliding door, including glazing and an awning that overlaps the sidewalk.

2. Size

Distance between Glazing	8' max.	A
Ground Floor Glazing between Sidewalk and Finished Ceiling Height	30% min.	
Depth of Recessed Entries	No max.	
Shopfront Base (if used)	36" max.	B

3. Awning

Depth	5' min.	C
Setback from Curb	2' min.	D
Height, Clear	8' min.	E

4. Miscellaneous

Rounded and hooped awnings not allowed.
Decorative accordion-style doors/windows or other operable windows that allow the space to open to the street require Director approval.

- N-S
- N-M
- N-L
- MS-M**
- MS-L



Maker Shopfront with large windows and pedestrian scale entrances.

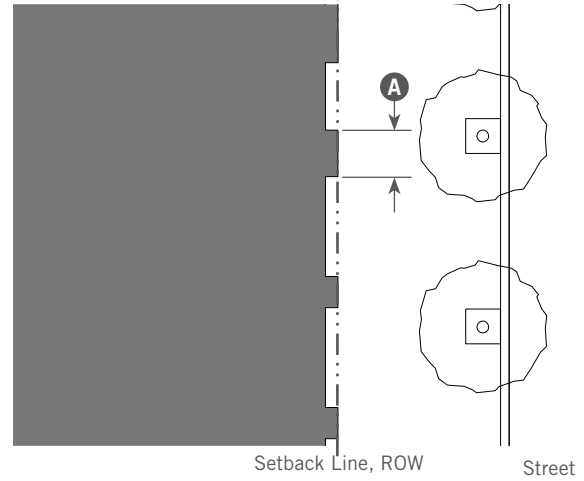
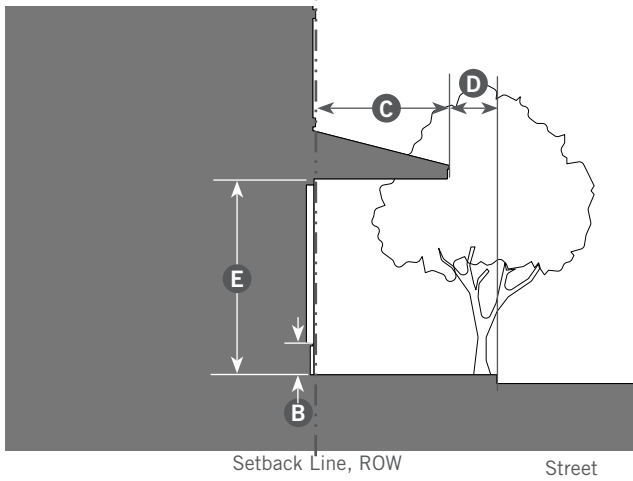


Maker Shopfront with double entry doors.

Key **T#** Allowed **T#** Not Allowed

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.J Shopfront



Key

---- ROW / Building Site Line ----Setback Line

1. Description

The main facade of the building is at or near the front building site line with at-grade entrance along the sidewalk. This type is intended for service, retail, or restaurant use. This type includes substantial glazing between the shopfront base and the ground floor ceiling and may include an awning that overlaps the sidewalk.

2. Size

Distance between Glazing	2' max.	A
Ground Floor Glazing Between top of Shopfront base and Finished Ceiling Height	75% min.	
Depth of Recessed Entries	5' max.	
Shopfront base	6" min.; 30" max.	B

3. Awning

Depth	5' min.	C
Setback from Curb	2' min.	D
Height, Clear	8' min.	E

4. Miscellaneous

- Residential types of windows are not allowed.
- Rounded and hooped awnings are not allowed unless part of a historically designated building.
- Decorative accordion-style doors/windows or other operable windows that allow the space to open to the street are subject to Director approval.

Key **T# Allowed** **T# Not Allowed**

N-S N-M **N-L** MS-M MS-L



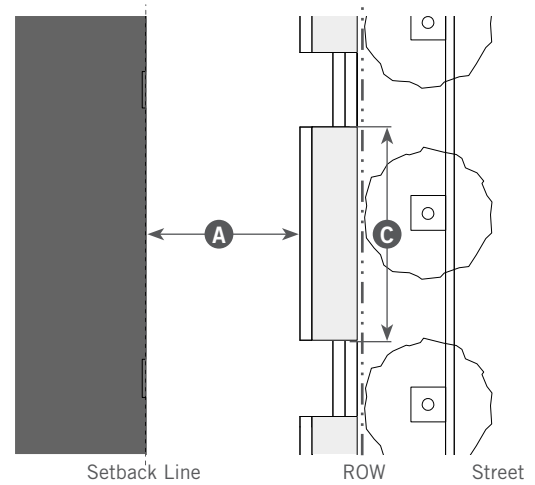
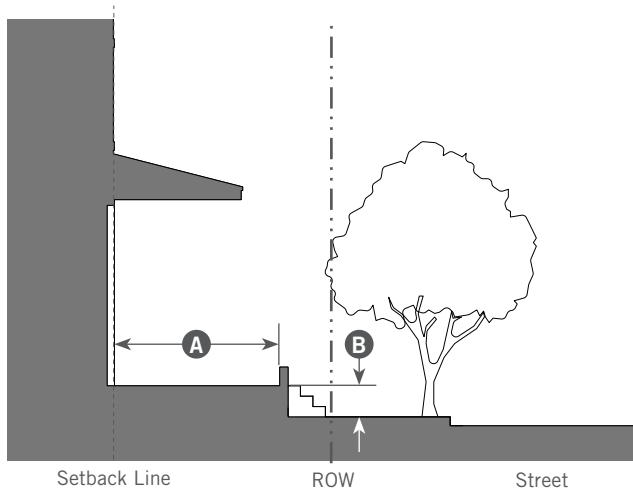
Simple opening with large windows and minimum shopfront base accenting the display.



Shopfront with recessed entry and simple large windows.

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.K Terrace



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade is at or near the front or side street building site line with an elevated terrace providing public circulation along the facade. This type is used to provide at-grade access while accommodating an existing or intended grade change.

2. Size

Depth of Terrace	8' min. residential 12' min. non-residential	A
Finish Level above Sidewalk	24" max.	B
Length of Terrace	100' max.	
Distance between Stairs	25' max.	C

3. Miscellaneous

These standards are to be used with those for the Shopfront Frontage Type where the zone requires the Shopfront type.

Where the frontage type requires the ground floor to be flush with the sidewalk, the terrace shall be considered to be the sidewalk.

Low walls used as seating are allowed.

May be utilized to group several entries at a common elevation in compliance with the zones' ground floor finish level standards.

- N-S
- N-M
- N-L
- MS-M
- MS-L



Terrace accommodates a change in grade with low walls for seating while keeping visual connection with sidewalk.

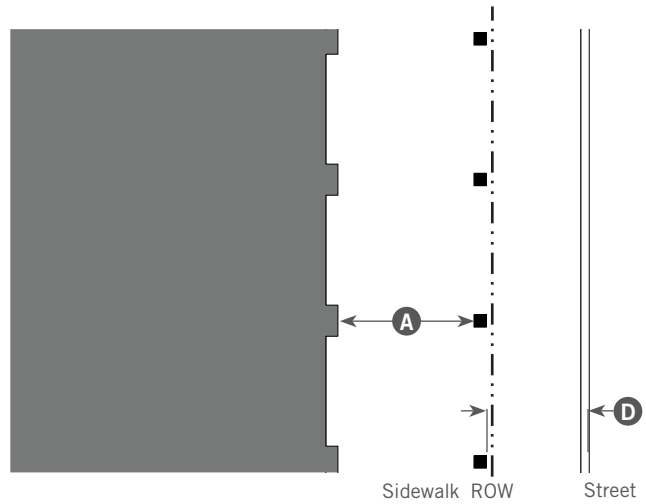
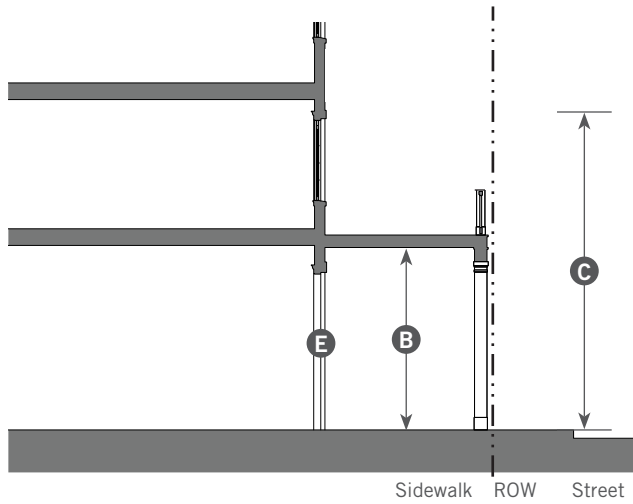


One terrace spans across several ground floor live/work units with individual entries separated by landscaping.

General Note: Photos on this page are illustrative, not regulatory.

Key **T# Allowed** **T# Not Allowed**

40.14.090.L Gallery



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is at or near the front building site line and the gallery element overlaps a sidewalk not in the right-of-way. This type may be one or two stories. When used in nonresidential settings, the Shopfront type is included. When used in residential settings, stoops, dooryards, and forecourts are included.

2. Size

Depth, Clear	8' min.	A
Ground Floor Height, Clear	12' min.	B
Height	2 stories max.	C
Setback from public ROW	0 min.	D
Ceiling height when balcony above Gallery is covered.	9' min.	

3. Miscellaneous

In the MS-M and MS-L zones, galleries shall also follow the regulations for the Shopfront Frontage Type. **E**

Galleries shall have a consistent depth.

Galleries shall not project over the sidewalk in the public right-of-way.

- N-S
- N-M
- N-L
- MS-M
- MS-L

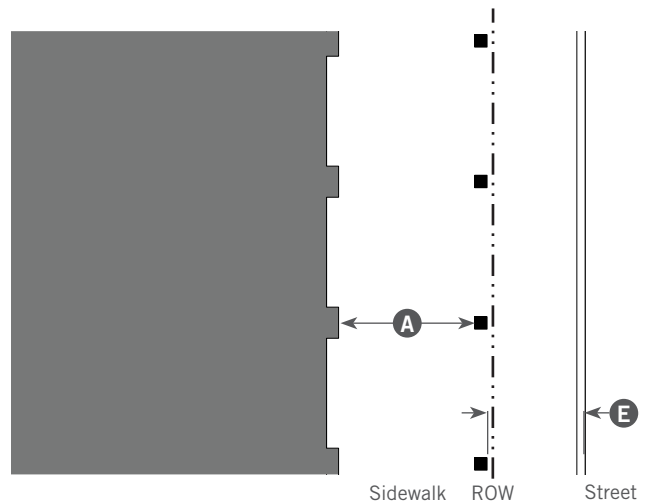
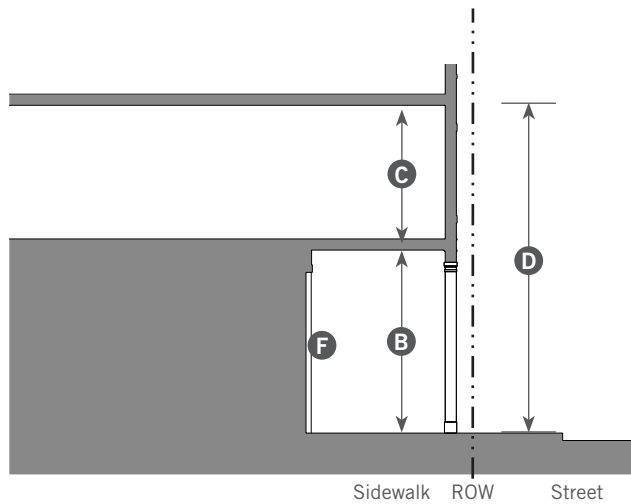


A two-story Gallery fronting a passage.

Key **T#** Allowed **T#** Not Allowed

General Note: Photos on this page are illustrative, not regulatory.

40.14.090.M Arcade



Key

---- ROW / Building Site Line - - - - - Setback Line

1. Description

The main facade of the building is at or near the front building site line and the arcade element, including habitable spaces, overlaps a sidewalk not in the right-of-way. When used in nonresidential settings, the Shopfront type is included. When used in residential settings, stoops, dooryards, and forecourts are included.

2. Size

Depth, Clear	8' min.	A
Ground Floor Height, Clear	12' min.	B
Upper Floor Height, Clear	9' min.	C
Height	2 stories max.	D
Setback from public ROW	0 min.	E

3. Miscellaneous

In the MS-M and MS-L zones, galleries shall also follow the regulations for the Shopfront Frontage Type. **F**

Arcades shall have a consistent depth.

Arcades shall not project over the sidewalk in the public right-of-way.

- N-S
- N-M
- N-L
- MS-M
- MS-L



Shopfronts and seating line the Arcade.

Key

T# Allowed

T# Not Allowed

General Note: Photos on this page are illustrative, not regulatory.

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40.14.100 Specific to Civic Spaces

- A. **Purpose.** This Section sets forth the standards applicable to existing and new civic spaces and civic buildings. These standards supplement the standards for each zone. Civic space is land that is improved for civic gathering purposes per one of the allowed types in this Section.
1. **Amount of Civic Space Required.** Sites of at least 1.3 acres are required to include a minimum of 5 percent of the site as civic space. One or more civic spaces may be used to meet this requirement.
 2. **Building Frontage Along or Adjacent to a Civic Space.** The facades on building sites attached to or across a street from a civic space shall be designed as a "front" on to the civic space, in compliance with Subsection E (Building Placement) and Subsection H (Frontages) of the zone standards.

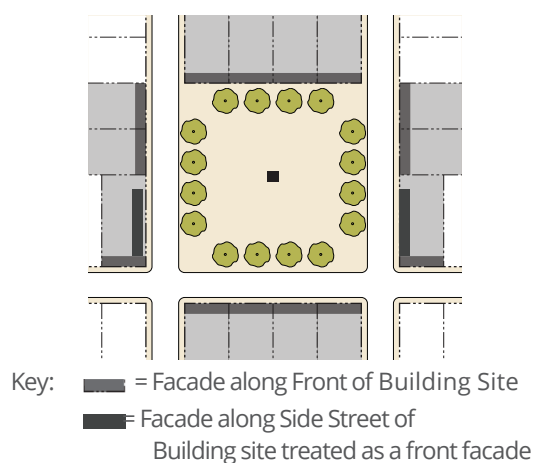


Figure 40.14.100.A

- B. **Overview.** This Section identifies the allowed civic space types and standards for improvements to existing civic spaces and for construction of new civic spaces. Civic space types identified in Table 40.14.100.A (Overview of Civic Space Types).

Table 40.14.100.A: Overview of Civic Space Types

Zone	N-S	N-M	N-L	N-S	N-M	N-L	N-S	N-M	N-L
	MS-M	MS-L		MS-M	MS-L		MS-M	MS-L	
Civic Space Type	Pocket Park/Plaza			Playground			Passage		
Illustration									
Description	<p>40.14.100.C: Pocket Park/Plaza. A small-scale space, serving the immediate neighborhood, available for informal activities in close proximity to neighborhood residences, and civic purposes, intended as intimate spaces for seating or dining.</p>			<p>40.14.100.D: Playground. A small-scale space designed and equipped for the recreation of children. These spaces serve as quiet, safe places protected from the street and typically in locations where children do not have to cross any major streets. An open shelter, play structures, or interactive art and fountains may be included with landscaping between. Playgrounds may be included within all other civic space types.</p>			<p>40.14.100.E: Passage. A pedestrian pathway that extends from the public sidewalk into a civic space and/or across the block to another public sidewalk. The pathway is lined by non-residential shopfronts and/or residential ground floors and pedestrian entries.</p>		

Key T# Allowed T# Not Allowed

Table 40.14.110.A: Overview of Civic Space Types (Continued)

Zone	N-S	N-M	N-L	N-S	N-M	N-L	N-S	N-M	N-L
	MS-M	MS-L		MS-M	MS-L		MS-M	MS-L	
Civic Space Type	Community Garden			Plaza			Green		
Illustration									
Description	<p>40.14.100.F: Community Garden. A small-scale space designed as a grouping of garden plots available to nearby residents for small-scale cultivation. Community gardens may be fenced and may include a small accessory structure for storage. Community gardens may be included within all other civic space types.</p>			<p>40.14.100.G: Plaza. A community-wide focal point primarily for civic purposes and commercial activities. Plazas are typically hardscaped with planting as accents. Commercial activities are subordinate to civic activity.</p>			<p>40.14.100.H: Green. A large space available for unstructured and limited amounts of structured recreation.</p>		

Key T# Allowed T# Not Allowed

40.14.100.C Pocket Park/Plaza



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	------	------

1. Description

A small-scale space, serving the immediate neighborhood, available for informal activities in close proximity to neighborhood residences, and civic purposes, intended as intimate spaces for seating or dining.

2. General Character

- Accessory Structure(s) < 200 sf
- Formal or informal, urban.
- Combination of planted areas and hardscape.
- Spatially defined by building frontages and adjacent street trees.
- Walkways along edges or across space.

3. Size and Location

- 40' min. in any direction.
- 25' min. in any direction between 2nd and 3rd and E and F Streets.

4. Typical Uses

- Civic activity
- Passive recreation, outdoor seating
- Commercial uses in support of civic activity

Key **T# Allowed** **T# Not Allowed**

40.14.100.D Playground



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	------	------

1. Description

A small-scale space designed and equipped for the recreation of children. These spaces serve as quiet, safe places protected from the street and typically in locations where children do not have to cross any major streets. An open shelter, play structures, or interactive art and fountains may be included with landscaping between. Playgrounds may be included within all other civic space types.

2. General Character

- Focused toward children.
- Play structure, interactive art, and/or fountains.
- Shade and seating provided.
- May be fenced.
- Spatially defined by trees.

3. Size and Location

No minimum.

4. Typical Uses

- Active and passive recreation
- Casual seating

Key T# Allowed T# Not Allowed

40.14.100.E Passage



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	------	------

1. Description

A pedestrian pathway that extends from the public sidewalk into a civic space and/or across the block to another public sidewalk. The pathway is lined by non-residential shopfronts and/or residential ground floors and pedestrian entries.

2. General Character

- Formal, urban.
- No accessory structure(s).
- Primarily hardscape with landscape accents.
- Spatially defined by building frontages.
- Trees and shrubs in containers and/or planters.

3. Size and Location

15' min. between or through buildings.

4. Typical Uses

- Civic activity
- Commercial in support of civic activity
- Casual seating and/or outdoor dining
- Ground floor residential

Key T# Allowed T# Not Allowed

40.14.100.F Community Garden



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	------	------

1. Description

A small-scale space designed as a grouping of garden plots available to nearby residents for small-scale cultivation. Community gardens may be fenced and may include a small accessory structure for storage. Community gardens may be included within all other civic space types.

2. General Character

- Accessory Structure(s) < 2,000 sf
- Plant beds (in-ground or raised).
- Decorative fencing, when fencing present.
- Spatially defined by adjacent buildings and street trees.

3. Size and Location

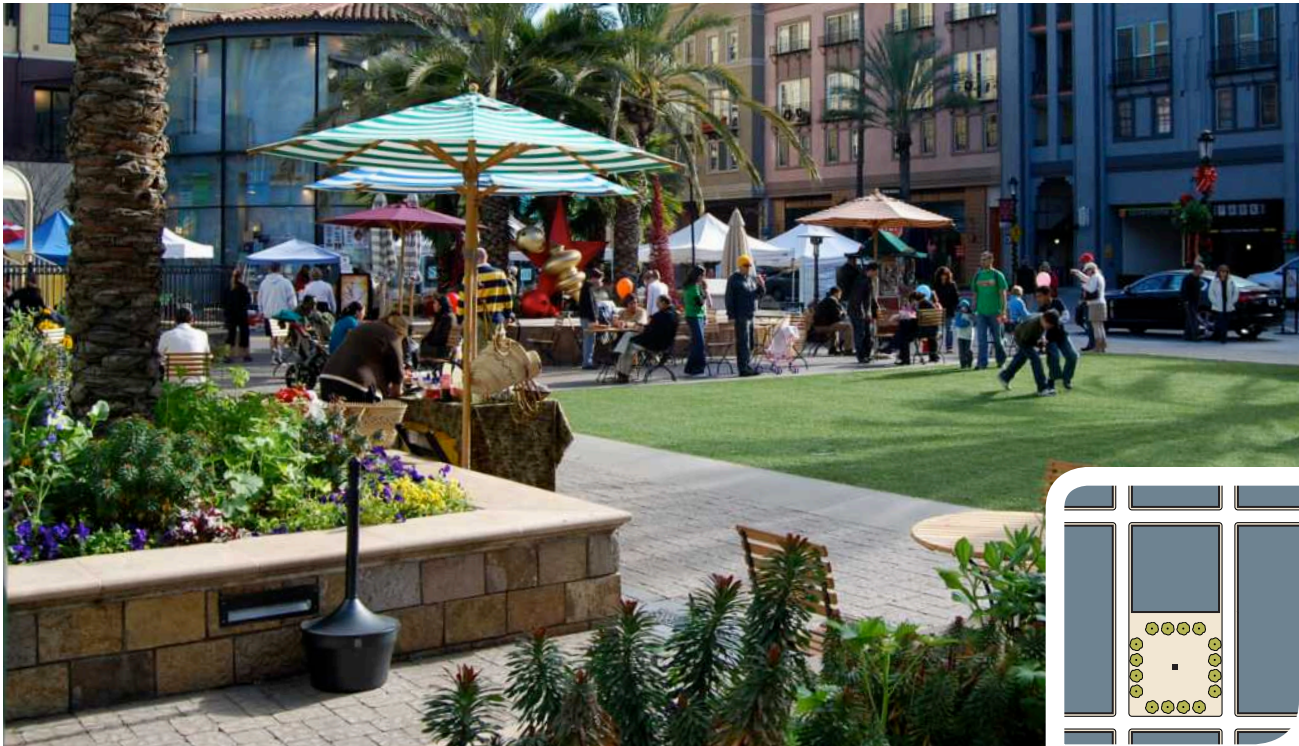
No minimum within any building site as allowed by the zone.

4. Typical Uses

- Food production
- Passive recreation

Key T# Allowed T# Not Allowed

40.14.100.G Plaza



General Note: Photos on this page are illustrative, not regulatory.

- N-S
- N-M
- N-L
- MS-M
- MS-L

1. Description

A community-wide focal point primarily for civic purposes and commercial activities. Plazas are typically hardscaped with planting as accents. Commercial activities are subordinate to civic activity.

2. General Character

Accessory Structure(s) < 1,500 gsf; fountains, benches
Formal, urban.

Hardscaped and planted areas in formal patterns.
Spatially defined by buildings and tree-lined streets.

3. Size and Location

100 ft. min. in any direction.
Streets required on two of the Plaza's sides. Facades, on building sites attached to or across a street, shall "front" on to the Plaza.

4. Typical Uses

- Civic uses
- Commercial uses in support of civic uses
- Passive recreation

Key T# Allowed T# Not Allowed

40.14.100.H Green



General Note: Photos on this page are illustrative, not regulatory.

- N-S
- N-M
- N-L
- MS-M
- MS-L

1. Description

A large space available for unstructured and limited amounts of structured recreation.

2. General Character

Accessory Structure(s) < 5,000 gsf; fountains, benches
Informal or formal.

Primarily planted areas with paths to and between recreation areas and civic buildings.

Spatially defined by tree-lined streets and adjacent buildings.

3. Size and Location

150' min. in any direction.

Streets required on at least 2 sides of the Green.
Facades, on building sites attached to or across a thoroughfare, shall "front" onto the Green.

4. Typical Uses

Unstructured passive and active recreation

Civic uses

Temporary commercial uses

Key T# Allowed T# Not Allowed

40.14.110 Specific to Sign Types

- A. **Purpose.** This Section sets forth the standards for new and modified signage in support of the community vision as follows:
1. Provide property owners and occupants an opportunity for effective identification;
 2. Provide reasonable, yet appropriate conditions for identifying allowed goods sold or produced or services rendered in all Downtown Zones;
 3. Maintain and enhance the quality of the City's appearance by:
 - a. Controlling the size, location and design of temporary and permanent signs so that the appearance of such signs will reduce sign clutter, be aesthetically harmonious with their surroundings, and will enhance the overall appearance of the built environment;
 - b. Preserving and perpetuating uncluttered and natural views, significant architecture and cultural resources for the enjoyment and environmental enrichment of the citizens of the community and visitors; and
 - c. Protecting residential neighborhoods from adverse impacts of excessive signs; and
 4. Ensure that signs are located and designed to:
 - a. Maintain a safe and orderly pedestrian and vehicular environment; and
 - b. Reduce potentially hazardous conflicts between commercial or identification signs and traffic control devices and signs.
 5. All signs require the review and approval of the Director.
- B. **Exempt Signs.** The following signs are exempt from the permit standards of this Section and are permitted in any Downtown zone.
1. Street address numbers, house numbers, "No Trespassing," "No Parking," and other warning signs.
 2. Days and Hours of Operation.
 3. Public information, identification, special event, directional, and other signs erected by:
 - a. A government agency; or
 - b. A public utility or other quasi-public agent in the performance of a public duty.
 4. City entry, community or district identification signs.
 5. Names of buildings, dates of erection, commemorative tablets and the like, when carved into stone, concrete or similar material or made of bronze, aluminum or other permanent type material.
 6. Credit card, or trade association signs not exceeding one-half square foot each and not exceeding five per establishment.
 7. Directional On-Site Signs provided that such signs are limited to a maximum of six square feet. If constructed as a ground mounted sign, the maximum height is four feet.
 8. Real Estate Sign.

- a. The sign may be a ground sign, a window sign, or a wall sign. Only one such sign is allowed per site per street frontage. If a ground sign, it shall follow the standards for 40.14.110.G (Yard/Porch Sign).
- b. All signs shall be removed within 14 days after the sale, lease, or rental has occurred. These signs may only be installed on the property to which they refer.
- c. Temporary open house signs are allowed, provided that they are limited in number to a maximum of four per event. An open house sign may only be installed the day before the open house and shall be removed the same day of the open house after its conclusion. In no case shall an open house sign be installed for more than 48 continuous hours.

C. Prohibited Locations and Features for Signs.

1. Prohibited Locations.

- a. No permanent sign shall be installed within the public right-of-way unless displayed by a governmental entity or pursuant to a revocable encroachment permit.
- b. Signs shall not be located on property without prior authorization from the property owner, or in the case of public parks or any public property without the permission of the City.
- c. Signs shall not be located where the view of approaching or intersecting traffic would be obstructed, in compliance with the Davis Municipal Code.
- d. Signs shall not be located as to interfere with the safe movement of vehicles, bicycles, and/or pedestrians entering, leaving, or crossing a public right-of-way.
- e. Signs shall not be located on the roofs of buildings or structures except as allowed by Section 40.14.110.Q (Roof Sign).
- f. Signs shall not be attached to any traffic control sign, utility pole, street sign, or tree, except for temporary signs installed by a government agency for public information and/or special events.
- g. Signs shall not be mounted, attached, or painted on a trailer, boat, or motor vehicle when parked, stored, or displayed conspicuously on private premises close to the public right-of-way or within public right-of-way in a manner intended to attract the attention of the public for advertising purposes. Signs indicating only the name and or phone number of the owner or business are allowed if the following standards are met:
 - (1) The sign is painted on, adhered with vinyl film, or magnetically attached to motor vehicles and/or trailer; and
 - (2) The motor vehicle and/or trailer is regularly and consistently used to conduct normal business activities.

2. **Prohibited Features and Signs.**

- a. Moving, flashing, or animated signs including but not limited to searchlights, streamers and spinners;
- b. Inflatable signs, such as but not limited to balloons, gas inflated signs or similar inflated signs;
- c. Portable signs, except for Sidewalk Signs as allowed in 40.14.110.M (Sidewalk Sign);
- d. Cabinet signs;
- e. Vinyl materials on signs within 25 feet of the sidewalk, except window signs; and
- f. Outdoor image projections (signs projected from an external light source onto a building or structure) or any other similar devices.

D. **Permanent Signs.**

1. Permanent Signs shall meet the standards set forth in Table 40.14.110.A (Overview of Sign Types).
2. The number of allowed permanent signs is stated in Subsection J (Signage) of the Zone.

E. **Temporary Signs.** Temporary signs are allowed in all Downtown Zones and shall meet the following standards:





1. Temporary Sign Permit or a Certificate of Compliance required as determined by the Director; and
2. Shall only be externally illuminated.

F. **Illumination.** Where allowed, illumination is required to be indirect (e.g. gooseneck fixtures) Holo-lit, reserve-lit letters, logos, or other unique sign features are subject to Director review and approval. Box signage and visible raceways are not allowed.

G. **Upper Story Tenants.** Upper story signage for individual tenants or groups of tenants is allowed only on a building directory near the building entrance.




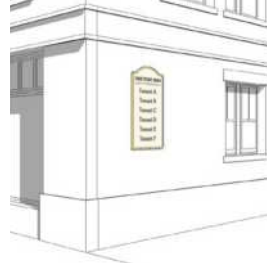
H. **Overview.** This Section identifies the sign types allowed in each zone. See Table 40.14.110.A (Overview of Sign Types) for descriptions and reference to standards.

Table 40.14.110.A: Overview of Sign Types

Sign Type	Yard/Porch Sign	Projecting Sign	Awning/Canopy Sign	Wall Sign																								
Zones	<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L	
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MS-L																												
Illustration																												
Description	<p>40.14.110.G: Yard/Porch Sign. A sign mounted on a porch or in a yard between the public ROW and the building facade. This sign is pedestrian-scaled and easily read from the sidewalk.</p>	<p>40.14.110.H: Projecting Sign. A sign mounted perpendicular to a building's facade, by decorative brackets that may allow the sign to swing slightly. This sign is small in size, pedestrian scaled; and easily read along the sidewalk.</p>	<p>40.14.110.I: Awning/Canopy Sign. A sign on the awning or canopy of a shopfront that is a pedestrian-scaled and is read along the sidewalk or from the other side of the street.</p>	<p>40.14.110.J: Wall Sign. A sign flat against the facade, consisting of individual cut letters applied directly to the building or painted directly on the surface of the building, and pedestrian-scaled if on the ground floor and larger if on upper stories. Wall Signs are placed above shopfronts and run horizontally along the "expression line," entablature of traditional buildings, or decorative cornice or sign band at the top of the building.</p>																								

Key T# Requires Director Approval T# Not Allowed

Table 40.14.110.A: Overview of Sign Types (Continued)

Zones	N-S	N-M	N-S	N-M	N-S	N-M	N-S	N-M
	N-L	MS-M	N-L	MS-M	N-L	MS-M	N-L	MS-M
	MS-L		MS-L		MS-L		MS-L	
Sign Type	Wall Mural Sign		Window Sign		Sidewalk Sign		Directory Sign	
Illustration								
Description	40.14.110.K: Wall/ Mural Sign. A sign flat against a secondary facade, typically along a side street, alley, or on the front facade of a Maker Shopfront or, along the side of a vacant lot or building site. These signs are typically painted directly on the building, pedestrian-scaled if on the ground floor and larger if on upper stories. These signs are intended to be visible from a greater distance and in addition signage on the primary facade at the business entrance.		40.14.110.L: Window Sign. A sign consisting of individual letters and designs applied directly on the inside of a window.		40.14.110.M: Sidewalk Sign. A sign that provides secondary signage and may be used to announce daily specials, sales, or point to shops off the sidewalk.		40.14.110.N: Directory. A sign that provides a listing of establishments within a building or series of buildings, entrances and parking locations.	

Key

T# Requires Director Approval

T# Not Allowed

Table 40.14.110.A: Overview of Sign Types (Continued)

Zones	<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L		<table border="1"> <tr><td>N-S</td><td>N-M</td></tr> <tr><td>N-L</td><td>MS-M</td></tr> <tr><td>MS-L</td><td></td></tr> </table>	N-S	N-M	N-L	MS-M	MS-L	
N-S	N-M																				
N-L	MS-M																				
MS-L																					
N-S	N-M																				
N-L	MS-M																				
MS-L																					
N-S	N-M																				
N-L	MS-M																				
MS-L																					
Sign Type	Changeable Copy Sign	Marquee Sign	Roof Sign																		
Illustration																					
Description	<p>40.14.110.O: Changeable Copy. A sign that is designed so that characters, letters, numbers, or illustrations can be manually changed or rearranged without altering the face or surface of the sign.</p>	<p>40.14.110.P: Marquee. A vertically-oriented sign located either along the face where it projects perpendicular to the facade, or at the corner of the building where it projects at a 45 degree angle. These signs may extend beyond the parapet of the building but may also terminate below the cornice or eave.</p>	<p>40.14.110.Q: Roof Sign. A sign on the roof of a six or seven-story building intended for viewing from a distance of one or multiple blocks. These signs are required to have distinctive physical character in exchange for it being mounted on the roof.</p>																		

Key

T# Requires Director Approval

T# Not Allowed

40.14.110.G Yard/Porch Sign



Example of a Yard Sign.



Example of Porch Sign near the building entrance.

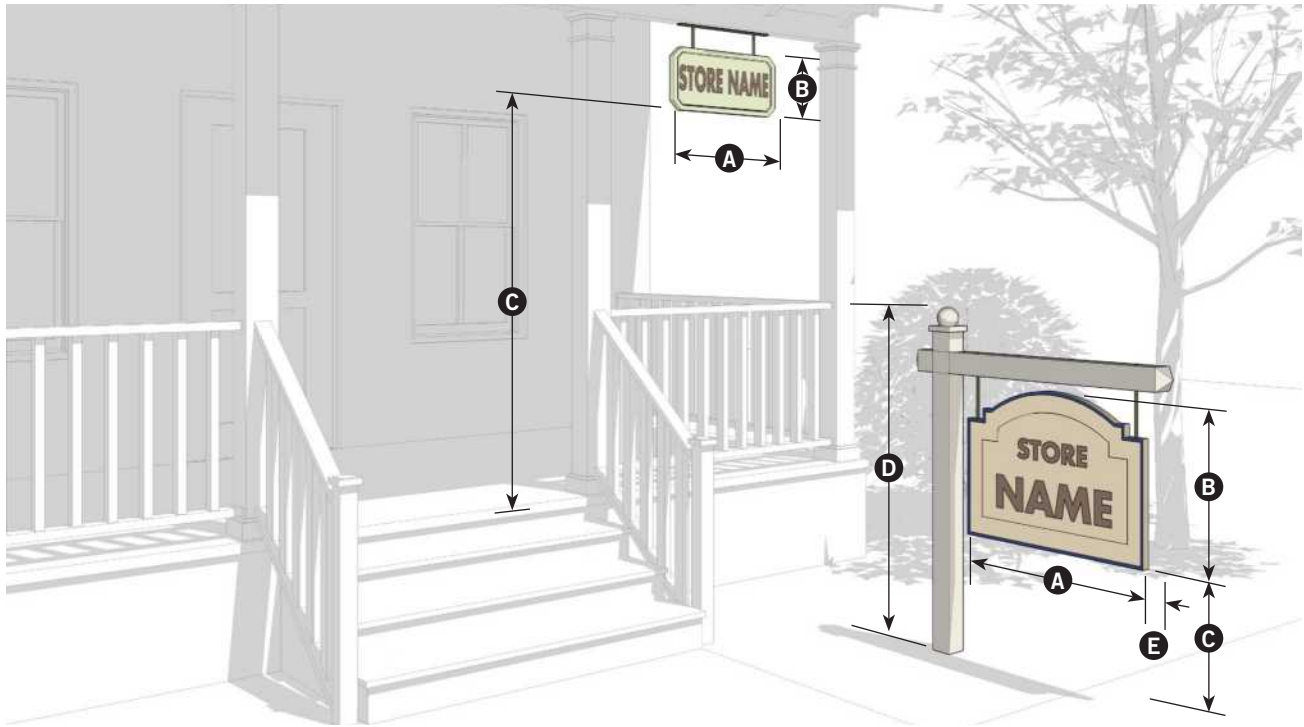


Example of a Yard Sign.

1. Description

A sign mounted on a porch or in a yard between the public ROW and the building facade. This sign is pedestrian-scaled and easily read from the sidewalk.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area	6 sf max.	
Width	36" max.	A
Height	36" max.	B

Max one sign allowed per building.

3. Location

Clear Height		C
Mounted on Porch	6'8" min.	
Mounted in Yard	12" min.	

Overall Height		
Mounted in Yard	5' max	D

Distance from Sidewalk	24" min.	E
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4. Miscellaneous

Yard/Porch Signs are allowed within the public ROW.

Yard mounted signs shall be parallel or perpendicular to the ROW.

Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

In N-S, N-M and N-L only within 50' of street corner.

N-S	N-M	N-L	MS-M	MS-L
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Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.H Projecting Sign



Example of a Projecting Sign.



Example of a Projecting Sign.

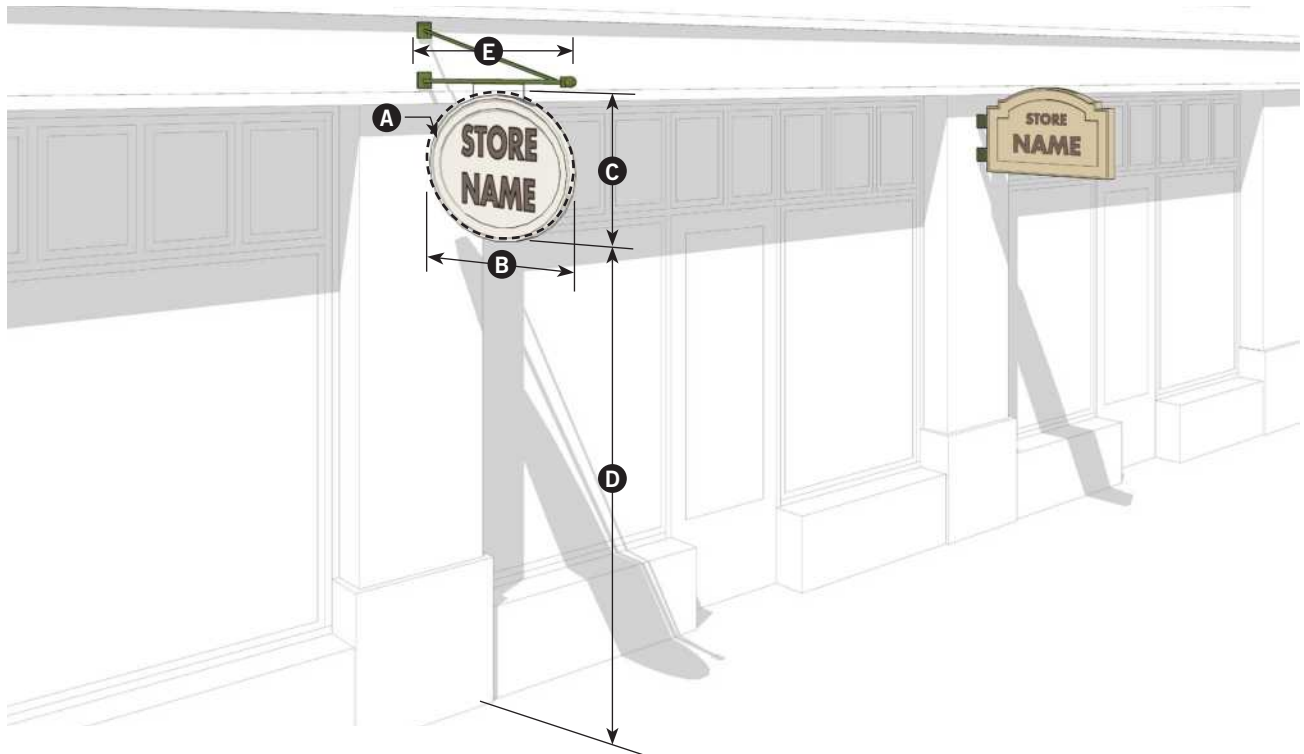


Examples of a Projecting Sign.

1. Description

A sign mounted perpendicular to a building's facade, by decorative brackets that may allow the sign to swing slightly. This sign is small in size, pedestrian scaled; and easily read along the sidewalk.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Area	6 sf per side, max.; 12 sf total, max.	A
Width	36" max.	B
Height	36" max.	C
Thickness	4" max. ¹	

¹ Creative signs that have a three-dimensional quality may have a greater thickness subject to Director approval.

Max one sign allowed per business.

3. Location

Clear Height	8' min.	D
Projection	4' max.	E

4. Miscellaneous

Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

In N-S, N-M and N-L only within 50' of street corners.

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	------	------

Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.I Awning/Canopy Sign



Example of Awning Sign with signs on valance and canopy.



Example of glass Awning/Canopy Sign.

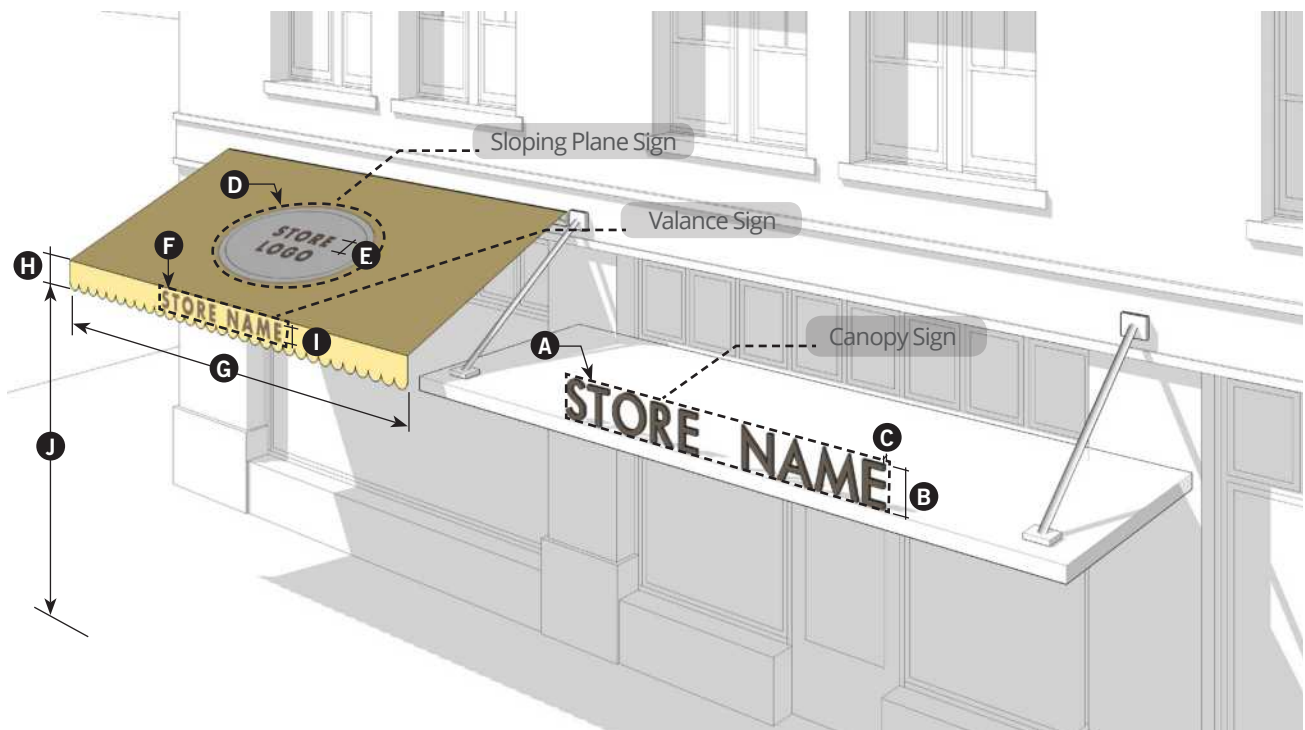


Example of Awning/Canopy Sign.

1. Description

A sign on the awning or canopy of a shopfront that is a pedestrian-scaled and is read along the sidewalk or from the other side of the street.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Canopy Sign

Signable Area 1 sf per linear foot of shopfront, max. **A**

Lettering Height 16" max. **B**

Lettering Thickness 6" max. **C**

Sloping Plane Sign

Signable Area 25% coverage of sloping plane, max. **D**

Lettering Height 18" max. **E**

Valance Sign

Signable Area 75% coverage max. of **G** x **H** **F**

Width Shopfront width, max. **G**

Height 8" min.; 12" max. **H**

Lettering Height 8" max. **I**

Max one sign allowed per business.

3. Location

Clear Height 8' min. **J**

Signs per Awning 1 Canopy, or 1 Valance and 1 Sloping Plane, max.

4. Miscellaneous

Only the tenant's store name, logo, and/or address shall be applied to the awning. Additional information is prohibited.

Open-ended awnings are allowed by right.

Vinyl or plastic awnings are not allowed.

Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

In N-S, N-M and N-L only within 50' of street corner.

- N-S
- N-M
- N-L
- MS-M
- MS-L

Key

T# Requires Director Approval

T# Not Allowed

40.14.110.J Wall Sign



Example of a Wall Sign integrated with the architecture.



Example of Wall Sign.

1. Description

A sign flat against the facade, consisting of individual cut letters applied directly to the building or painted directly on the surface of the building, and pedestrian-scaled if on the ground floor and larger if on upper stories. Wall Signs are placed above shopfronts and run horizontally along the “expression line,” entablature of traditional buildings, or decorative cornice or sign band at the top of the building.



Example of Wall Sign.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area	1 sf per linear foot of shopfront; width up to 80 sf, max.	A
Width	Shopfront width, max.	B
Height	12" min.; 3' max.	C
Lettering/ Image Width	75% of signable width, max.	D
Lettering/Image Height	75% of signable height or 18" max. (whichever is lesser)	E

Max one sign allowed per building except on MS-L.

3. Location

Projection	8" max.
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4. Miscellaneous

Sign shall not protrude beyond the cornice.
 Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).
 In N-S, N-M and N-L only within 50' of street corner.

N-S	N-M	N-L	MS-M	MS-L
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Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.K Wall Mural Sign



Example of a Wall Mural coordinated with the business sign.



Example of Wall Mural Sign at a second story.

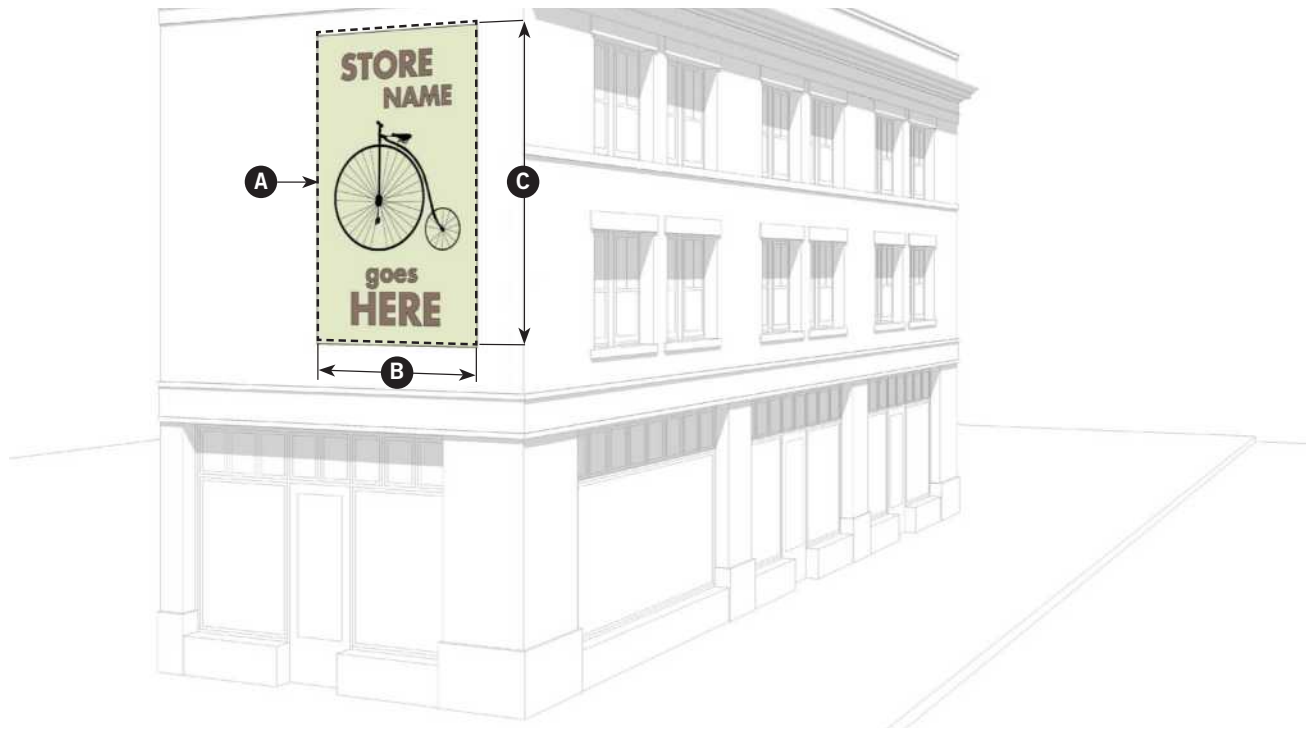


Example of Wall Mural Sign at a second story.

1. Description

A sign flat against a secondary facade, typically along a side street, alley, or on the front facade of a Maker Shopfront or, along the side of a vacant lot or building site. These signs are typically painted directly on the building, pedestrian-scaled if on the ground floor and larger if on upper stories. These signs are intended to be visible from a greater distance and in addition signage on the primary facade at the business entrance.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

	Number of Stories			
	1	2	3-5	
Signable Area	1,000 sf max.	2,000 sf max.	3,000 sf max.	A
Width	Length of facade			B
Height	15' max.	25' max.	30' max.	C

Max one sign allowed per building.

3. Location

Wall Mural Signs are to be located on secondary facades. Where the Maker Shopfront is allowed, the wall mural sign is allowed on the main facade subject to Director approval.

Projections are not allowed.

4. Miscellaneous

Billboards are not considered Wall Mural Signs and are prohibited.

The logo of a business may be used as part of a mural subject to the Director approval.

Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	-------------	-------------

Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.L Window Sign



Examples of Window Signs.



Example of a Window Sign.



Example of a Window Sign.

1. Description

A sign consisting of individual letters and designs applied directly on the inside of a window.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area per Shopfront Window	25% max.	A
Width	75% max. of width, W	B
Height	24" max.	C
Max one sign allowed per business.		

3. Location

Height Above Ground	5' min.	D
Window Signs shall be applied directly to the inside of the glass.		

4. Miscellaneous

- Window Signs shall have a clear background.
- Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).
- In N-S, N-M and N-L only within 50' of street corner.

N-S	N-M	N-L	MS-M	MS-L
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Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.M Sidewalk Sign



The Sidewalk Sign is most visible to nearby pedestrian, a non-permanent sign which allows variability.



Example of a Sidewalk Sign.

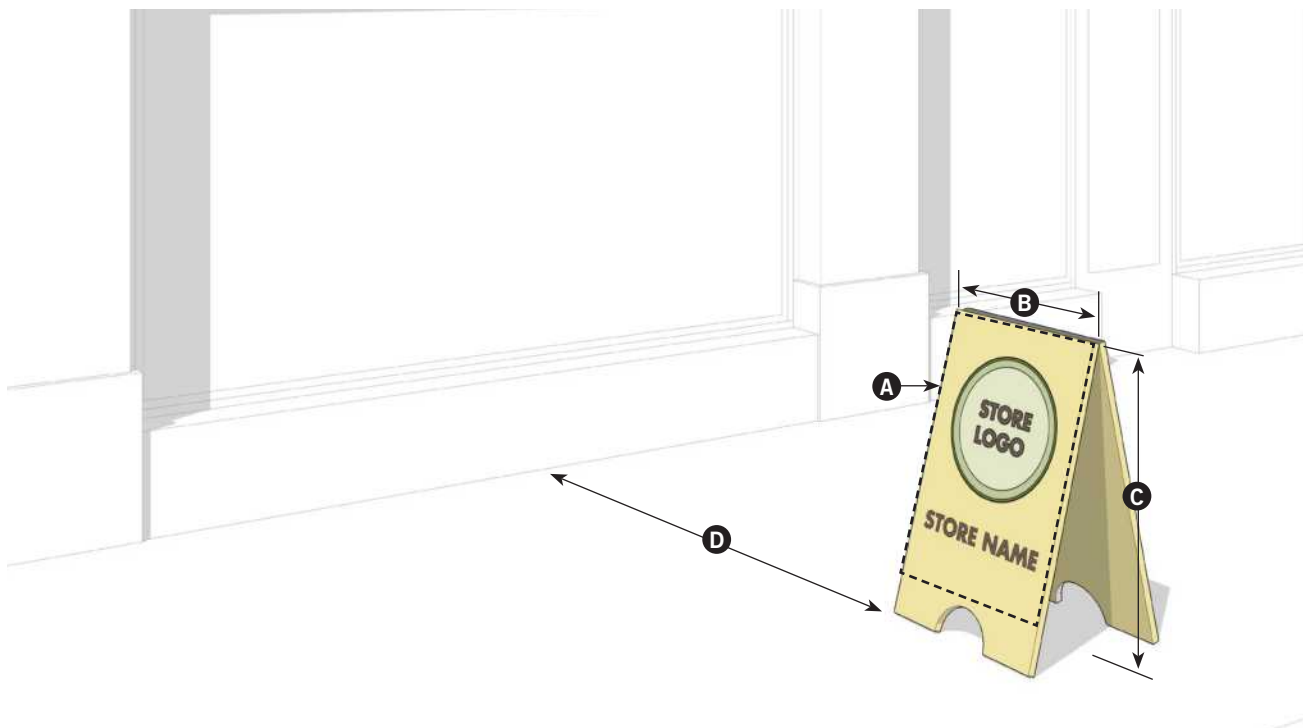


Example of a Sidewalk Sign.

1. Description

A sign for ground floor business that provides secondary signage and may be used to announce daily specials, sales, or point to shops off the sidewalk.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area	6 sf per side, max.	A
Width	24" max.	B
Height	36" max.	C

Max one sign allowed per ground floor business establishment.

3. Location

Sidewalk Signs shall be located within the furniture **D** zone to not interfere with pedestrian travel or encroach upon the required accessible path.

Sidewalk Signs shall only be displayed during business hours and removed when the business is closed.

Sidewalk Signs shall be located in front of the building containing the advertised ground floor business.

4. Miscellaneous

Illuminated signs are not allowed.

Requires minimum sidewalk width of 8 feet.

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	-------------	-------------

Key

T# Requires Director Approval

T# Not Allowed

40.14.110.N Directory Sign



Example of Directory Sign.



Example of Directory Sign.

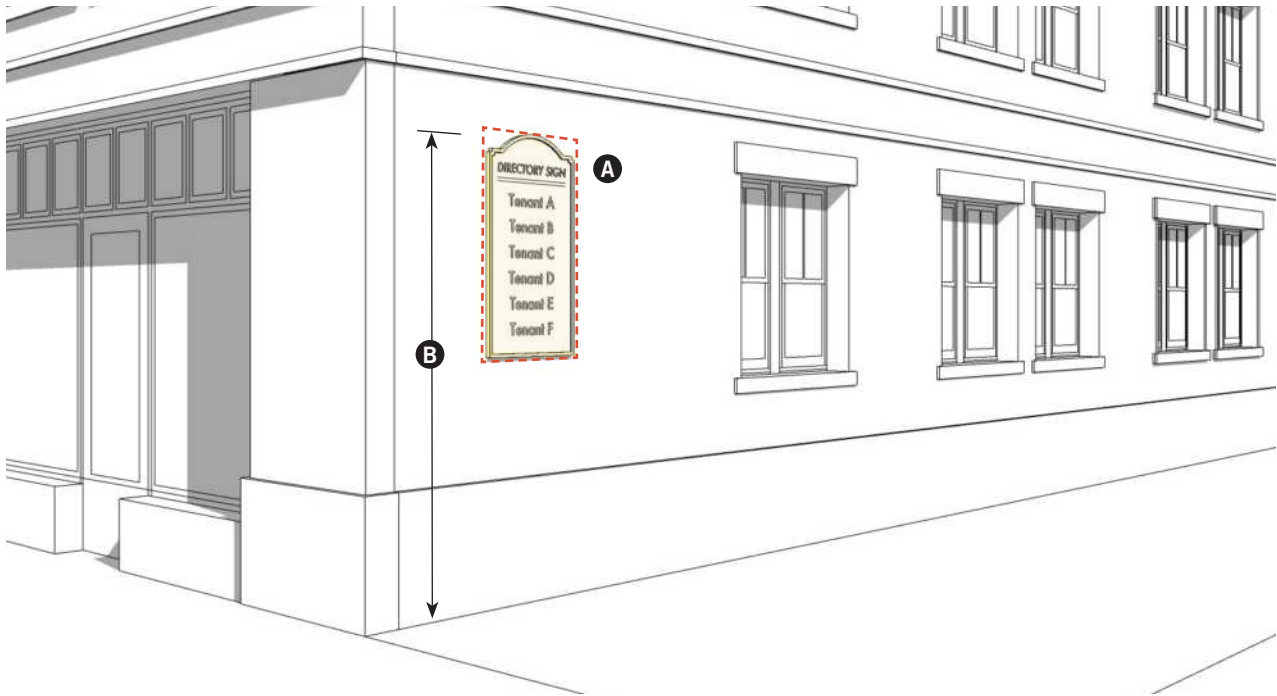


Example of Directory Sign.

1. Description

A sign that provides a listing of establishments within a building or series of buildings, entrances and parking locations.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area 6 sf max. **A**
 Max one sign allowed per building.

3. Location

Height 8' max. **B**
 Freestanding Directory Signs are not allowed.

4. Miscellaneous

May include the name of the business and address.
 Shall not include any other words.

Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

- N-S
- N-M
- N-L
- MS-M
- MS-L

Key **T#** Requires Director Approval T# Not Allowed

40.14.110.O Changeable Copy Sign



Example of Changeable Copy Sign.



Example of a Changeable Copy Sign.



Example of a Changeable Copy Sign.

1. Description

A sign that is designed so that characters, letters, numbers, or illustrations can be manually changed or rearranged without altering the face or surface of the sign.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area	Total of 2 square feet per linear foot of shopfront.	
Height	3' max.	A

¹ Does not apply to signs required by law.

Max one sign allowed per business.

3. Location

Clear Height	8' min.	B
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Signs per 50' of Street Frontage	3 max.	
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Signs may have up to 3 sides when mounted to project from the building. **C**

4. Miscellaneous

Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

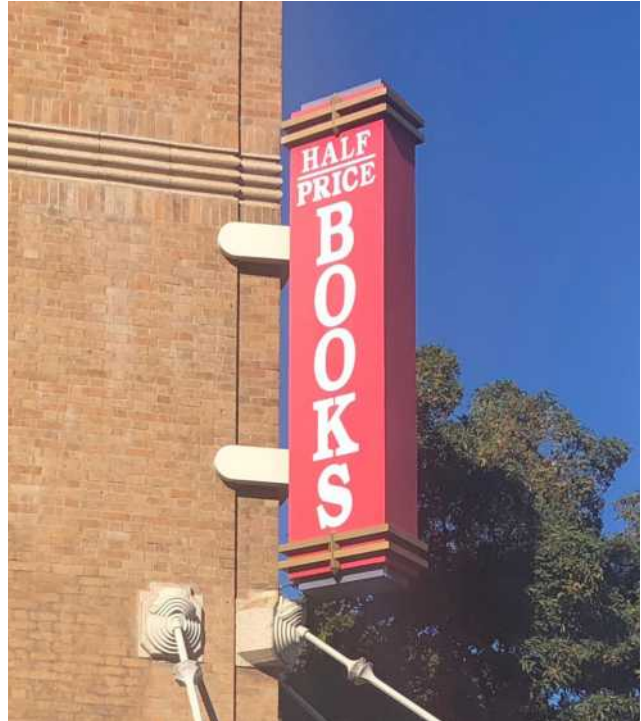
N-S	N-M	N-L	MS-M	MS-L
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Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.P Marquee Sign



Example of a Marquee Sign projecting at 90 degree angle.



Example of a Marquee Sign projecting at 45 degree angle.



Example of a Marquee Sign projecting at 90 degree angle.

1. Description

A vertically-oriented sign located either along the face where it projects perpendicular to the facade, or at the corner of the building where it projects at a 45 degree angle. These signs may extend beyond the parapet of the building but may also terminate below the cornice or eave.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size

Signable Area		
Width	24" max.	A
Depth	10" max.	B
Lettering Width	75% of sign width max.	C
Max one sign allowed per building.		

3. Location

Clear Height above Sidewalk/Ground	12' min. ¹	
Extension above Top of Facade	10' max.	D
Projection from Facade	3' max.	E
Signs per 200' Street Frontage	1 max.	

Signs must be placed at highest story of building.

¹When located over driveways or alleys, minimum clear height of 16'.

4. Miscellaneous

Only allowed along a street frontage.
Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).

N-S	N-M	N-L	MS-M	MS-L
-----	-----	-----	-------------	-------------

Key **T#** Requires Director Approval **T#** Not Allowed

40.14.110.Q Roof Sign



Example of Roof Sign.



Example of Roof Sign.



Example of Roof Sign.

1. Description

A sign on the roof of a six or seven-story building intended for viewing from a distance of one or multiple blocks. These signs are required to have distinctive physical character in exchange for it being mounted on the roof.

General Note: Photos on this page are illustrative, not regulatory.



2. Sign Size		
Height	8' max.	A
Width	25' max.	B
Max. Signable Area	A x B	C
Lettering Height	75% of max.	D
Lettering Thickness	8" max.	E
Special feature max. 20% of sign, subject to Director approval.		F

Max one sign allowed per building.

3. Location	
Signs per Building	1 max.

4. Miscellaneous	
Only allowed on buildings at least 6 stories tall.	
Only within 100' of street corner.	
Illumination shall be in compliance with Subsection 40.40.110.F (Illumination).	

N-S	N-M	N-L	MS-M	MS-L
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Key **T#** Requires Director Approval **T#** Not Allowed

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Definitions

A. Definitions.

Architectural Features. Exterior building elements intended to provide ornamentation to the building massing, including, but not limited to: eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.

B. Definitions.

Bay Window. A window that projects from the building facade or elevation that begins on the ground floor and can extend to upper floors.

Block Face. The aggregate of all the building facades on one side of a block. The block face provides the context for establishing architectural harmony.

Block Form, Building. A building that is individually as large as a block or individual buildings collectively arranged along a street to form a continuous facade as long as most or all of a block.

Block Length. The horizontal distance measured from one end of the block to the other end along the same street.

Block Perimeter. The aggregate of all sides of a block measured along the adjacent streets.

Buildable Area. The area in which a building is permitted to be constructed.

Building Elevation/Facade. The exterior wall of a building not adjacent to a street, the front or side along a private street, or civic space.

Building Entrance. A point of pedestrian ingress and egress to the front of a building along the sidewalk of the street immediately adjacent to the building.

Building Form. The overall shape and dimensions of a building.

Building Frontage. The length of the building site line of any one premises parallel to and along each street and/or open space which it borders.

Building, Main. A building in which is conducted the principal use of the lot on which it is situated.

Building Site (Syn: Lot). The individual site area required to place one building in compliance with the required setbacks. One lot or parcel may accommodate more than one building site.

Building Site Depth. The horizontal distance between the front site line and rear site line of a site measured perpendicular to the front site line.

Building Site Line. The perimeter and geometry of a parcel of property demarcating one building site from another.

Building Site Line, Front. One of the following:

1. The frontage line in the case of a building site having a single frontage line;
2. The shortest frontage line in the case of a corner building site with two frontage lines, neither of which are adjacent to a thoroughfare;
3. The frontage line generally perceived to be the front building site line in the case of a corner building site with three or more frontage lines, none of which are adjacent to a thoroughfare;
4. The frontage line adjacent to a thoroughfare in the case of a corner building site with two or more frontage lines, one of which is adjacent to a thoroughfare; or
5. The frontage line adjacent to the front building site line of an adjacent building site in the case of a through site.

Building Site Line, Rear. The building site line opposite the front building site line.

Building Site Line, Side. Site lines connecting the front and rear site lines.

Building Site Width. The horizontal distance between the building site lines measured parallel to the front site line.

Building Type. A structure defined by its combination of configuration, disposition and function.

C. Definitions.

Carriage House. See 40.14.070.C (Carriage House).

Carshare Parking Space. A parking space required to be dedicated for current or future use by a carshare service through a deed restriction, condition of approval, or license agreement. Such deed restriction, condition of approval, or license agreement shall grant priority use to any carshare service that can make use of the space, although such spaces may be occupied by other vehicles so long as no carshare organization can make use of the dedicated carshare space(s).

Carshare Service. A service that provides a network of motor vehicles available to rent by members by reservation on an hourly basis, or in smaller intervals.

Ceiling Height, Ground Floor. The height from finished floor to finished ceiling of primary rooms on the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms, and storage spaces.

Ceiling Height, Upper Floor(s). The height from finished floor to finished ceiling of primary rooms on the floor(s) above the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms, and storage spaces.

Center. Concentration of ground floor retail, restaurants, and services, with additional offices and housing located above, within a Walkable Urban context.

Chamfered Corner. An external wall of a building joining two perpendicular exterior walls, typically at a symmetrical, 45 degree angle creating a beveled edge to the building rather than a 90 degree corner.

Civic. A term defining not-for-profit organizations that are dedicated to arts, culture, education, religious activities, recreation, government, transit, and public parking facilities.

Civic Building. A structure operated by governmental or not-for-profit organizations and limited to civic and related uses.

Commercial. A term defining service and retail uses collectively.

Common Space (Common Area). A portion of a development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner and is available for use by all persons who reside or work in the building or on the design site.

Corner Element. A physical distinction in a building at the corner of two streets or a street and public space. The physical distinction is from the ground floor through the top of the facade.

Corner Entry. An entrance located on the corner of a building.

Co-working Space. A facilitated environment which may contain shared facilities such as conference rooms, reception services, phones, and other business amenities. Work spaces are used by a recognized membership who share the site in order to interact and collaborate with each other as part of a community and to reduce duplicated costs by sharing facilities. The uses shall have externally observable attributes similar to uses permitted in the zone in which that they are located. Equipment is limited to those which do not generate noise or pollutants in excess of what is customary within a typical office environment. Such space located in a research & development building may use equipment consistent with research & development uses. Co-working space may be interchangeably referred to as "incubator space."

Cottage Court. See 40.14.070.G (Cottage Court).

Courtyard. An unroofed area that is completely or partially enclosed by walls or buildings on at least two sides and often shared by multiple residential units or commercial suites.

Courtyard, Building. See 40.14.070.K (Courtyard).

Crawl Space. A shallow unfinished uninhabitable space beneath the floor or under the roof of a building, that provides access to utility, structural, and other building components not readily accessible from the habitable portions of the building.

D. Definitions.

Defensible Space. A public, private, or semi-private residential environment whose physical characteristics—building layout and site plan—function to allow inhabitants themselves to become key agents in ensuring their security.

Depth, Ground-Floor Space. The distance from the street-facing facade to the rear interior wall of the ground-floor space available to an allowed use.

Depth-to-Height Ratio. The relationship of the depth of a space measured perpendicular to a building divided by the average height of the surrounding buildings.

Detached House. See 40.14.070.D (Detached House).

Disposition, Formal. Composed in a formal arrangement, in a regular, classical, and typically symmetrical manner.

Disposition, Informal. Composed in an informal character with a mix of formal and natural characteristics.

Distance Between Entries. The horizontal distance measured parallel to the facade between entrances to a building or buildings.

Dooryard. See 40.14.090.G (Dooryard).

Duplex. See 40.14.070.E, F (Duplex Stacked and Duplex Side by Side).

Dwelling Unit. One or more habitable rooms which are occupied or intended or designed for human occupancy with facilities for living, sleeping, cooking and eating.

E. Definitions.

Efficiency Unit (Syn. Micro Unit). A type of dwelling designed to be occupied by a limited number of persons in limited space, as small as 300 square feet.

Elevated Ground Floor. A ground floor situated above the grade plane of the adjacent sidewalk.

Encroachment. Any architectural feature, structure, or structural element, such as a gallery, fence, garden wall, porch, stoop, balcony, oriel window, bay window, terrace or deck, that breaks the plane of a vertical or horizontal regulatory limit extending into a setback, or beyond the build-to-line into the public frontage, or above a height limit.

Entry. An opening, such as a door, passage, or gate, that allows access to a building.

Entry, Primary. The opening that allows access to a building directly from the sidewalk along the front facade.

Entry, Service. An entrance located toward or at the rear of the building intended for the delivery of goods and removal of refuse.

F. Definitions.

Facade. See Building Elevation/Facade.

Facade Zone. The area between the minimum and maximum setback lines along the front of a site and along the side street of a corner parcel where the building facade is required to be placed.

Finish Level, Ground Floor. Height difference between the finished floor on the ground floor and the adjacent sidewalk. In the case of a terrace frontage that serves as the public right-of-way, the floor finish level is the height of the walk above the adjacent street. Regulations for ground floor finish level for ground floor residential uses do not apply to ground floor lobbies and common areas in buildings.

Flex Space. A room or group of internally connected rooms designed to accommodate an evolution of use over time in response to an evolving market demand. Typically designed to accommodate future commercial uses, while accommodating less intense short-term uses, such as residential or live/work, until the commercial demand has been established.

Floorplate. An area measurement in square feet of either the gross or the rentable floor area of a typical floor in a building.

Floorplate, Non-residential. The square footage area measurement of a floorplate dedicated to non-residential uses.

Floorplate, Residential. The square footage area measurement of a floorplate dedicated to residential uses.

Footprint. The outline of the area of ground covered by the foundations of a building or structure.

Freestanding Wall. A wall that is separate from a building and supported by independent means.

Front. See Building Site Line, Front.

Frontage, Private. The area between the building facade and the back of the sidewalk abutting a street or public open space.

Frontage, Public. The area between the on-street parking and the back of the sidewalk.

Frontage Type. Physical element(s) configured to connect the building facade to the back of the sidewalk abutting a street or public open space.

G. Definitions.

Gable. A vertical wall in the shape of a triangle formed between the cornice or eave and the ridge of the roof.

Glazing. Openings in a building in which glass is installed.

Gross Floor Area. The total floor area inside the building envelope, including the external walls, but not including the roof.

Ground Floor. The floor of a building located nearest to the level of the ground around the building.

H. Definitions.

Height. Height is determined in three ways:

- a. Number of Stories. The number of stories in a structure allowed above grade. See Stories;
- b. Overall Height. The vertical distance between grade and the highest part of the structure directly above.
- c. Highest Top Plate. The vertical distance between grade and the highest top plate of the building.

Highest Top Plate. As measured vertically from grade, the highest continuous beam on top of the walls that supports the roof structure by carrying the vertical forces from the rafters to the wall studs.

Hotel. A facility containing guest rooms or suites, used by guests on a transient occupancy basis, less than thirty (30) days. Also includes guest amenities such as swimming pools, gyms, restaurants, bars, meetings rooms, etc.

House Form Building. A building that is the size of a small-to-large house and detached from other buildings, typically ranging from 20 feet to as large as 80 feet overall, including secondary wings.

I. Definitions.

Improvement. The product of any modification to a site structure or building.

J. Definitions.

No specialized terms beginning with the letter J are defined at this time.

K. Definitions.

No specialized terms beginning with the letter J are defined at this time.

L. Definitions.

Landing. A level area at the top or bottom of a staircase or between one flight of stairs and another.

Live/work. A unit that combines and accommodate both residential and the place of business for the resident(s) of the unit. Typically characterized with having the “work” function at the ground level and the “live” function on upper levels. Live/work differs from home occupations in that the “work” component of the live/work occupancy may:

- d. Include employment of persons not living in the residential portion;
- e. Exclusively occupy part or all of the floor area of a unit;
- f. Have a separate designated access or private entrance specifically for the business use;
- g. Include alterations or features not customarily found in residential dwellings units;
- h. Have window displays;
- i. Have limited signage on the premises; and
- j. Include food handling, processing, or packing.

Loading Dock(s). A platform where cargo from vehicles can be loaded or unloaded.

M. Definitions.

Main Body. The primary massing of a main building.

Main Building. The building that serves as the focal point for all activities related to the principal use of the site.

Main Facade. The front facade of a building.

Main Street, Building. See 40.14.070.L (Main Street).

Major. Having a greater size, scope, effect, characteristic or quality relative to the other corresponding sizes, scopes, effects, characteristics or qualities; or being the greater of two or more.

Massing. The overall shape or arrangement of the bulk or volume of a building.

Minor. Having a lesser size, scope, effect, characteristic or quality relative to the average size, scope, effect, characteristic or qualities; or being the lesser of two or more.

Multiplex: Large. See 40.14.070.I (Multiplex: Large).

Multiplex: Small. See 40.140.070.H (Multiplex: Small).

N. Definitions.

Neighborhood Center. A walkable urban environment that provides a concentrated mix of civic, institutional and/or commercial uses.

O. Definitions.

Office Amenity Space. Non-employee, non-traffic-generating uses that are not easily convertible to employee-generating uses such as exterior covered walkways, lobby atrium, large cafeteria and employee lounge areas, employee fitness areas, and laboratories.

Open Space, Private. A portion of a development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner and is available for use by all occupants of the building.

Open Space, Publicly Accessible. An outdoor area dedicated for public gathering and civic activities.

Oriel Window (Syn. Upper Story Bay Window). A window that projects from the building facade or elevation, located on upper floors and may extend for multiple stories.

Overhead Doors. Doors constructed in horizontally hinged sections that are equipped with hardware that rolls the sections into an overhead position, clear of the opening.

P. Definitions.

Parapet. A wall along the edge of a roof or the portion of a wall that extends above the roof line.

Parking Driveway Width. The horizontal measurement of an access driveway to a parking area, measured perpendicular to the direction of travel.

Participatory Design Workshop. A multiple-day collaborative design and planning workshop held on-site of the area being planned and inclusive of all affected stakeholders.

Pedestrian-oriented Retail. General commercial businesses that allow customers to park once and complete multiple transactions and visits on foot in a context that encourages people to walk instead of drive.

Planting Strips. A landscaped or grassy area located between a street and a sidewalk.

Podium. A continuous projecting base or pedestal under a building often occupied by parking.

Podium Top. A flat, elevated and open area above a podium that can be used as common area.

Porch, Engaged. See 40.14.090.E (Porch: Engaged).

Porch, Projecting. See 40.14.090.D (Porch: Projecting).

Production, Artisanal. Food and/or products made by hand in small batches that requires skills from a maker/master with a combination of science and art derived from experience.

Public Use. A use undertaken by a political subdivision, its agents or assigns.

Q. Definitions.

No specialized terms beginning with the letter Q are defined at this time.

R. Definitions.

Rear. Opposite of front.

Rear Loaded (Rear Access). Sites that provide vehicular access from the rear of the site.

Recessed Entry. An entrance to a building that is set back from the facade of the building.

Regulating Plan. A map that identifies the zoning and standards to be applied to specific locations.

Retail. Businesses that provide products and services (including restaurants) which are for sale to the general public.

Rooftop Room. A room, with or without a roof, limited in size that is located on the uppermost roof of a one or two-story main building to provide views across a neighborhood or the community. See 40.14.080.D (Rooftop Room Standards).

S. Definitions.

Secondary Wing. A structure physically attached to, and secondary and incidental to, the Main Body of a building, smaller in footprint and height.

Semi-Public Use. A use owned or operated by a non-profit organization, private institution or foundation.

Service Entries. Building access for service providers.

Setback, Building. The minimum clear distance between the back of sidewalk and the building facade.

Setback Lines. Lines to regulate the placement of buildings, accessory structures and their improvements with respect to streets, alleys and property lines.

Setback, Parking. The mandatory clear distance between a building site line and parking.

Shared Parking. Any parking spaces assigned to more than one user, where different persons utilizing the spaces are unlikely to need the spaces at the same time of day.

Shopfront Base. A very low wall between the display window(s) of a shopfront and the ground. The shopfront base consists of many materials except glass.

Sidewalk. A paved area along a street intended exclusively for pedestrian use and often installed between a street and building site frontages.

Single Loaded, Building. A building containing dwellings and/or commercial suites without common hallways for access to the dwellings and/or suites.

Site. One or more adjacent lots under common ownership.

Stealth Design. The effect of integrating an element such as a cellular antenna into a building that results in the element being unobtrusive and not easily perceived from adjacent public sidewalks.

Stoop. See 40.14.090.F (Stoop).

Story. That portion of a building between the bottom surface of a floor and the upper surface of the floor next above. If the finished floor level directly above a basement or cellar is more than six feet above natural grade for more than fifty percent of the total perimeter, such basement or cellar shall be considered a story.

Story, Half. A conditioned space that rests primarily underneath the slope of the roof, usually having dormer windows. A half-story is considered a story when its top wall plates, on at least two opposite exterior walls, are four feet or more above the floor of such story.

Street, Front. Street located along the front building site line.

Street, Side. Street located along a site line that is not along the front site line.

Storefront. The portion of a shopfront frontage composed of the display window and/or entrance and its components, including windows, doors, transoms and sill pane.

Street. A public or permanent private thoroughfare which affords a primary means of access to property.

Street Frontage, Principal. The length of the property line of any one premises parallel to and along the public right-of-way which it borders and which is identified by an officially assigned street address.

Street Tree. A tree of any species or size planted in open spaces, parkways, sidewalk areas, easements, and streets.

Structure. An improvement permanently attached to real property.

Structure, Accessory. A subordinate structure, the use of which is incidental and secondary to that of the main structure on the same building site.

T. Definitions.

Tandem Parking. A parking space deep enough to allow two cars to park, one behind the other.

Target Speed. The speed that drivers are intended to go, rather than operating speed.

Townhouse. See 40.14.070.J (Townhouse).

Transit Station. A site or structure used for the purpose of parking, loading and unloading freight and passengers from public transportation. May include parking facilities and other commercial amenities to service transit passengers.

Transit Stop. A location where buses stop to load and unload passengers. A transit stop sometimes includes a shelter or a dedicated platform along the sidewalk.

U. Definitions.

Understory. The smaller trees and shrubs below the canopy of large trees.

Unit. See Dwelling Unit.

Upper Floor. A floor in a building containing habitable space that is located above the ground floor.

Urban Agriculture (Crop Production). Areas in some form of cultivation such as row crops, orchards, or greenhouses that support nearby or on-site food establishment operations.

Use. The purpose for which land, premises or structure thereon is designed, arranged, or intended, or for which it is or may be occupied or used.

V. Definitions.

No specialized terms beginning with the letter V are defined at this time.

W. Definitions.

Walkable Urban Context Type. Areas that are pedestrian-oriented in nature, where bicycling and walking are viable, daily options because services, retail, or restaurants are within a short walking distance of most residences.

Walkability. The condition when an area is highly interconnected to other areas and appeals to pedestrians for recreational walking or for walking to work, transit, errands, shopping, or restaurants.

Wall Plane. A vertical surface defined by the facades of buildings.

Water Table, architectural feature. A horizontal projecting string-course of masonry, molding or a ledge placed so as to divert rainwater from a building.

Width-to-Height Ratio. The ratio of the horizontal size of a space measured perpendicularly to the vertical height of a building.

X. Definitions.

No specialized terms beginning with the letter X are defined at this time.

Y. Definitions.

No specialized terms beginning with the letter Y are defined at this time.

Z. Definitions.

No specialized terms beginning with the letter Z are defined at this time.